



City of Maple Ridge

PUBLIC HEARING

April 20, 2021

CITY OF MAPLE RIDGE

PUBLIC HEARING AGENDA

April 20, 2021

7:00 pm

Virtual Online Meeting including Council Chambers

The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.

For virtual public participation register by going to www.mapleridge.ca/640/Council-Meetings and clicking on the meeting date.

Note: This Agenda is also posted on the City's Website at www.mapleridge.ca/AgendaCenter (see: Public Hearing)

1) **2018-097-RZ**

21571 121 Avenue

Lot 1 District Lot 245 Group 1 New Westminster District Plan 73102

Maple Ridge Zone Amending Bylaw No. 7460-2018

To rezone from RS-1b (Single Detached (Medium Density) Residential) to R-1 (Single Detached (Low Density) Urban Residential).

The current application is to permit a future subdivision of two lots.

2) **2019-353-RZ**

22058 119 Avenue

Lot 54 District Lot 397 Group 1 New Westminster District Plan 14049

Maple Ridge Zone Amending Bylaw No. 7583-2019

To rezone from RS-1 (Single Detached Residential) to RT-2 (Ground-Oriented Residential Infill).

The current application is to permit the future construction of a triplex residential building.

3) **2021-029-RZ**

The current application is to rezone the following properties regulated by a Land Use Contract in order to meet Provincial deadlines and be in compliance with the *Local Government Act*.

3a) **Maple Ridge Zone Amending Bylaw No. 7702-2021**

20834 Dewdney Trunk Road

Lot 43 District Lot 250 Group 1 New Westminster District Plan 54703

To rezone from Land Use Contract to RM-1 Low Density Townhouse Residential.

3b) **Maple Ridge Zone Amending Bylaw No 7703-2021**
PID 005-255-911; Dewdney Trunk Road (south/west of 20834)
Lot 44 Except: Part Dedicated Road on Plan 66330, District Lot 250 Group 1 New Westminster District Plan 54703
To rezone from Land Use Contract to P-1 Park and School.

3c) **Maple Ridge Zone Amending Bylaw No. 7704-2021**

20931 Camwood Avenue

Strata Lot 1 District Lot 250 Group 1 New Westminster District Strata Plan NW355
Together with an Interest in the Common Property in proportion to the Unit Entitlement of the Strata Lot as shown on Form 1

To rezone from Land Use Contract to RM-1 Low Density Townhouse Residential.

20933 Camwood Avenue

Strata Lot 2 District Lot 250 Group 1 New Westminster District Strata Plan NW355
Together with an Interest in the Common Property in proportion to the Unit Entitlement of the Strata Lot as shown on Form 1

To rezone from Land Use Contract to RM-1 Low Density Townhouse Residential.

20935 Camwood Avenue

Strata Lot 3 District Lot 250 Group 1 New Westminster District Strata Plan NW355
Together with an Interest in the Common Property in proportion to the Unit Entitlement of the Strata Lot as shown on Form 1

To rezone from Land Use Contract to RM-1 Low Density Townhouse Residential.

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Strata Lot 5 District Lot 250 Group 1 New Westminster District Strata Plan NW355
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20941 Camwood Avenue

Strata Lot 6 District Lot 250 Group 1 New Westminster District Strata Plan NW355
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To rezone from Land Use Contract to RM-1 Low Density Townhouse Residential.

20945 Camwood Avenue

Strata Lot 8 District Lot 250 Group 1 New Westminster District Strata Plan NW355
Together with an Interest in the Common Property in proportion to the Unit Entitlement of the Strata Lot as shown on Form 1

To rezone from Land Use Contract to RM-1 Low Density Townhouse Residential.

