



City of Maple Ridge

PUBLIC HEARING

February 19, 2019

CITY OF MAPLE RIDGE

PUBLIC HEARING AGENDA
February 19, 2019
7:00 pm
Council Chambers, 1st Floor, City Hall

The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.

- 1) **2017-074-RZ**
20383 Ospring Street

Maple Ridge Zone Amending Bylaw No. 7315-2017

The current application is to rezone the subject property located at 20383 Ospring Street from RS-1 (One Family Urban Residential) to R-1 (Residential District), to permit a future subdivision of 2 lots.

- 2) **2017-390-RZ**
23084 and 23100 Lougheed Highway

Maple Ridge Official Community Plan Amending Bylaw No. 7499-2018

The current application requires amendments to the Official Community Plan to amend the boundary of the *Conservation* designation and *Urban Residential* designation for ground-truthing.

Maple Ridge Zone Amending Bylaw No. 7442-2018

The current application is to rezone a portion of the subject property from RS-3 (One Family Rural Residential) to RM-4 (Multiple Family Residential District), to permit a future project originally with approximately 30 townhouses.

CITY OF MAPLE RIDGE

NOTICE OF PUBLIC HEARING

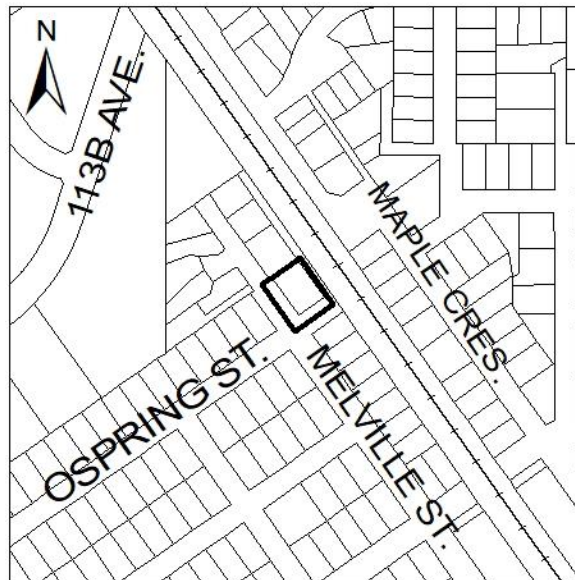
TAKE NOTICE THAT a Public Hearing will be held in the Council Chamber of the City Hall, 11995 Haney Place, Maple Ridge, North-East corner entrance, at 7:00 pm, Tuesday, February 19, 2019 to consider the following bylaws:

- 1) **2017-074-RZ**
20383 Ospring Street



Maple Ridge Zone Amending Bylaw No. 7315-2017

The current application is to rezone the subject property located at 20383 Ospring Street from RS-1 (One Family Urban Residential) to R-1 (Residential District), to permit a future subdivision of 2 lots.





- 2) 2017-390-RZ
23084 and 23100 Lougheed Highway

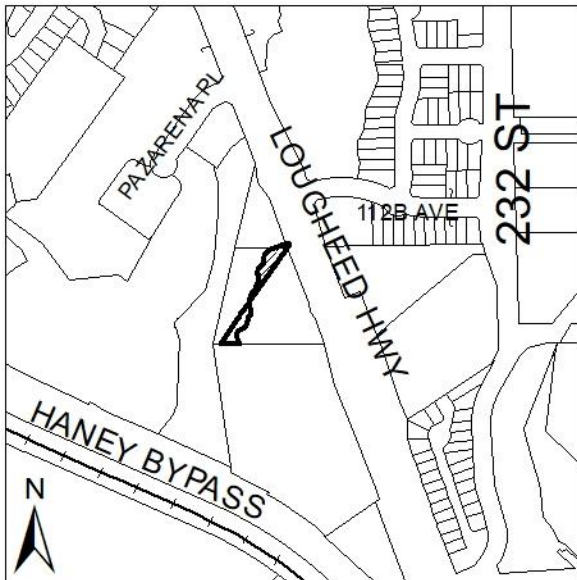


Maple Ridge Official Community Plan Amending Bylaw No. 7499-2018

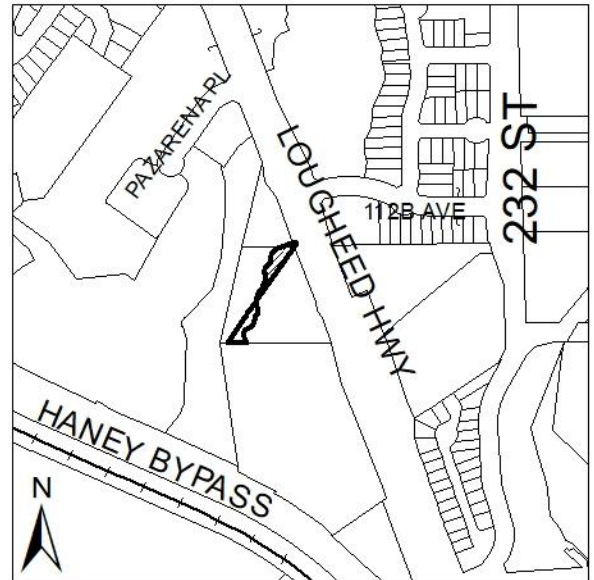
The current application requires amendments to the Official Community Plan to amend the boundary of the *Conservation* designation and *Urban Residential* designation for ground-truthing. (Shown on Map 982 – From Urban Residential and Conservation to

Conservation  and Urban Residential ; and Map 983 – To Amend

Schedule C to Add to Conservation  and to Remove from Conservation )



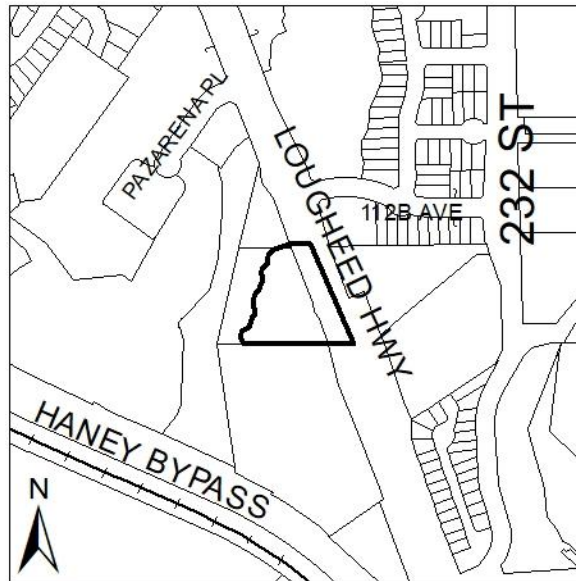
Map No. 982



Map No. 983

Maple Ridge Zone Amending Bylaw No. 7442-2018

The current application is to rezone a portion of the subject property from RS-3 (One Family Rural Residential) to RM-4 (Multiple Family Residential District), to permit a future project originally with approximately 30 townhouses.



AND FURTHER TAKE NOTICE that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council relevant to the matters contained in the bylaws will also be available for public inspection at the Planning Department Counter of City Hall, between 8:00 am and 4:00 pm from February 5, 2019 to February 19, 2019, weekends and Statutory Holidays excepted. The Public Hearing Agenda with full reports can be viewed on the City website at www.mapleridge.ca/640.

ALL PERSONS who deem themselves affected by any of these bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws or by making a written submission to the attention of the Corporate Officer or by sending an email to the Clerk's Department at clerks@mapleridge.ca, by 4:00 pm, February 19, 2019. Please note that all written submissions provided in response to this consultation will become part of the public record which includes the submissions being made available for public inspection.

Dated this 5th day of February, 2019.

Laura Benson, CPA, CMA
Corporate Officer

DEVELOPMENT APPLICATION CHECKLIST
FOR FILE 2017-074-RZ
File Manager: Diane Hall

Official Community Plan or Zoning Bylaw Amendments:	RECEIVED	NOT REQUIRED
1. A completed Application Form (Schedule "A" – Development Procedures Bylaw No. 5879-1999)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. An application fee, payable to the City of Maple Ridge, in accordance with Development Application Fee Bylaw no. 5949-2001.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. A Certificate of Title and Consent Form if the applicant is different from the owner shown on the Certificate of Title.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. A legal survey of the property(ies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Subdivision plan layout	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Neighbourhood context plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Lot grading plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Landscape plan ⁺⁺	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Preliminary architectural plans including site plan, building elevations, accessory off-street parking and general bylaw compliance reconciliation ⁺⁺ .	<input type="checkbox"/>	<input checked="" type="checkbox"/>

* These items may not be required for single-family residential applications

+ These items may be required for two-family residential applications, as outlined in Council Policy No. 6.01

Additional reports provided:

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
MEETING DATE: January 22, 2019
FILE NO: 2017-074-RZ
MEETING: C o W
SUBJECT: Second Reading
Zone Amending Bylaw No. 7315-2017;
20383 Ospring Street

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property located at 20383 Ospring Street from RS-1 (One Family Urban Residential) to R-1 (Residential District), to permit a future subdivision of 2 lots. Council granted first reading to Zone Amending Bylaw No. 7315-2017 on May 9, 2017. The minimum lot size for the current RS-1 zone is 681 m².

This application is in compliance with the OCP for the Hammond Area Plan.

Pursuant to Council policy, this application is subject to the Community Amenity Contribution Program at a rate of \$5,100.00 per single family lot which, for subdivisions of 3 lots or less, applies to each additional lot created, for an estimated amount of \$5100.00.

RECOMMENDATIONS:

- 1) That Zone Amending Bylaw No. 7315-2017 be given second reading, and be forwarded to Public Hearing;
- 2) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Lane dedication as required;
 - iii) Registration of a Restrictive Covenant for the floodplain report, which addresses the suitability of the subject property for the proposed development;
 - iv) Registration of a Restrictive Covenant specifying construction standards for acoustic protection;
 - v) That a voluntary contribution, in the amount of \$5100.00 (\$5100.00/lot) be provided in keeping with the Council Policy with regard to Community Amenity Contributions. As fewer than 3 lots are proposed, the original lot is exempt.

DISCUSSION:

1) Background Context:

Applicant: Rhlddm Development Ltd.

Legal Description:

OCP:

Existing: SFCR (Single-Family & Compact Residential)

Proposed: SFCR (Single-Family & Compact Residential)

Zoning:

Existing: RS-1 (One Family Urban Residential)

Proposed: R-1 (Residential District)

Surrounding Uses:

Surrounding Uses:

North:	Use:	Railway
	Zone:	Multiple Zones
	Designation:	Multiple Designations
South:	Use:	Urban Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	SFCR (Single-Family & Compact Residential)
East:	Use:	Urban Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	SFCR (Single-Family & Compact Residential)
West:	Use:	Urban Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	SFCR (Single-Family & Compact Residential)

Existing Use of Property: Vacant

Proposed Use of Property: Single Family

Site Area: 891 m²

Access: Ospring Street

Servicing requirement: Urban Standard

2) Project Description:

The subject property is a vacant lot in Lower Hammond, adjacent to the railway tracks that separate Upper and Lower Hammond. Due to this site context, sound attenuation with specific construction standards will be required. Registration of a restrictive covenant for this purpose will be required. Property records indicate that a portion of the site is within floodplain. For this reason, a floodplain report and covenant will be required.

This application will utilize the improved development options in the recently adopted Hammond Area Plan to rezone the property to R-1 Residential District in order to create two single family lots. Although lane dedication will be required, the property has sufficient lot area for this purpose.

3) **Planning Analysis:**

i) **Official Community Plan:**

The development site is located within the Hammond Area Plan and is currently designated Single Family & Compact Residential. The intent of this designation is to allow residential density increases that are compatible with existing single family neighbourhoods and character. This designation is consistent with the proposed R-1 Residential District Zone.

ii) **Zoning Bylaw:**

The minimum lot size for the current RS-1 One Family Urban Residential zone is 681 m². The proposed R-1 (Residential District) Zone is 371 m². The portion of the site that is designated floodplain is within the front yard setback of the site.

iii) **Off-Street Parking And Loading Bylaw:**

The Off-Street Parking and Loading Bylaw requires 2.0 parking spaces per one family dwelling unit. Secondary suites must provide 1.0 parking spaces per suite. The proposed lot sizes are larger than the minimum required minimum parcel size, and all required parking should be readily accommodated as off-street parking.

iv) **Proposed Variances:**

A Development Variance Permit application will be required to secure the following relaxations:

- *Maple Ridge Zoning Bylaw No. 3510 -1985, Schedule D, R-1 Zone, minimum lot depth:*

Due to the required lane dedication, the resulting lot depth will be slightly less than the minimum depth, thereby requiring a variance.

- *Maple Ridge Zoning Bylaw No. 3510 -1985, fence height:*

The applicant is seeking to develop the property with substantial sound attenuation due to its proximity to the railway tracks. For this reason, overheight acoustic fencing is proposed.

The requested variances to the general regulations for fence height and for lot depth in the RS-1 zone will be the subject of a future Council report.

4) **Interdepartmental Implications:**

- Engineering Department:** The Engineering Department has established standards for development in this location, requiring redress of deficiencies such as curb and gutter, road pavement width, and lane dedication. Cash-in-lieu will be a likely means for future redress. Underground servicing of lots is required, although overhead wiring will remain. Street light upgrades will also be required.
- License, Permits and Bylaws Department:** The building department will require a floodplain report due to portion of the site that is within the floodplain.
- Fire Department:** The Fire Department notes that each new lot will need its own address.

- 5) **Intergovernmental Issues:** Referrals have been made to the contact for CP Railway and also to the Katzie First Nation for this proposal. To date, no responses have been received.
- 6) **Citizen/Customer Implications:** Opportunities for public input will be made through the required Public Hearing and through the neighbour notification required prior to issuance of the required Development Variance Permit.

CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7315-2017, and that application 2017-074-RZ be forwarded to Public Hearing.

"Original signed by Diana Hall"

Prepared by: Diana Hall, M.A, MCIP, RPP
Planner 2

"Original signed by Christine Carter"

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

"Original signed by Frank Quinn"

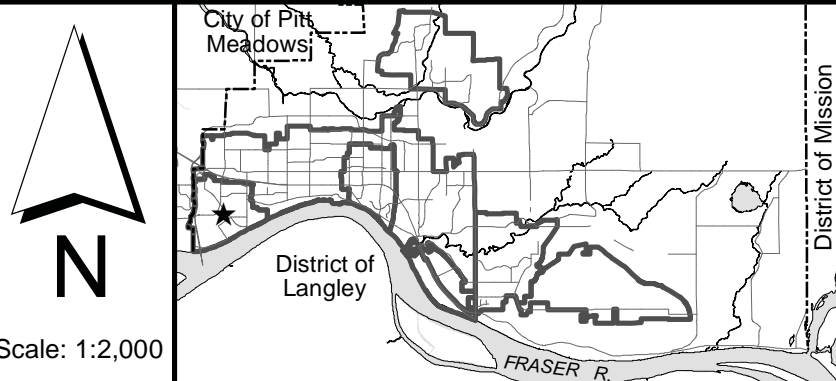
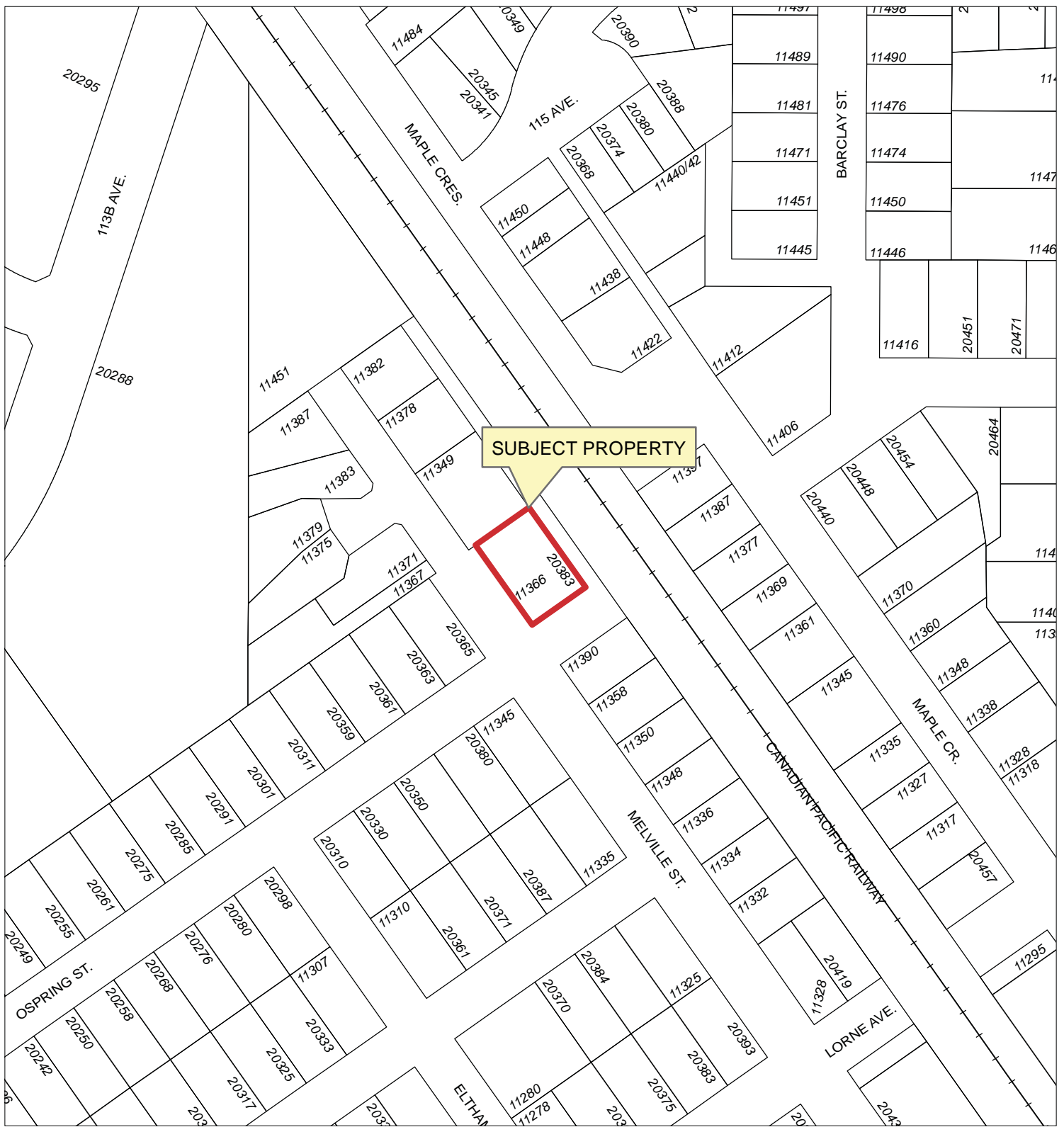
Approved by: Frank Quinn, MBA, P.Eng
GM Public Works & Development Services

"Original signed by Paul Gill"

Concurrence: Paul Gill, BBA, CPA, CGA
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7315-2017
Appendix D – Subdivision Plan



20383 OSPRING STREET

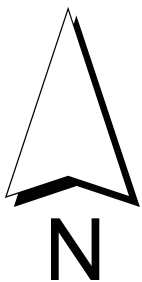
PLANNING DEPARTMENT

British Columbia

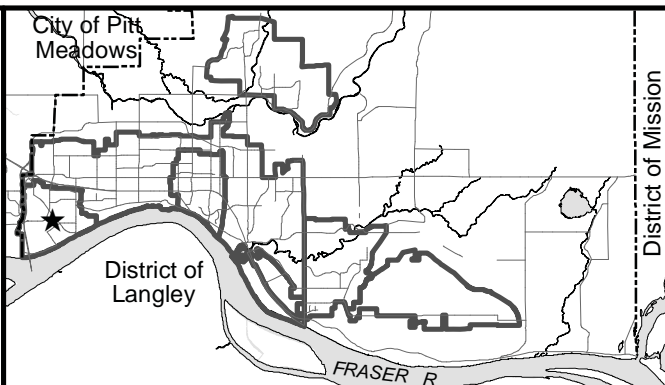
mapleridge.ca

FILE: 2017-074-RZ
DATE: Mar 7, 2017

BY: PC



Scale: 1:2,000



20383 OSPRING STREET

PLANNING DEPARTMENT



FILE: 2017-074-RZ
DATE: Mar 7, 2017

BY: PC

**CITY OF MAPLE RIDGE
BYLAW NO. 7315-2017**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7315-2017."
2. That parcel or tract of land and premises known and described as:

Lot A District Lot 279 Group 1 New Westminster District Plan 8878

and outlined in heavy black line on Map No. 1707 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to R-1 (Residential District).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 9th day of May, 2017.

READ a second time the 29th day of January, 2019.

PUBLIC HEARING held the day of , 20

READ a third time the _____ day of _____, 20_____

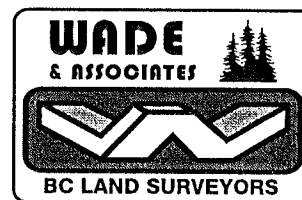
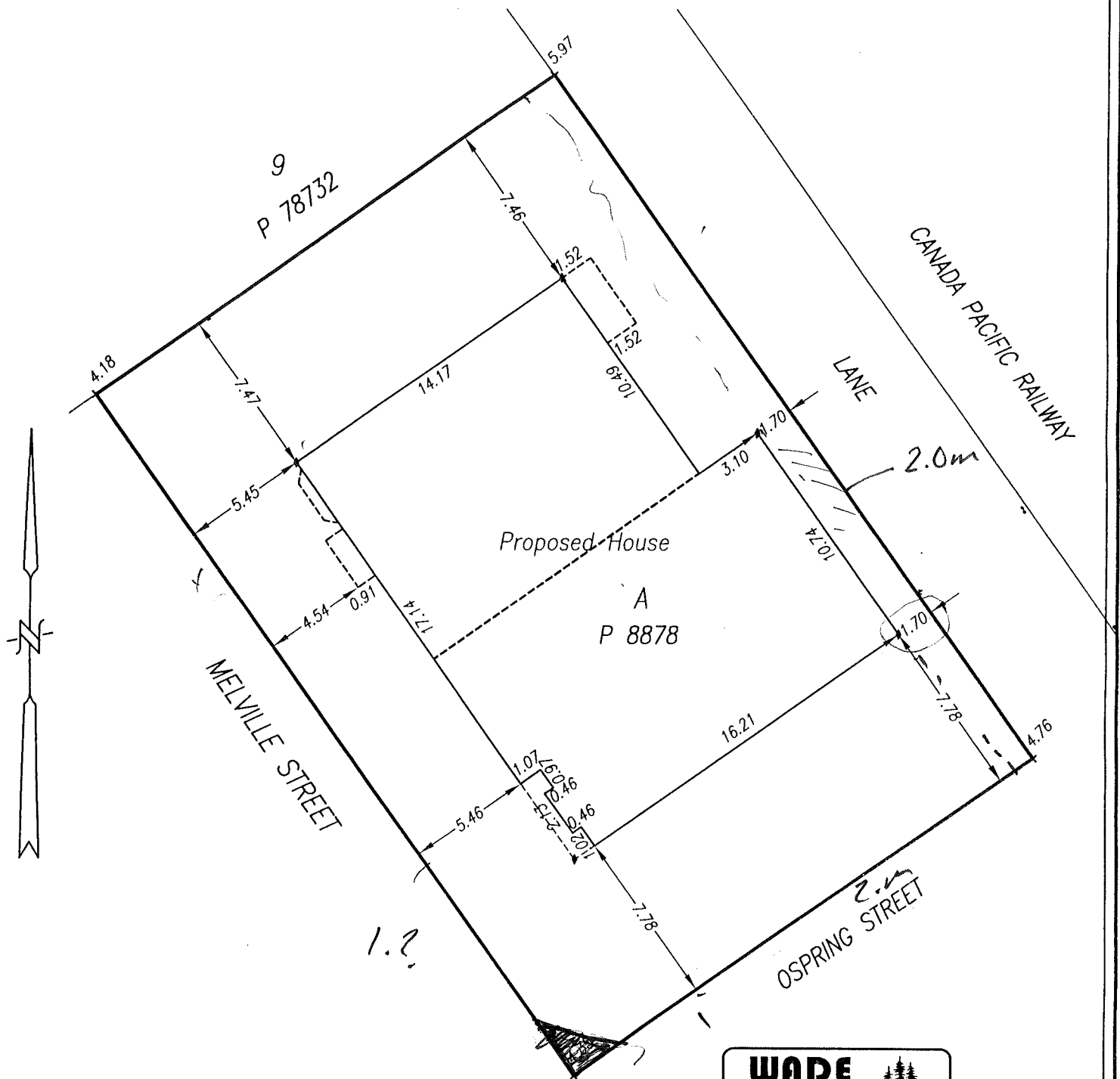
ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

SKETCH OF PROPOSED BUILDING & ELEVATIONS
ON LOT A D.L.279 GP.1
N.W.D. PLAN 8878

APPENDIX D



604-463-4753

Scale 1:250

Date: JUNE 08 2007

File: NWP00114/H2841/LOT A

DEVELOPMENT APPLICATION CHECKLIST
FOR FILE 2017-390-RZ
File Manager: Adrian Kopystynski

Official Community Plan or Zoning Bylaw Amendments:	RECEIVED	NOT REQUIRED
1. A completed Application Form (Schedule "A" – Development Procedures Bylaw No. 5879-1999)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. An application fee, payable to the City of Maple Ridge, in accordance with Development Application Fee Bylaw no. 5949-2001.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. A Certificate of Title and Consent Form if the applicant is different from the owner shown on the Certificate of Title.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. A legal survey of the property(ies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Subdivision plan layout	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Neighbourhood context plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Lot grading plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Landscape plan ⁺⁺	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Preliminary architectural plans including site plan, building elevations, accessory off-street parking and general bylaw compliance reconciliation ⁺⁺ .	<input checked="" type="checkbox"/>	<input type="checkbox"/>

* These items may not be required for single-family residential applications

+ These items may be required for two-family residential applications, as outlined in Council Policy No. 6.01

Additional reports provided:

City of Maple Ridge

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: First and Second Reading
Official Community Plan Amending Bylaw No. 7499-2018;
Second Reading
Zone Amending Bylaw No. 7442-2018;
23084 and 23100 Lougheed Highway

MEETING DATE: January 22, 2019
FILE NO: 2017-390-RZ
MEETING: COW

EXECUTIVE SUMMARY:

This application for the subject properties located at 23084 and 23100 Lougheed Highway (Appendix A and Appendix B) to rezone from RS-3 (One Family Rural Residential) to RM-4 (Multiple Family Residential District), to permit a future project originally with approximately 32 townhouses, was deferred by Council on October 2, 2018 and again on November 13, 2018. The revised proposal subject to this report is for 30 townhouse units.

OCP Amending Bylaw No. 7499-2018 (Appendix C) is pending first and second readings and Zone Amending Bylaw No. 7442-2018 (Appendix D) was granted first reading by Council on March 13, 2018. The bylaw map appendices for both Amending Bylaws are replaced by ones reflecting the modified Conservation Designation boundary towards the northern part of the development.

The project requires a series of variances, including exemption from the underground parking requirement, reduced setbacks and selective increased height, in large part due to the awkwardly shaped triangular development site.

The issues leading to the deferrals of this application are the following:

- Density bonus and aging-in-place measures
- Parking (tandem, visitor and on-street)
- Fire Access
- Trail Access

Revised plans for 30 townhouse units, variances to accommodate the project as revised and an explanation of the changes in relation to the above matters and the revised plans are attached as Appendix F and G.