- 3d) **Maple Ridge Zone Amending Bylaw No. 7705-2021**
11927/35 203 Street
Lot 68 District Lot 222 Group 1 New Westminster District Plan 48586
To rezone from Land Use Contract to CS-1 Service Commercial.
- 3e) **Maple Ridge Zone Amending Bylaw No. 7706-2021**
12038 224 Street
Lot 1 Section 20 Township 12 New Westminster District Plan LMP2358
To rezone from Land Use Contract and RS-1 (Single Detached Residential) to P-1 (Park and School).
- 3f) **Maple Ridge Zone Amending Bylaw No. 7707-2021**
23443 Lougheed Highway
Parcel "K" (Explanatory Plan 47330) of Lot 8 Plan 7900 and of
Lot 6 Plan 8827 Except: Part on Statutory Right of Way Plan 71204;
District Lot 275 Group 1 New Westminster District
To rezone from Land Use Contract to A-1 Small Holding Agricultural.
- 3g) **Maple Ridge Zone Amending Bylaw No. 7709-2021**
- 12204 McTavish Place**
Lot 211 District Lot 242 Group 1 New Westminster District Plan 51071
To rezone from Land Use Contract to RS-1b Single Detached (Medium Density) Residential.
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- 21070 Stonehouse Avenue**
Lot 207 District Lot 242 Group 1 New Westminster District Plan 51071
To rezone from Land Use Contract to RS-1b Single Detached (Medium Density) Residential.
- 21092 Stonehouse Avenue**
Lot 216 District Lot 242 Group 1 New Westminster District Plan 51071
To rezone from Land Use Contract to RS-1b Single Detached (Medium Density) Residential.

CITY OF MAPLE RIDGE

NOTICE OF VIRTUAL ONLINE PUBLIC HEARING

TAKE NOTICE THAT A PUBLIC HEARING is scheduled for Tuesday, April 20, 2021 at 7:00 p.m.

This meeting is an online virtual meeting only, to be hosted in Council Chambers at City Hall, 11995 Haney Place, Maple Ridge.

For virtual online participation, access the link at: www.mapleridge.ca/640/Council-Meetings and click on the meeting date to register.

For viewing only, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the April 20, 2021 Public Hearing presentation video;

The Public Hearing Agenda and full reports are posted on the City's Website at www.mapleridge.ca/AgendaCenter (see: Public Hearing).

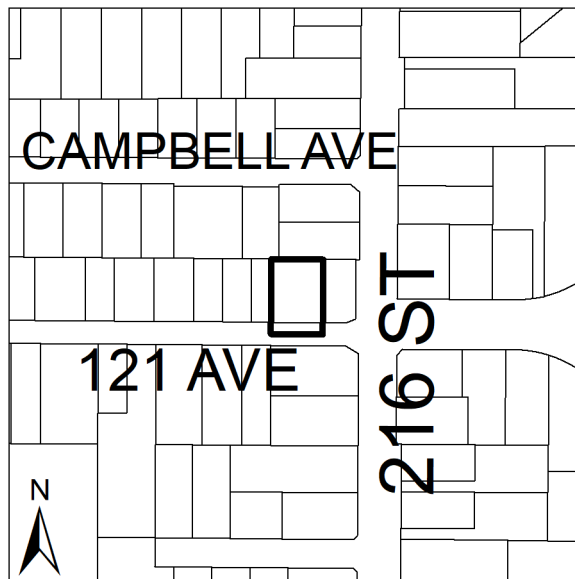
This Public Hearing is held in order to consider the following bylaws:

- 1) **2018-097-RZ**
21571 121 Avenue
Lot 1 District Lot 245 Group 1 New Westminster District Plan 73102

Maple Ridge Zone Amending Bylaw No. 7460-2018

To rezone from RS-1b (Single Detached (Medium Density) Residential) to R-1 (Single Detached (Low Density) Urban Residential).