RECOMMENDATIONS:

- 1) That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7499-2018 on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;

- 2) That Official Community Plan Amending Bylaw No. 7499-2018 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
- 3) That it be confirmed that Official Community Plan Amending Bylaw No. 7499-2018 is consistent with the Capital Expenditure Plan and Waste Management Plan;
- 4) That Official Community Plan Amending Bylaw No. 7499-2018 be given first and second readings and be forwarded to Public Hearing;
- 5) That Zone Amending Bylaw No. 7442-2018 be given second reading, and be forwarded to Public Hearing;
- 6) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Approval from the Ministry of Transportation and Infrastructure;
 - iii) Amendment to Official Community Plan Schedule "C";
 - iv) Park dedication as required, including removal of all debris and garbage from park land;
 - v) Consolidation of the subject properties;
 - vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
 - vii) Registration of a Restrictive Covenant for the protection of the Environmentally Sensitive areas (wetlands) on the subject properties;
 - viii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
 - ix) Registration of a Restrictive Covenant for Stormwater Management, including maintenance instruction for strata residents;
 - x) Retaining the services of a Qualified Environmental Professional (QEP) to determine, if feasible, the most appropriate location and appropriate design for a trail interconnect with the Polygon trail system across and to the west of Morley Creek, to be constructed and paid for by the applicant;
 - xi) Registration of a statutory right of way through the development site for public access to the trail crossing Morley Creek;
 - xii) Removal of existing building/s;
 - xiii) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.

- xiv) That a voluntary contribution, in the amount of \$123,000 (30 units x \$4,100/unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions.
- xv) That a voluntary contribution, in the amount of \$159,000 be provided in keeping with the Council Policy with regard to Density Bonus Program Allocation to Affordable Housing Community Amenity Contributions.

DISCUSSION:

1) Background Context:

Applicant:	Concost Management Inc		
Legal Description:	Parcel “One” (Explanatory Plan 10002) of Parcel “K” District Lot 403 Group 1 NWD Except: Part on Statutory Right of Way Plan 71204; and Lot 1 Except: Part on Statutory Right of Way Plan 71204 District Lot 403 Group 1 NWD Plan 7720		
OCP:			
Existing:	Conservation and Urban Residential		
Proposed:	Conservation and Medium Density Multi-Family		
Zoning:			
Existing:	RS-3 (One Family Rural Residential)		
Proposed:	RM-4 (Multiple Family Residential)		
Surrounding Uses:			
South:	Use:	Residential	
	Zone:	RM-1 (Townhouse Residential) RS-3 (One Family Rural Residential)	
	Designation:	Urban Residential and Conservation	
North & East:	Use:	Residential and vacant	
	Zone:	RM-1 (Townhouse Residential) and RS-3 (One Family Rural Residential) subject to 2015-297-RZ for a single family residential subdivision	
	Designation:	Urban Residential and Conservation	
West:	Use:	Vacant	
	Zone:	RS-3 (One Family Rural Residential) subject to 2015-297-RZ for a Townhouse and a commercial/Rental Apartment building across Morley Creek	
	Designation:	Urban Residential and Conservation proposed Urban Residential, Commercial and Conservation	
Existing Use of Property:	Vacant		
Proposed Use of Property:	Townhouse		
Site Area:	1.125 HA. (2.8 acres)		
Access:	Lougheed Highway (restricted right in and right out)		
Servicing requirement:	Urban Standard		

2) Background:

This application originally for 32 townhouse units, was deferred by Council on October 2, 2018 and again on November 13, 2018. The issues identified by Council to be resolved by the applicant included the following:

- ***Density bonus from RM-1 to RM-4 and aging-in-place measures:***

Typically, the RM-1 Zone accommodates townhouse development with a maximum FSR of 0.60. An FSR of 0.73 is being proposed here. This density is typically accommodated by the RM-4 Zone with underground parking for the townhomes. No underground parking is proposed; therefore, Council deemed this request to be equivalent to a bonus density under the City's Density Bonus Program Allocation to Affordable Housing policy. Consequently, in their second submission, the developer opted to make a voluntary in lieu contribution under the policy rather than building the extra units as affordable housing.

This contribution is in addition to the usual Community-wide Community Amenity Contribution requirement.

Selective aging in place measures will be incorporated in some of the units; however, full adaptive housing standards are not ordinarily possible in townhouses because access between levels is by way of stairs.

- ***Parking:***

The concern of Council is that if there is no on-street parking along Lougheed Highway and no aprons in front of the tandem parking garages, there would not be adequate parking for residents and visitors.

In their second submission, the developer proposed more on-site visitor parking spaces, space in garages be specifically set aside for storage and that a covenant be registered prohibiting parking spaces to be used as storage. However, these were deemed inadequate and unenforceable.

Therefore, in the latest submission, with 2 fewer units there are more shared parking spaces available and all the units with tandem parking garages were relocated to the southern part of the site and each have aprons between the garage and the internal access road. Thus the 18 townhome units designed with tandem parking will have three (3) parking spaces each. The project complies with the current City practice respecting tandem parking design and more than meets the minimum parking requirement.

- ***Fire Access:***

Council expressed concern whether one entrance is sufficient or a second one, possibly an emergency only, is required. The applicant supplied examples of townhouse projects where a single access was provided. The Fire Department has commented that one access is sufficient to serve this site and it is not an operational problem. Final design details are to be reviewed and approved at the building permit stage.

- ***Trail Access:***

The applicant has interest in having a pedestrian link to the west. The benefit of achieving this is more direct access to the future Neighbourhood Park within the Polygon development site immediately to the west of the ravine between the subject site and the Polygon site.

At this point, there is insufficient information to determine if this is possible. Therefore, between third and final readings, the applicant's Qualified Environmental Professional will be working with the City to determine if a pedestrian crossing across Morley Creek and ravine

area is feasible. If it is, then the construction details and the cost would be reflected in the rezoning servicing or other appropriate agreement. As well, the final details would be included in the plans attached to the development permit report, which Council will be considering in concert with final adoption of the rezoning.

Revised plans, variances to accommodate the project as revised and an explanation of the changes in relation to the above matters and the revised plans are attached as Appendix F and G.

CONCLUSION:

The applicant has provided a revised development plan, in which all tandem parking spaces have an apron and the number of units has been reduced by 2 units from, from 32 to 30. Explanations of how the four concerns of Council have been rectified by the applicant and changes to variances are contained in a letter from the project architect (Appendix F).

The project, provided Council is prepared to grant the setback, height and underground parking variances and with the provision of aprons associated with tandem parking, complies with applicable bylaws and policies.

Given the forgoing, it is recommended that first and second reading be given to OCP Amending Bylaw No. 7499-2018, that second reading be given to Zone Amending Bylaw No. 7442-2018, and that application 2017-390-RZ be forwarded to Public Hearing.

“Original signed by Adrian Kopystynski”

Prepared by: **Adrian Kopystynski, MCIP, RPP, MCAHP
Planner**

“Original signed by Christine Carter”

Reviewed by: **Christine Carter, M.PL, MCIP, RPP
Director of Planning**

“Original signed by Frank Quinn”

Approved by: **Frank Quinn, MBA, P.Eng
GM Public Works & Development Services**

“Original signed by Paul Gill”

Concurrence: **Paul Gill, BBA, CPA, CGA
Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map

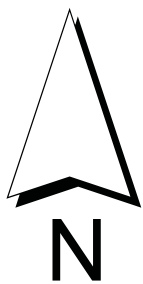
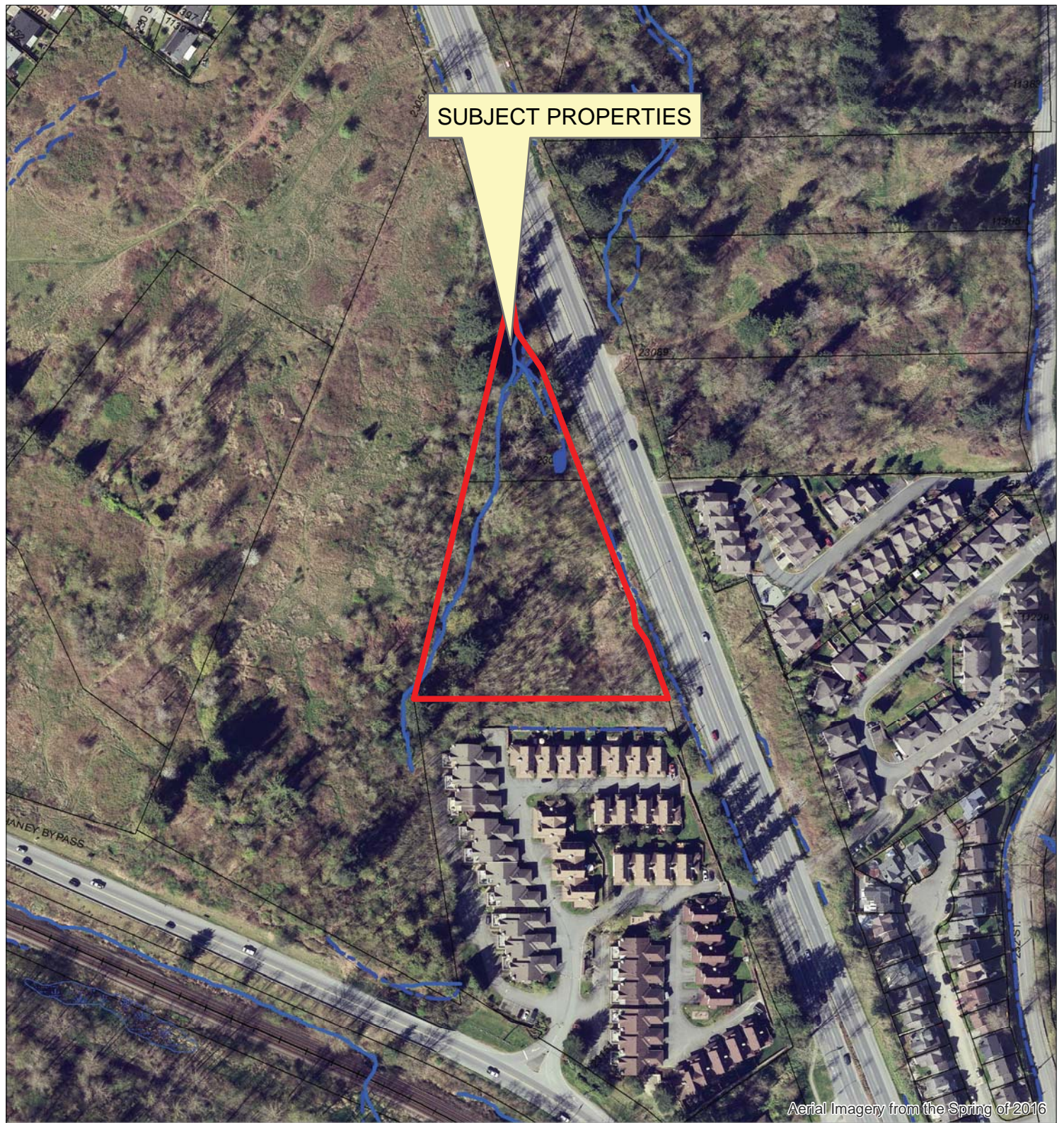
Appendix B – Ortho Map

Appendix C – OCP Amending Bylaw No. 7499-2018

Appendix D – Zone Amending Bylaw No. 7442-2018

Appendix E – Architectural and Landscaping Plan

Appendix F – Letter from Architect



Scale: 1:2,500

Legend

- Stream
- - - Indefinite Creek
- River
- Major Rivers & Lakes

23084/23100 Lougheed Highway

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

2017-390-RZ
DATE: Sep 8, 2017

BY: JV

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

ADOPTED, the day of , 20 .

CORPORATE OFFICER



MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

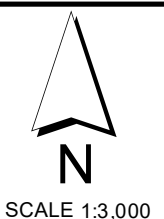
Bylaw No. 7499-2018

Map No. 982

From: Urban Residential and Conservation

To:  Conservation

 Urban Residential





MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

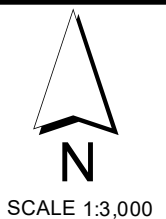
Bylaw No. 7499-2018

Map No. 983

Purpose: To Amend Schedule C as shown

 To Add To Conservation

 To Remove From Conservation



A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

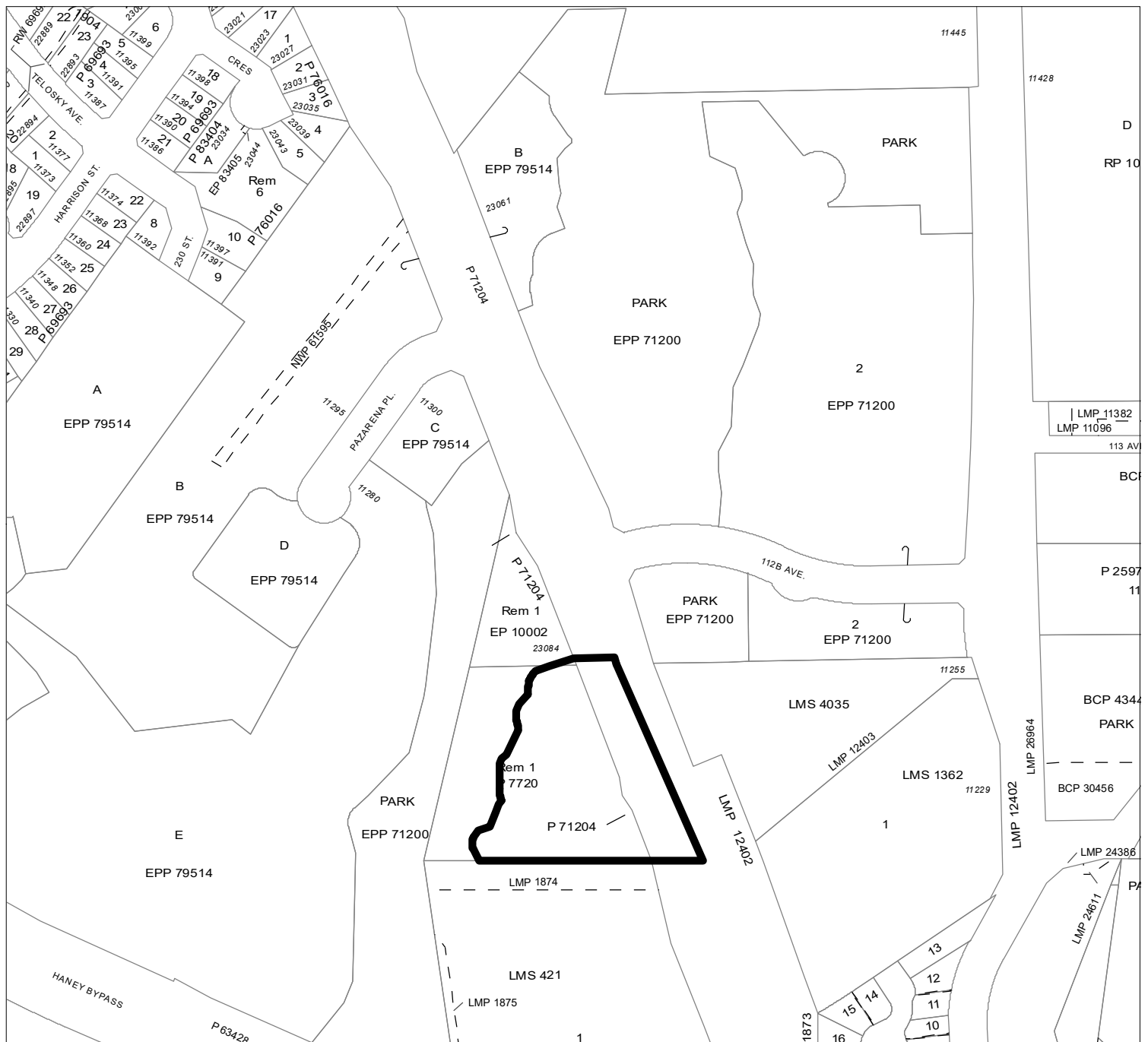
- and outlined in heavy black line on Map No. 1753 a copy of which is attached hereto and forms part of this Bylaw, is/are hereby rezoned to RM-4 (Multiple Family Residential).

- READ** a second time the 29th day of January, 2019.

READ a third time the _____ day of _____, 20_____

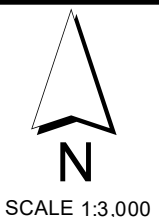
ADOPTED, the day of , 20

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7442-2018
Map No. 1753
From: RS-3 (One Family Rural Residential)
To: RM-4 (Multiple Family Residential)



Client/owner: All rights in this drawing are the exclusive property of Wensley Architecture Ltd. and shall not be used without the written permission. All necessary notices shall be referred to the Contractor before commencing work.

SEAL

UNWARRANTED

1	DEVELOPMENT PERMIT PRESENT	1/10/2019
2	DEVELOPMENT PERMIT PRESENT	1/10/2019
3	DEVELOPMENT PERMIT PRESENT	1/10/2019
4	DEVELOPMENT PERMIT PRESENT	1/10/2019
5	DEVELOPMENT PERMIT PRESENT	1/10/2019
6	DEVELOPMENT PERMIT PRESENT	1/10/2019
7	DEVELOPMENT PERMIT PRESENT	1/10/2019
8	DEVELOPMENT PERMIT PRESENT	1/10/2019
9	DEVELOPMENT PERMIT PRESENT	1/10/2019
10	DEVELOPMENT PERMIT PRESENT	1/10/2019

PROJECT NAME

SEQUOIA TOWNHOMES DEVELOPMENT

PROJECT ADDRESS:
23100, 23084 LOUGHEED HWY
MAPLE RIDGE, BC

W.A.
WENSLEY ARCHITECTURE LTD

CONSULTANTS:
STRUCTURAL: N.A.
MECHANICAL: N.A.
ELECTRICAL: N.A.
CIVIL: CENTRAL ENGINEERING LTD.
LANDSCAPE: LANDSCAPE ARCHITECTURE LTD.

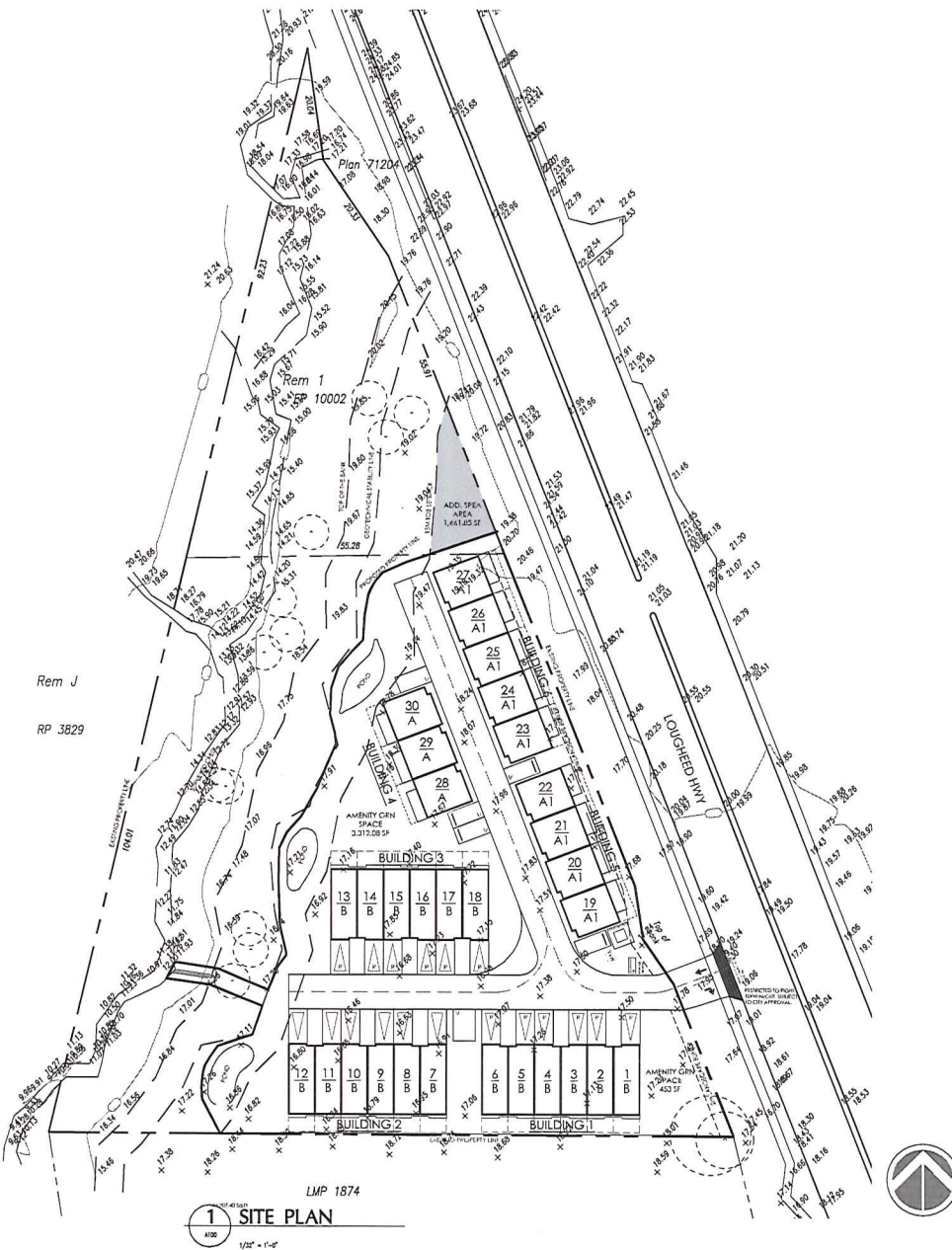
DRAWING TITLE

SITE PLAN

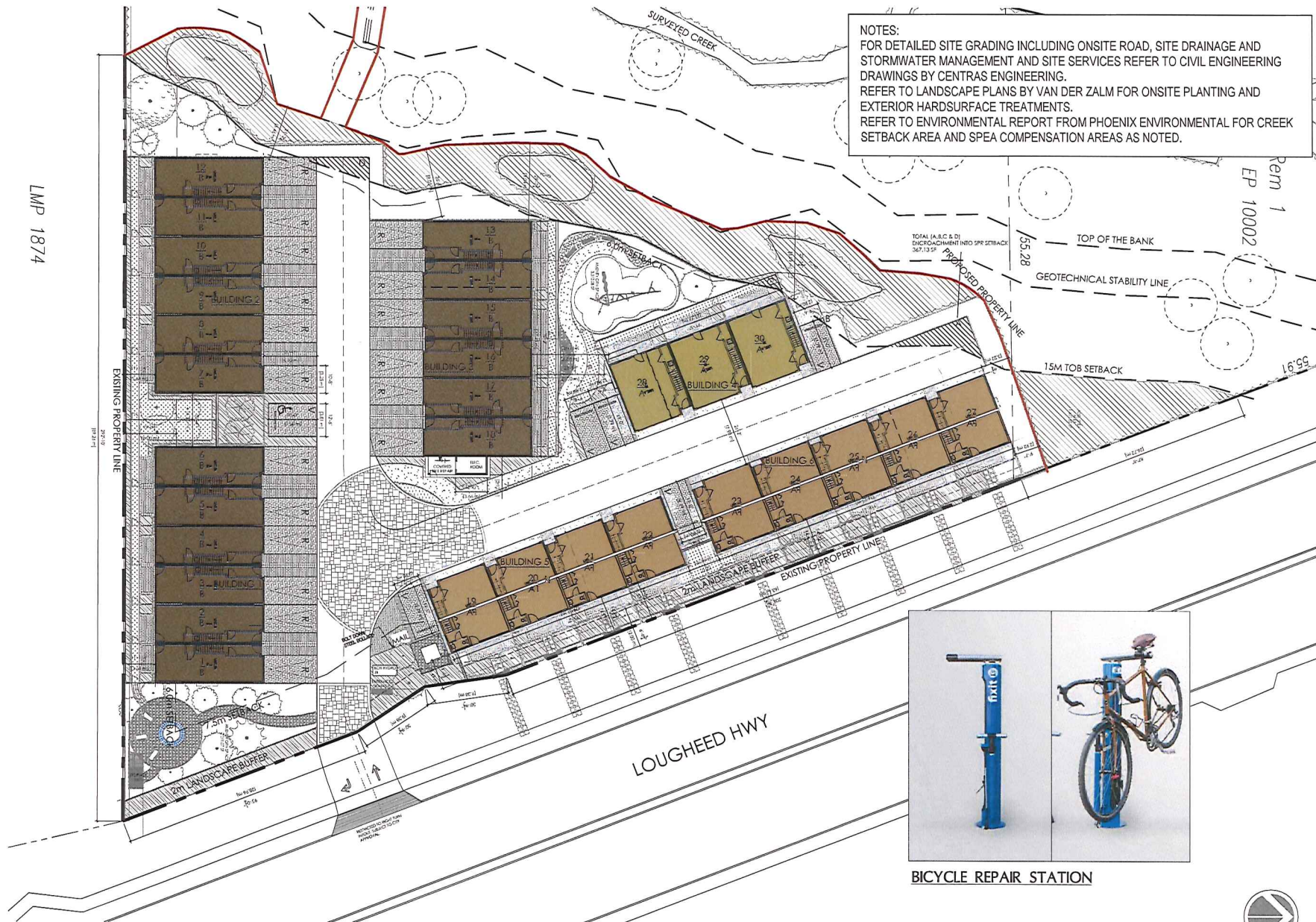
PROJECT NO: 1121 DRAWING NO: 20-01
SCALE: 1/32" = 1'-0" REVISION BY: N/A
DATE: OCT 2018 DRAWING NO: A100

Sequoia Townhomes: 23100, 23084 Lougheed Hwy Site Summary

Zone RM-1			
Site Area			
	Sq.ft	ACRES	Sq.m
Gross Site Area	120,979.0	2.78	11239
NET Developable	62,347.3	1.43	5792
Site Density			
	Based on Gross Site		Based on NET Site
Allowable FSR	0.75 FSR	90,734.3 Sq.ft	46,760.46 Sq.ft
Proposed FSR	42,381.88 Sq.ft	0.35 FSR	0.68 FSR
Proposed Unit Density		10.79 UPA	20.98 UPA
Unit Summary			
	Unit Area	Unit Count	Total Unit Area
Unit A	1,445.3 Sq.ft	12	17,343.1 Sq.ft
Unit B	1,381.1 Sq.ft	18	24,859.8 Sq.ft
		30	
Building Height			
	Permitted	36 Ft.	
	Proposed	38,292 Ft.	Variance: 2.125' for 8 units only, A units comply
Setbacks			
	Required	Proposed	Variances
Front (Lougheed)	7.5 m	3.49 m	3.49m at bldg 5 and 4.4m at bldg 6
Rear (South)	6 m	3.64 m	3.6 m at buildings 1 and 2
Rear (Creek)	6 m	6.5 m	
Side (Creek)	4.5 m	2.92 m	2.92 m at Unit 27
Horizontal Window Angle			
	Required	Proposed	Variances
Living Room	15 m	8.8 m	Unit 16, 17 & 28
Other required window	10 m	7.7 m	Unit 16, 17 & 28
Other window	3 m	3.64 m	
Amenity			
	Required	5 Sq.m/Unit	= 150.00 Sq.m
	Proposed		= 520.03 Sq.m
			1,614.64 Sq.ft
			5,603.15 Sq.ft
Useable Open Space (includes amenity)			
	Required	45 Sq.m/Unit	= 1,350.00 Sq.m
	Proposed		= 520.03 Sq.m
			1,614.64 Sq.ft
			5,603.15 Sq.ft
			8,561.42 Sq.ft
			1,278.00 Sq.ft
			15,442.57 Sq.ft
S.P.E.A compensation (refer also to Environmental report by Phoenix Environmental)			
	Proposed Losses	= 34.11 Sq.m	367.13 Sq.ft
	Proposed Gains	= 154.39 Sq.m	1,661.85 Sq.ft
Parking			
	Required	Resident	30
		Visitor	30
			2.0 Per Unit = 60 Stalls
			0.2 Per Unit = 6 Stalls
			64 Stalls
	Proposed	Resident (includes Driveway Parking Stalls)	= 79 Stalls
		Visitor	= 6 Stalls
			84 Stalls
	Tandem Parking Stalls	Proposed % of Total	= 36 Stalls
			43%
Building Area Summary			
	Area (in sq.ft)		Total Area
Building	Ground	Main	Upper
1	769.11	3691.49	3647.34
2	769.11	3691.49	3549.24
3	769.11	3691.49	3558.67
4	326.69	1960.09	2081.76
5	434.87	2612.13	2767.47
6	343.03	3284.24	3452.43
Total Floor Area (FSR)			42,381.88 Sq.ft



1 SITE PLAN
1/32" = 1'-0"



NOTES:
 FOR DETAILED SITE GRADING INCLUDING ONSITE ROAD, SITE DRAINAGE AND STORMWATER MANAGEMENT AND SITE SERVICES REFER TO CIVIL ENGINEERING DRAWINGS BY CENTRAS ENGINEERING.
 REFER TO LANDSCAPE PLANS BY VAN DER ZALM FOR ONSITE PLANTING AND EXTERIOR HARDSURFACE TREATMENTS.
 REFER TO ENVIRONMENTAL REPORT FROM PHOENIX ENVIRONMENTAL FOR CREEK SETBACK AREA AND SPEA COMPENSATION AREAS AS NOTED.

Copyright reserved. All parts of this drawing are the exclusive property of Wensley Architecture Ltd. and shall not be used without the written permission. All dimensions shall be verified by the Contractor before commencing work.

SEAL

DATE/APP/PLANT

1	DEVELOPMENT PERMIT PRESENT	10/10/2018
2	DEVELOPMENT PERMIT PRESENT	10/10/2018
3	DEVELOPMENT PERMIT PRESENT	10/10/2018
4	DEVELOPMENT PERMIT PRESENT	10/10/2018
5	DEVELOPMENT PERMIT PRESENT	10/10/2018
6	DEVELOPMENT PERMIT PRESENT	10/10/2018
7	DEVELOPMENT PERMIT PRESENT	10/10/2018
8	DEVELOPMENT PERMIT PRESENT	10/10/2018
9	DEVELOPMENT PERMIT PRESENT	10/10/2018
10	DEVELOPMENT PERMIT PRESENT	10/10/2018
11	DEVELOPMENT PERMIT PRESENT	10/10/2018
12	DEVELOPMENT PERMIT PRESENT	10/10/2018
13	DEVELOPMENT PERMIT PRESENT	10/10/2018
14	DEVELOPMENT PERMIT PRESENT	10/10/2018
15	DEVELOPMENT PERMIT PRESENT	10/10/2018
16	DEVELOPMENT PERMIT PRESENT	10/10/2018
17	DEVELOPMENT PERMIT PRESENT	10/10/2018
18	DEVELOPMENT PERMIT PRESENT	10/10/2018
19	DEVELOPMENT PERMIT PRESENT	10/10/2018
20	DEVELOPMENT PERMIT PRESENT	10/10/2018
21	DEVELOPMENT PERMIT PRESENT	10/10/2018
22	DEVELOPMENT PERMIT PRESENT	10/10/2018
23	DEVELOPMENT PERMIT PRESENT	10/10/2018
24	DEVELOPMENT PERMIT PRESENT	10/10/2018
25	DEVELOPMENT PERMIT PRESENT	10/10/2018
26	DEVELOPMENT PERMIT PRESENT	10/10/2018
27	DEVELOPMENT PERMIT PRESENT	10/10/2018
28	DEVELOPMENT PERMIT PRESENT	10/10/2018
29	DEVELOPMENT PERMIT PRESENT	10/10/2018
30	DEVELOPMENT PERMIT PRESENT	10/10/2018
31	DEVELOPMENT PERMIT PRESENT	10/10/2018
32	DEVELOPMENT PERMIT PRESENT	10/10/2018
33	DEVELOPMENT PERMIT PRESENT	10/10/2018
34	DEVELOPMENT PERMIT PRESENT	10/10/2018
35	DEVELOPMENT PERMIT PRESENT	10/10/2018
36	DEVELOPMENT PERMIT PRESENT	10/10/2018
37	DEVELOPMENT PERMIT PRESENT	10/10/2018
38	DEVELOPMENT PERMIT PRESENT	10/10/2018
39	DEVELOPMENT PERMIT PRESENT	10/10/2018
40	DEVELOPMENT PERMIT PRESENT	10/10/2018
41	DEVELOPMENT PERMIT PRESENT	10/10/2018
42	DEVELOPMENT PERMIT PRESENT	10/10/2018
43	DEVELOPMENT PERMIT PRESENT	10/10/2018
44	DEVELOPMENT PERMIT PRESENT	10/10/2018
45	DEVELOPMENT PERMIT PRESENT	10/10/2018
46	DEVELOPMENT PERMIT PRESENT	10/10/2018
47	DEVELOPMENT PERMIT PRESENT	10/10/2018
48	DEVELOPMENT PERMIT PRESENT	10/10/2018
49	DEVELOPMENT PERMIT PRESENT	10/10/2018
50	DEVELOPMENT PERMIT PRESENT	10/10/2018
51	DEVELOPMENT PERMIT PRESENT	10/10/2018
52	DEVELOPMENT PERMIT PRESENT	10/10/2018
53	DEVELOPMENT PERMIT PRESENT	10/10/2018
54	DEVELOPMENT PERMIT PRESENT	10/10/2018
55	DEVELOPMENT PERMIT PRESENT	10/10/2018
56	DEVELOPMENT PERMIT PRESENT	10/10/2018
57	DEVELOPMENT PERMIT PRESENT	10/10/2018
58	DEVELOPMENT PERMIT PRESENT	10/10/2018
59	DEVELOPMENT PERMIT PRESENT	10/10/2018
60	DEVELOPMENT PERMIT PRESENT	10/10/2018
61	DEVELOPMENT PERMIT PRESENT	10/10/2018
62	DEVELOPMENT PERMIT PRESENT	10/10/2018
63	DEVELOPMENT PERMIT PRESENT	10/10/2018
64	DEVELOPMENT PERMIT PRESENT	10/10/2018
65	DEVELOPMENT PERMIT PRESENT	10/10/2018
66	DEVELOPMENT PERMIT PRESENT	10/10/2018
67	DEVELOPMENT PERMIT PRESENT	10/10/2018
68	DEVELOPMENT PERMIT PRESENT	10/10/2018
69	DEVELOPMENT PERMIT PRESENT	10/10/2018
70	DEVELOPMENT PERMIT PRESENT	10/10/2018
71	DEVELOPMENT PERMIT PRESENT	10/10/2018
72	DEVELOPMENT PERMIT PRESENT	10/10/2018
73	DEVELOPMENT PERMIT PRESENT	10/10/2018
74	DEVELOPMENT PERMIT PRESENT	10/10/2018
75	DEVELOPMENT PERMIT PRESENT	10/10/2018
76	DEVELOPMENT PERMIT PRESENT	10/10/2018
77	DEVELOPMENT PERMIT PRESENT	10/10/2018
78	DEVELOPMENT PERMIT PRESENT	10/10/2018
79	DEVELOPMENT PERMIT PRESENT	10/10/2018
80	DEVELOPMENT PERMIT PRESENT	10/10/2018
81	DEVELOPMENT PERMIT PRESENT	10/10/2018
82	DEVELOPMENT PERMIT PRESENT	10/10/2018
83	DEVELOPMENT PERMIT PRESENT	10/10/2018
84	DEVELOPMENT PERMIT PRESENT	10/10/2018
85	DEVELOPMENT PERMIT PRESENT	10/10/2018
86	DEVELOPMENT PERMIT PRESENT	10/10/2018
87	DEVELOPMENT PERMIT PRESENT	10/10/2018
88	DEVELOPMENT PERMIT PRESENT	10/10/2018
89	DEVELOPMENT PERMIT PRESENT	10/10/2018
90	DEVELOPMENT PERMIT PRESENT	10/10/2018
91	DEVELOPMENT PERMIT PRESENT	10/10/2018
92	DEVELOPMENT PERMIT PRESENT	10/10/2018
93	DEVELOPMENT PERMIT PRESENT	10/10/2018
94	DEVELOPMENT PERMIT PRESENT	10/10/2018
95	DEVELOPMENT PERMIT PRESENT	10/10/2018
96	DEVELOPMENT PERMIT PRESENT	10/10/2018
97	DEVELOPMENT PERMIT PRESENT	10/10/2018
98	DEVELOPMENT PERMIT PRESENT	10/10/2018
99	DEVELOPMENT PERMIT PRESENT	10/10/2018
100	DEVELOPMENT PERMIT PRESENT	10/10/2018

SEQUOIA TOWNHOMES DEVELOPMENT

PROJECT ADDRESS:
 23100, 23084 LOUGHEED HWY
 MAPLE RIDGE, BC



CONSULTANTS:
 STRUCTURAL: WA
 MECHANICAL: WA
 ELECTRICAL: WA
 CIVIL: CENTRA ENGINEERING LTD.
 LANDSCAPE: VAN DER ZALM LANDSCAPE LTD.
 DRAINAGE: WA

SITE PLAN

PROJECT NO.	1002	DATE:	01/10/18
SCALE:	1/8" = 1'-0"	REVISION:	01
DATE:	01/10/18	DRAWN BY:	A101



BICYCLE REPAIR STATION

1 SITE PLAN - DETAILED
 1/8" = 1'-0"

Copyright reserved. All parts of this drawing are the exclusive property of Wensley Architecture Ltd. and shall not be used without the written permission. All dimensions shall be verified by the Contractor before commencing work.

SEAL

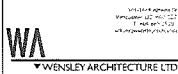
UNLESS SPECIFIED

4	DEVELOPMENT PERMIT	01/12/2018
3	DEVELOPMENT PERMIT	01/12/2018
2	DEVELOPMENT PERMIT	01/12/2018
1	DEVELOPMENT PERMIT	01/12/2018
0	REVISION	01/12/2018

PROJECT NAME

SEQUOIA TOWNHOMES DEVELOPMENT

PROJECT ADDRESS
23100 23084 LOUGHEED HWY
MAPLE RIDGE, BC



CONSULTANTS:
STRUCTURAL: N/A
MECHANICAL: N/A
ELECTRICAL: N/A
DIA: CIVIL AND ENVIRONMENTAL
LANDSCAPE: WARD AND ASSOCIATES LTD.

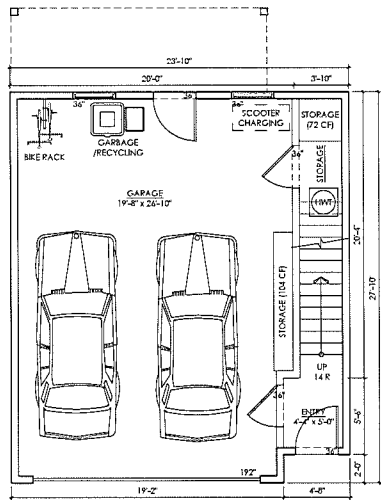
DRAWING TITLE

UNIT PLAN A

PROJECT NO.	1125	DRAWN BY	CM 12
SCALE	1/4" = 1'-0"	REVIEW BY	CM
DATE	22.1.2018	DATE	22.1.2018

A300

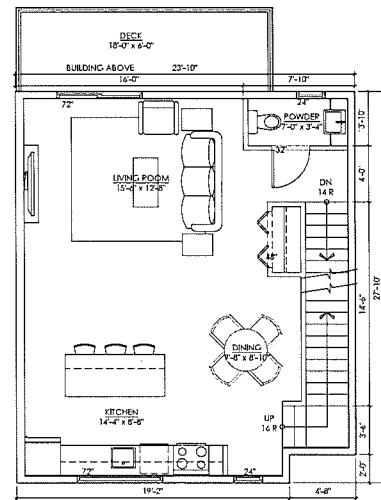
- AGING IN PLACE/ADAPTABILITY MEASURES:**
- BACKING IN THE PRIMARY AND MASTER BATHROOMS FOR FUTURE GRAB BARS
 - ROUGH IN FOR FUTURE INCLINE STAIR LIFT
 - KITCHEN SINK CABINET TO BE EASILY REMOVED
 - INSTALLATION OF LIGHT SWITCHES AT 42" ABOVE FINISHED FLOOR, AND ELECTRICAL OUTLETS AT 18" ABOVE FINISHED FLOOR.
 - PROVISION OF SCOOTER CHARGING AREA IN GARAGE WITH PLUG-IN.



FLOOR AREA: 110 SF (S44 SF GARAGE)
TOTAL AREA: 145 SF

1 GROUND FLOOR

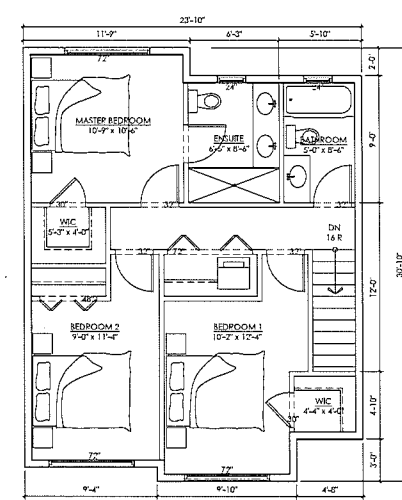
1/4" = 1'-0"



FLOOR AREA: 654 SF

2 2ND FLOOR

1/4" = 1'-0"



FLOOR AREA: 687 SF

3 3RD FLOOR

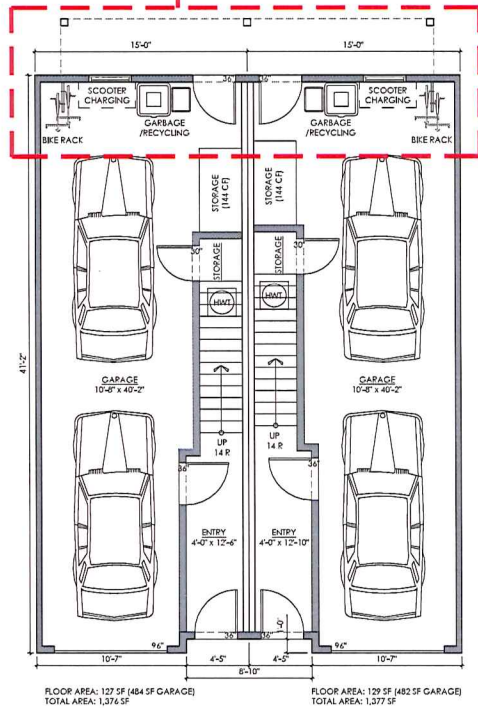
1/4" = 1'-0"



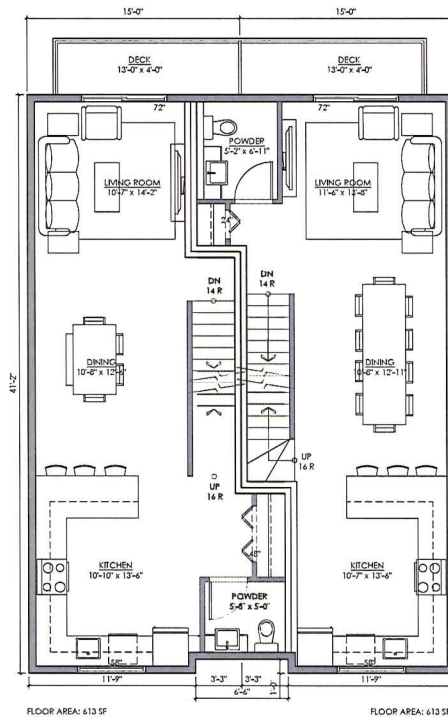
- VERTICAL BIKE RACKS
- SHELVEING
- MOBILITY SCOOTER CHARGING

AGING IN PLACE/ADAPTABILITY MEASURES:

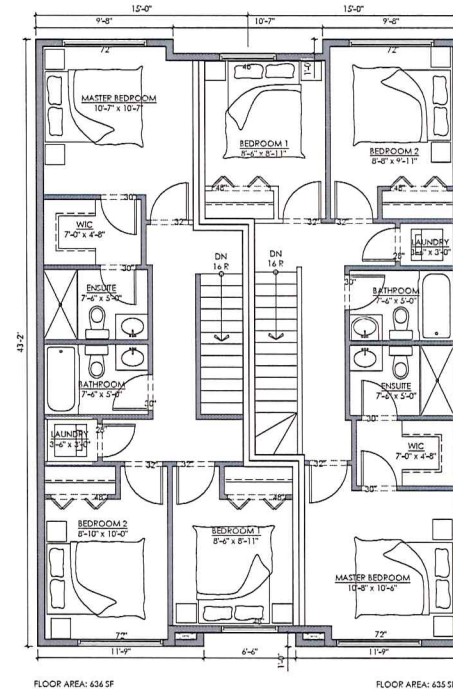
- BACKING IN THE PRIMARY AND MASTER BATHROOMS FOR FUTURE GRAB BARS
- ROUGH IN FOR FUTURE INCLINE STAIR LIFT
- KITCHEN SINK CABINET TO BE EASILY REMOVED
- INSTALLATION OF LIGHT SWITCHES AT 42" ABOVE FINISHED FLOOR, AND ELECTRICAL OUTLETS AT 18" ABOVE FINISHED FLOOR.
- PROVISION OF SCOOTER CHARGING AREA IN GARAGE WITH PLUG-IN.



1 GROUND FLOOR
1/8" = 1'-0"



2 2ND FLOOR
1/8" = 1'-0"



3 3RD FLOOR
1/8" = 1'-0"

Copyright reserved. All parts of this drawing are the exclusive property of Wensley Architecture Ltd. and shall not be used without the written permission. All dimensions shall be verified by the Contractor before commencing work.

SEALED

UNLESS OTHERWISE NOTED:

4	DEVELOPMENT PERMIT REQUIRED	2020/09/18
3	DEVELOPMENT PERMIT REQUIRED	2020/09/18
2	DEVELOPMENT PERMIT REQUIRED	2020/09/18
1	DEVELOPMENT PERMIT REQUIRED	2020/09/18
0	REVISION FOR DEVELOPMENT PERMIT	2020/09/18
0	REVISION	2020/09/18

PROJECT NAME

SEQUOIA TOWNHOMES DEVELOPMENT

PROJECT ADDRESS:

23100, 23084 LOUGHEED HWY
MAPLE RIDGE, BC

WA
WENSLEY ARCHITECTURE LTD.

CONSULTANTS:
STRUCTURAL: N/A
MECHANICAL: N/A
ELECTRICAL: N/A
PAVING: N/A
LANDSCAPE: N/A

DRAWING TITLE

UNIT PLAN B (Interlocks 1 & 2)

PROJECT NO.	1102	DRAWN BY	DAW/JS
SCALE	1/8" = 1'-0"	REVIEW BY	DAW
DATE	JUL 2018	DATE	

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

DATE: JUL 2018

Copyright reserved. All parts of this drawing are the intellectual property of Wensley Architecture Ltd. and shall not be used without the written permission. All dimensions shall be verified by the Contractor before commencing work.

SEA

DATE/REVISION

4	DEVELOPMENT PERMIT REQUIRED	1/1/2024
3	DEVELOPMENT PERMIT REQUIRED	01/01/2024
2	DEVELOPMENT PERMIT REQUIRED	01/01/2024
1	DEVELOPMENT PERMIT REQUIRED	1/1/2024

PROJECT NAME

SEQUOIA TOWNHOMES DEVELOPMENT

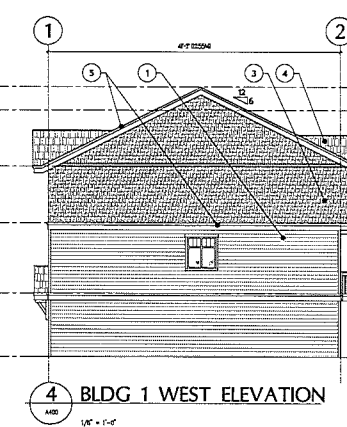
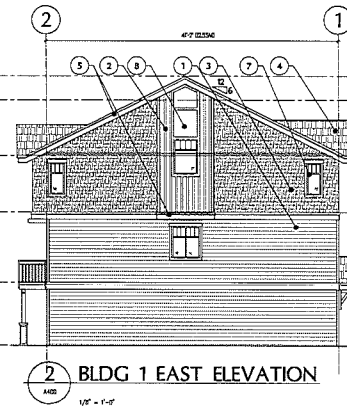
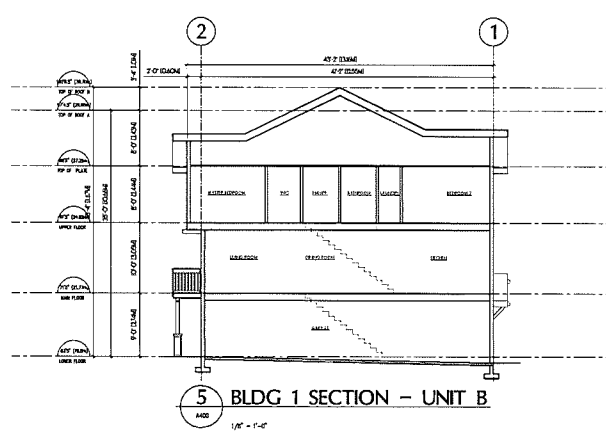
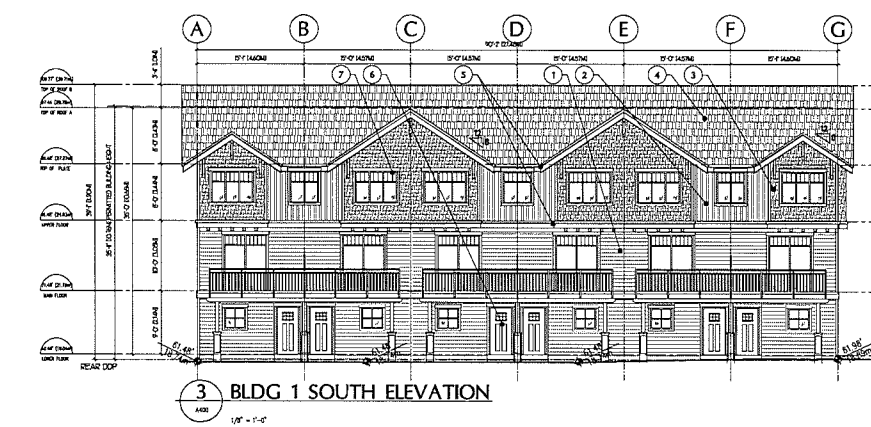
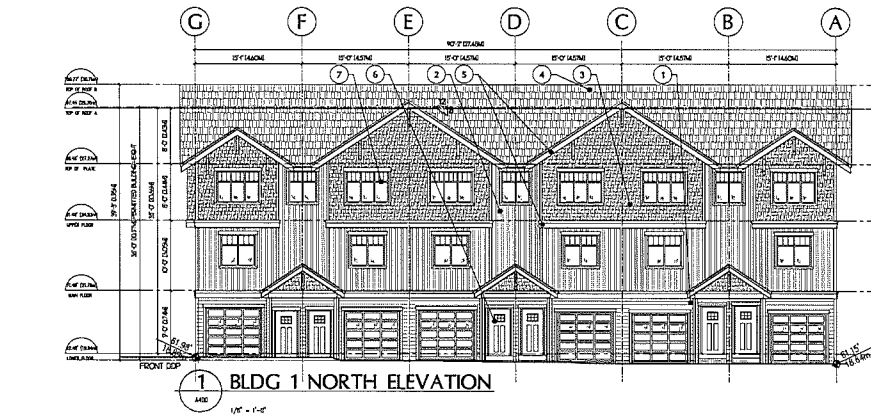
23100, 23084 LOUGHEED HWY
MAPLE RIDGE, BC

WA
WENSLEY ARCHITECTURE LTD.

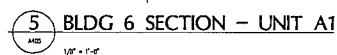
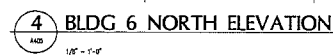
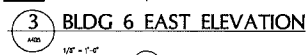
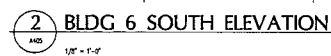
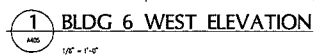
CONSULTANTS:
STRUCTURAL: WA
MECHANICAL: WA
ELECTRICAL: WA
DRAINAGE: WA
LANDSCAPE: WA
DRAWING TITLE

BUILDING 1 ELEV / SEC

PROJECTED	DATE	DESIGNED	DATE
SCALE	1/8" = 1'-0"	POWER BY	DA
SHEET	JULY 2024	DATE/NO.	A400



- LEGEND OF FINISHES**
- 1 HARDPLANK SIDING - HORIZONTAL SIDING
COLOUR #1 - NIGHT GREY
 - 2 HARDPLANK SIDING - BOARD & BATTEN
COLOUR #2 - PEARL GREY
 - 3 HARDPLANK SIDING - SHAKE
COLOUR #3 - SHADY BROWN
 - 4 ASPHALT ROOF SHINGLE
COLOUR - WEATHERED WOOD
 - 5 PAINTED WOOD TRIMS AND BRACKETS
COLOUR - WHITE
 - 6 PAINTED FRONT DOOR
COLOUR - BLACK
 - 7 VINYL WINDOW FRAMES
COLOUR - STANFORD WHITE
 - 8 HARDIPANEL SIDING
COLOUR - WHITE



- 1 HARDEPLANK SIDING - HORIZONTAL SIDING
COLOR - NIGHT GREY
- 2 HARDEPLANK SIDING - BOARD & BATTEN
COLOR - NIGHT GREY
- 3 HARDEPLANK SIDING - SHAKE
COLOR - K&G BROWN
- 4 ASPHALT ROOF SINGLE
COLOR - WEATHERED WOOD
- 5 PAINTED WOOD TRIMS AND BRACKETS
COLOR - WHITE
- 6 PAINTED FRONT DOOR
COLOR - BLACK
- 7 VINYL WINDOW FRAMES
COLOR - STANDARD WHITE
- 8 HARDIPANEL SIDING
COLOR - WHITE

PROJECT NO.	1720	DRAWN BY	DR
SCALE	1/8"=1'-0"	REVIEW BY	DR
DATE	JULY 2018	CRANE/DIG	A



UNIT A



UNIT B



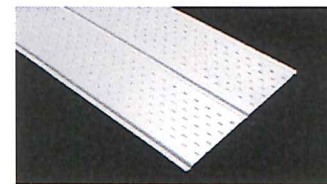
SPRUCE RAFTER TAILS
-PAINTED WHITE



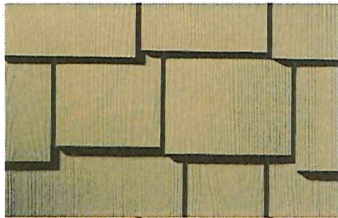
WOODEN KNEE BRACES-
PAINTED WHITE



SPRUCE COMBED FASCIA-
PAINTED WHITE



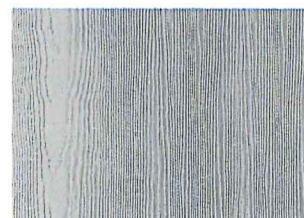
KAYCAN ALUMINIUM PERFORATED
SOFFIT-
WHITE



HARDIE SHAKE SIDING-
NAVAJO BEIGE



HARDIE LAP SIDING-
NIGHT GREY



HARDIE VERTICAL BOARD &
BATTEN SIDING-
LIGHT MIST



IKO ARCHITECTURAL SERIES
SHINGLES-
DRIFTWOOD

Copyright reserved. All parts of this drawing are the exclusive property of Wensley Architecture Ltd. and shall not be used without the written permission. All dimensions shall reflect the Contractor before commencing work.

TOTAL

UNSATISFACTORY

1	CE. BLUMHART PERMIT PRESIDENT	11/02/2018
4	CE. BLUMHART PERMIT PRESIDENT	09/02/2018
3	CE. BLUMHART PERMIT PRESIDENT	07/02/2018
2	CE. BLUMHART PERMIT PRESIDENT	05/02/2018
1	CE. BLUMHART PERMIT PRESIDENT	11/02/2017

NO. REGION WDS

PROJECT NAME

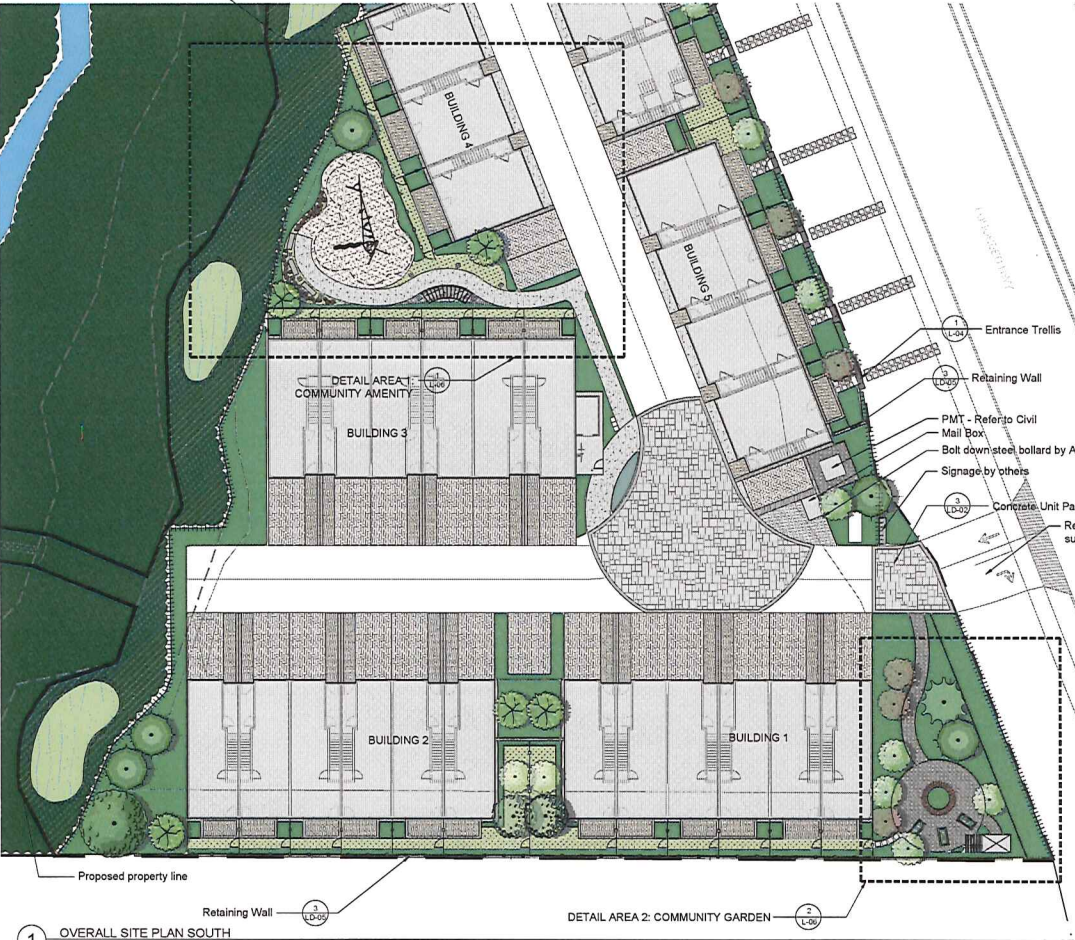
PROJECT ADDRESS
23100, 23084 LOUGHEED HWY
MAPLE RIDGE, BC

CONSULTANTS:
STRUCTURAL: WA
MECHANICAL: WA
ELECTRICAL: WA
SIA: CENTRA CONSULTING LTD.
LANDSCAPE: VANDEP SLOAN & ASSOCIATES LTD.

DRAWING TITLE:
MATERIAL BOARD

PROJECT NO.	1723	DRAWN BY:	CM
SCALE:	M/S	FOUR BY:	DM
DATE:	JULY 2018	DRAWING NO.	A406

Environmental Setback Area
Refer to Environmental Report



1 OVERALL SITE PLAN SOUTH
Scale 1:200

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer circinatum / Vine Maple	B & B			5
	Acer macrophyllum / Big Leaf Maple	B & B			1
	Acer palmatum / Japanese Maple	B & B	4cm		8
	Amelanchier laevis 'Spring Flurry' / Spring Flurry Serviceberry	B & B	6cm		11
	Cornus kousa Starlight / Kousa Dogwood	B & B	4cm		2
	Thuja plicata / Western Red Cedar	B & B		3.0m ht	5

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	2 LD-02	CONCRETE PAVING
	4 LD-02	CONCRETE UNIT PAVING PATIO Paver Name: Manufacturer: Barham Soldier Course Size: 225 x 225 x 40 Colour: Charcoal Field: Size: 300 x 150 x 40 Colour: Antique Brown
	3 LD-02	CONCRETE UNIT PAVING VEHICULAR Type: Naveau Colour: Shavine State Manufacturer: Barham
	5 LD-02	PERMEABLE PAVERS Type: Naveau Colour: Antique Brown Manufacturer: Barham Concrete
	1 LD-01	PLAY AREA FIBAR
	6 LD-02	CRUSHED GRANITE PATHWAY Material: Crushed Granite Colour: Grey
	1 LD-01	PAVING SLABS
	5 LD-01	DRIP STRIP

SOFTSCAPE MATERIALS

		SOD See Critical Landscape Notes for Specifications
	4 LD-03	SHRUB PLANTING

SITE FURNISHINGS/LIGHTING

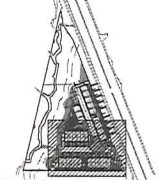
	5 LD-03	TRASH RECEPTACLE Manufacturer: Westone or approved equals Model: Modern Curve Trip Double Recycling Station
	3 LD-04	BENCH Model: Madera Colour: Black Manufacturer: Westone Site Furnishings Mount: Surface mount
	3 LD-03	BOLLARD LIGHTING

FENCING

KEY	REF.	DESCRIPTION
	1 LD-05	CEDAR FENCE
	2 LD-05	SPLIT RAIL FENCE



Key Map (NTS)



No.	By	Description	Date
7	DJ	Revised for DP	Nov 26, 2016
6	DJ	Revised for DP	Oct 01, 2016
5	DJ	Revised for DP	Sept 14, 2016
4	YZ	Issued for DP	July 26, 2016
3	YZ	Issued for DP	Mar 21, 2016
2	TJS	Issued for Comment	Mar 16, 2016
1	DJ	Issued for Development Permit	Nov 09, 2017

Project:
SEQUOIA TOWNHOMES
Location:
23100, 23084
LOUGHREED HWY

Drawn: YZ	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"

Scale:
1:200

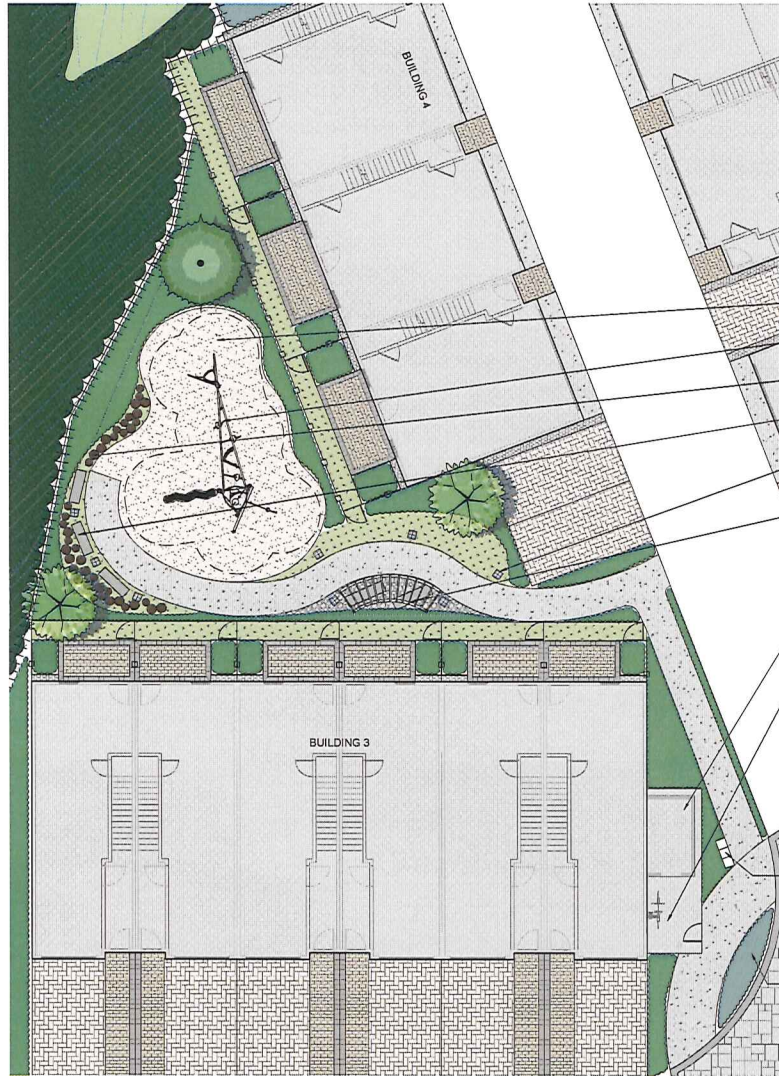
Drawing Title:
OVERALL SITE PLAN SOUTH

VOZ Project #:
DP2017-23

Drawing #:
L-05

1:200 0 2m 4m 6m 8m 10m 12m 14m 16m 18m 20m 22m 24m 26m 30m

100% SCALED BY PROJECT DESIGNER/PLANNING TEAM/DATE: 12/20/2017 12:33 LOCATION: TOWNHOMES 2000S SHEET 1 OF 10 SITE DETAIL AREA 2.DWG



1 DETAIL AREA 1: COMMUNITY AMENITY
Scale 1:100



2 DETAIL AREA 2: COMMUNITY GARDEN
Scale 1:100

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	2 LD-02	CONCRETE PAVING
	4 LD-02	CONCRETE UNIT PAVING PATIOS Paver: Roman Manufacturer: Silestone Soldier Course Size: 20 x 20 x 40 Colour: Charcoal Field Size: 300 x 150 x 40 Colour: Antique Walnut
	3 LD-02	CONCRETE UNIT PAVING VEHICULAR Type: Versara Colour: Sherwin State Manufacturer: Silestone
	5 LD-02	PERMEABLE PAVERS Type: Versara Colour: Antique Walnut Manufacturer: Silestone Concrete
	1 LD-01	PLAY AREA FIBAR
	6 LD-02	CRUSHED GRANITE PATHWAY Material: Crushed Granite Colour: Grey
	1 LD-03	PAVING SLABS
	5 LD-01	DRIP STRIP

SOFTSCAPE MATERIALS

	1 LD-03	SOD See Critical Landscape Notes for Specifications
	4 LD-03	SHRUB PLANTING

FENCING

KEY	REF.	DESCRIPTION
	1 LD-05	CEDAR FENCE
	2 LD-05	SPLIT RAIL FENCE

SITE FURNISHINGS/LIGHTING

	5 LD-05	TRASH RECEPTACLE Manufacturer: Wharton or approved equal Model: Silestone Corral Top Double Recycling Station
	3 LD-04	BENCH Model: Silestone Colour: Black Manufacturer: Wharton Sile Furnishings Mount: Surface mount
	3 LD-03	BOLLARD LIGHTING

von der Zalm + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture
Suite 1, 20177 67th Avenue P 604 842 0024
Langley, British Columbia F 604 882 0862
V3M 4G3 6th Floor V3M 4G3



No.	By	Description	Date
7	DJ	Revised for DP	Nov 20, 2016
6	DJ	Revised for DP	Oct 01, 2016
5	DJ	Revised for DP	Sept 14, 2016
4	YZ	Issued for DP	July 26, 2016
3	YZ	Issued for DP	Mar 21, 2016
2	TS	Issued for Comment	Mar 16, 2016
1	DJ	Issued for Development Permit	Nov 17, 2017

No.	By	Description	Date
1	DJ	Issued for Development Permit	Nov 17, 2017

REVISIONS TABLE FOR SHEET

Project:
SEQUOIA TOWNHOMES

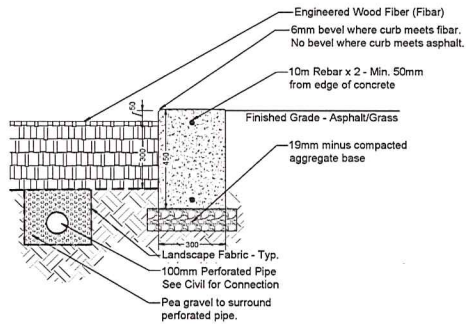
Location:
23100, 23084
LOUGHREED HWY

Drawn: YZ	Stamp
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND THE NUMBER OF PLANTS AND SPECIES TO THE CONSTRUCTION AND RECORD DRAWING AND DIMENSIONS SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWING. THE NUMBER AND SPECIES OF PLANTS SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWING. THE NUMBER AND SPECIES OF PLANTS SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWING.

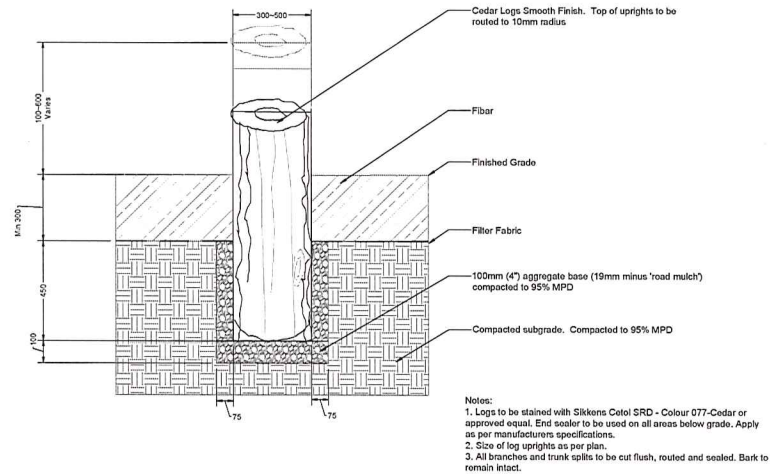
Drawing Title:
SITE DETAIL AREAS

VOZ Project #:
DP2017-23

Drawing #:
L-06



1 PLAY AREA FIBAR
1:10



2 STEPPING STONE STUMP
1:10



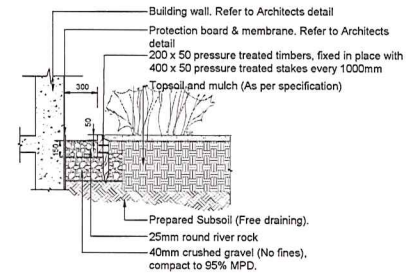
Model: GXY 947 Sirius II
Manufacturer: Kompan
Supplier: Rec Tec

3 PLAY STRUCTURE
N.T.S



TYPICAL TRELLIS
Size: 3900 x 1200mm
Material: Steel
Contractor to provide shop drawings for landscape architect approval.

4 TRELLIS
N.T.S



5 DRIP STRIP
1:20



No.	By	Description	Date
7	DJ	Reviewed for DP	Nov 20, 2016
6	DJ	Reviewed for DP	Oct 01, 2016
5	DJ	Reviewed for DP	Sept 14, 2016
4	YZ	Issued for DP	July 26, 2016
3	YZ	Issued for DP	Mar 21, 2016
2	YS	Issued for Comment	Mar 16, 2016
1	DJ	Issued for Development Permit	Nov 09, 2017

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project: SEQUOIA TOWNHOMES			
Location: 23100, 23084 LOUGHEED HWY			

Drawn: YZ	Stamp
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	

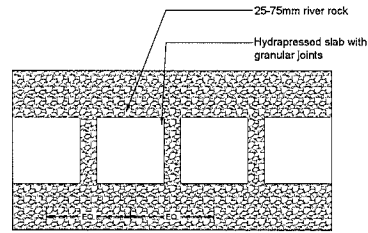
Drawing Title:
DETAILS

VOZ Project #:
DP2017-23

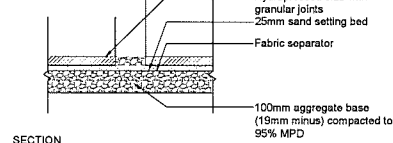
Drawing #:
LD-01

Notes:

1. Slabs to be spaced equally between adjacent surfaces.



PLAN



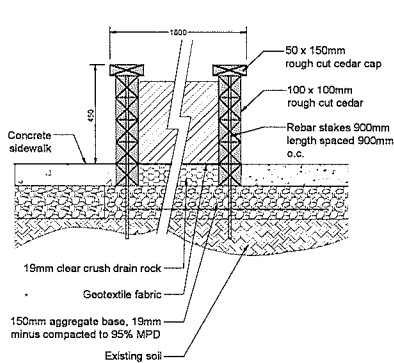
SECTION

Notes:

1. Install all components as per manufacturer's specifications.
2. Supplier: Abbotsford Concrete or approved Equal
3. Type: Texada
4. Sizes: 610mm x 610mm, 457mm x 457mm
5. Color: Charcoal

1 CONCRETE SLABS

Scale 1:10



NOTES:

1. Cap to be sanded smooth.
2. Cap and exterior of planter to be treated with Sikkenes Cetol WB SRD, Colour: #077 (Cedar)
3. All fasteners to be hot dipped galvanized.

2 URBAN AGRICULTURAL PLANTER BOXES

Scale 1:10

BOR80

LUMINAIRE



ANCHOR PLATE



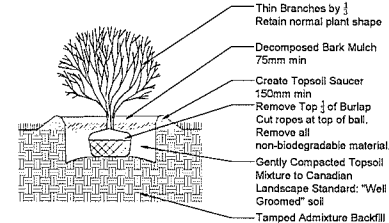
NOTES:

1. Cap to be sanded smooth.
2. Cap and exterior of planter to be treated with Sikkenes Cetol WB SRD, Colour: #077 (Cedar)
3. All fasteners to be hot dipped galvanized.

3 BOLLARD LIGHTING

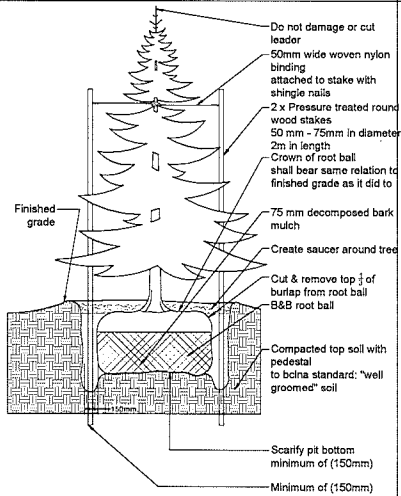
Scale 1:10

Bollard Lighting
Model: BOR80-TBC2
Size: 1054mm HT
Colour: Textured Bronze
Mount: Surface
Supplier: Lumec
www.lumec.com



4 SHRUB PLANTING DETAIL

Scale 1:20

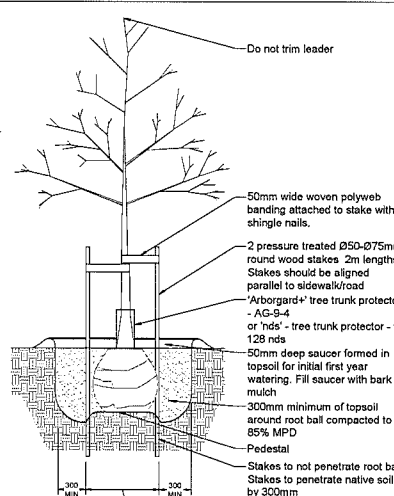


Notes:

1. Do not damage main roots or destroy root ball when installing tree stake.
2. Water thoroughly after installation
3. Remove tree rings and stakes two years after installations
4. Provide drainage for planting pit in impermeable soil

5 CONIFEROUS TREE

Scale 1:20

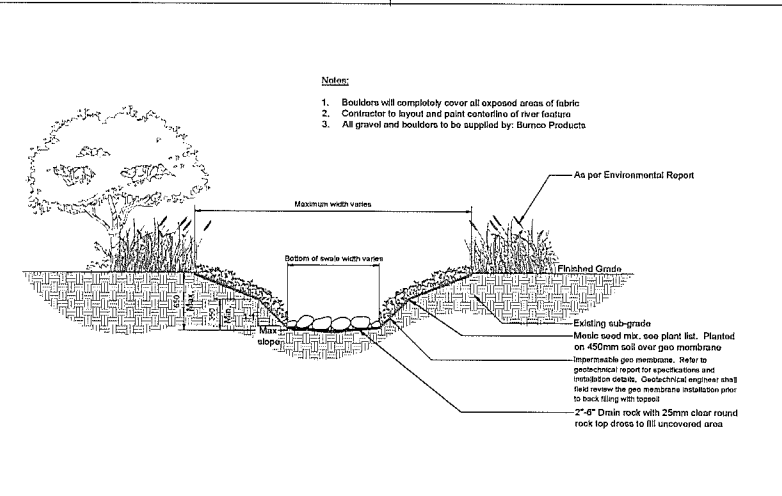


Notes:

1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole, all string, twine, etc. to be removed.
2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
3. All trees shall be single stem

6 DECIDUOUS TREE

Scale 1:20



7 RAIN GARDEN

Scale 1:20

van der Zalm + associates inc.
Peter J. van der Zalm - Civil Engineering
Urban Design - Landscape Architecture
Suite 1, 12017 40th Avenue E. P.O. Box 442, Delta
Langley, British Columbia V3M 4K7
781-4711 info@vzai.com



No.	By	Description	Date
7	DJ	Revised for DP	Nov 29, 2016
6	DJ	Revised for DP	Oct 01, 2016
5	DJ	Revised for DP	Sept 14, 2016
4	YZ	Issued for DP	July 26, 2016
3	YZ	Issued for DP	Mar 21, 2016
2	TG	Issued for Comment	Mar 16, 2016
1	DJ	Issued for Development Permit	Nov 02, 2017

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing and design are the property of van der Zalm + associates inc. and shall not be reproduced or used for other projects without permission.

No.	By	Description	Date
7	DJ	Revised for DP	Nov 29, 2016
6	DJ	Revised for DP	Oct 01, 2016
5	DJ	Revised for DP	Sept 14, 2016
4	YZ	Issued for DP	July 26, 2016
3	YZ	Issued for DP	Mar 21, 2016
2	TG	Issued for Comment	Mar 16, 2016
1	DJ	Issued for Development Permit	Nov 02, 2017

REVISIONS TABLE FOR SHEET

Project: SEQUOIA TOWNHOMES

Location: 23100, 23084 LOUGHEED HWY

Drawn: YZ

Stamp

Checked: DJ

Approved: DJ

Original Sheet Size: 24"x36"

Scale: AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

AS SHOWN

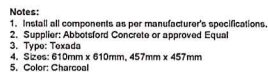
AS SHOWN

AS SHOWN

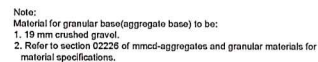
AS SHOWN

AS SHOWN

AS SHOWN



Manufacturer: Wishbone or approved equals
Model: Parker Bench
Model#: 5ft PKB-5
Colour: Black Super Texture Powder Coated Aluminum Frame; Walnut plastic lumber
Mount: Surface mount



Material for granular subbase (aggregate subbase) to be:

1. select granular subbase.
2. 75mm pit run gravel.
3. 75mm minus crushed gravel.
4. Pit run sand
5. Approved native material.
6. Other approved materials.
7. Refer to Section 02226 of MMCD-Aggregates and granular materials for material specifications.

Notes:
1. Contractor to provide shop drawings
2. Install all components as per manufacturer's specifications

[illegible]

Drawing Title:

Drawing Title:

WDZ Project #:

VDZ Project #: DP2017-23

Drawing #:

Drawing #: LD-04

December 12, 2018
23100 and 23084 Lougheed Highway, Maple Ridge

Proposed Townhome Development
23100 and 23084 Lougheed Highway, Maple Ridge
File No. 217-390-DP

Letter to Mayor and Council
City of Maple Ridge
11995 Haney Place
Maple Ridge, BC V2X 6A9

In response to comments received by Council on Tuesday, November 13th, the following changes were made to the proposed townhome development on 23100 and 23084 Lougheed Highway:

1. The following project statistics were revised:

<u>Previous</u>	<u>New</u>
32 Units	30 Units
10 side-by-side + 22 tandem	12 side-by-side + 18 tandem
UPA 11.51 (Gross) 22.70 (Net)	UPA 10.79 (Gross) 20.98 (Net)
FSR 0.37 (Gross) 0.73 (Net)	FSR 0.35 (Gross) .68 (Net)
2. The ratio of tandems to side-by-side garage units is 60%
3. 20' long driveway aprons have been provided in front of all tandems to accommodate full-size parking. This exceeds the parking bylaw stall length of 18' (5.5m).
4. We encroach 367 SF into the SPEA line, but provide more than the 2:1 compensation ratio required.
5. There are 6 visitor stalls required and 6 visitor stalls are provided, including one accessible stall.
6. Site entry driveway has shifted north.
7. The hatched area at the "fork in the road" is intended to be accent paving as the firetruck turning radius is required, but would be rarely (if ever, hopefully) used; this allows for some additional hard landscaping/paving interest in this location.
8. The following proposed setbacks were revised:
 - a. 3.6m variance at the Rear (South) property lines at building 1 and 2
 - b. 6.5m at Rear (Creek) variance is not required
 - c. 2.92m setback variance at Side (Creek) property line at building 6 (unit 27 only)
9. The following proposed variances to Horizontal window angles were revised:
 - a. 8.8m at Living room window
 - b. 7.7m at Other required windows
10. The required amenity space is 150 sq. m. and the proposed amenity is 520 sq. m.
11. The required usable open space is 1,350 sq. m and the proposed is 1,434 sq. m



301 - 1444 Alberni Street, Vancouver, BC V6G 2Z4
604 685 3529 • www.wensleyarch.com

▼ WENSLEY ARCHITECTURE LTD

December 12, 2018
23100 and 23084 Lougheed Highway, Maple Ridge

The same townhouse unit layouts are used, preserving the overall form and character of the development. The central bike repair station, garden tool storage shed and the adaptable features of the units are maintained.

With the above revisions implemented we look forward to the project moving forward with staff and council support.

Regards,

A handwritten signature in black ink, appearing to read 'David Echaiz-McGrath', written over a faint, stylized geometric outline.

David Echaiz-McGrath,
Architect AIBC, SAA - Principal
WENSLEY ARCHITECTURE LTD.



301 - 1444 Alberni Street, Vancouver, BC V6G 2Z4
604 685 3529 ▼ www.wensleyarch.com

▼ WENSLEY ARCHITECTURE LTD