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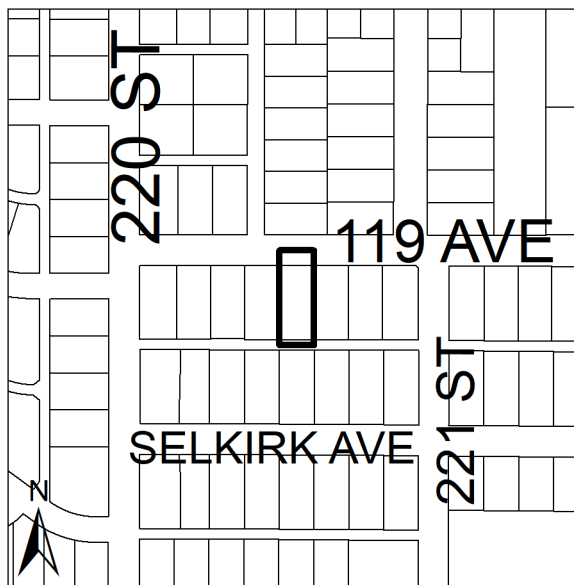
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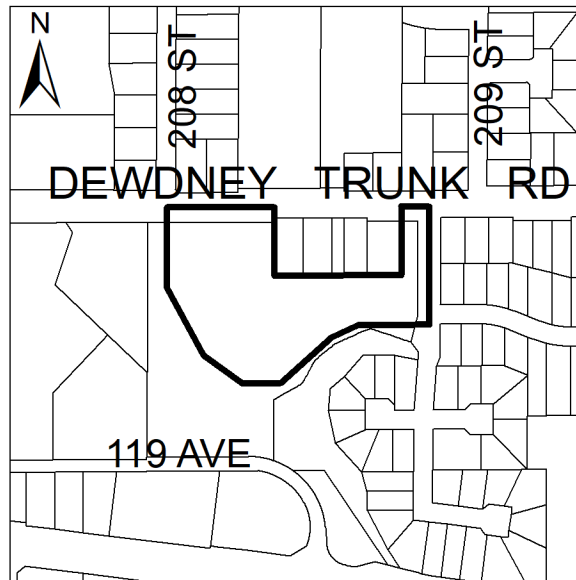
3a)

Maple Ridge Zone Amending Bylaw No. 7702-2021

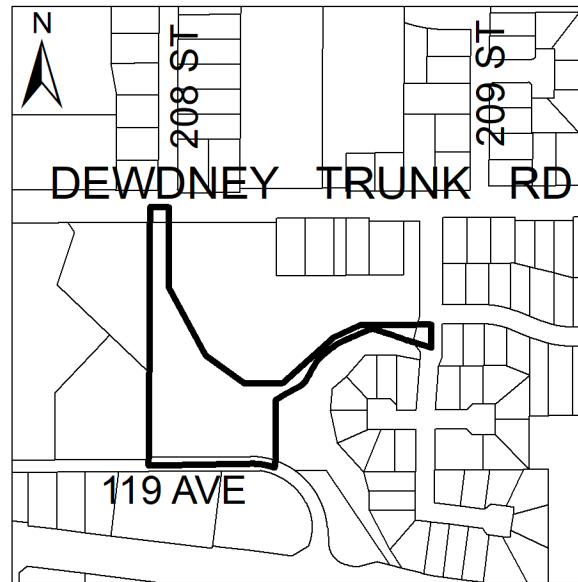
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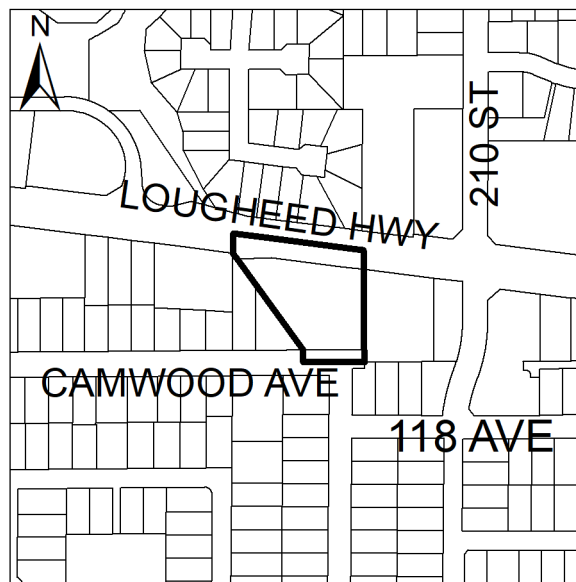
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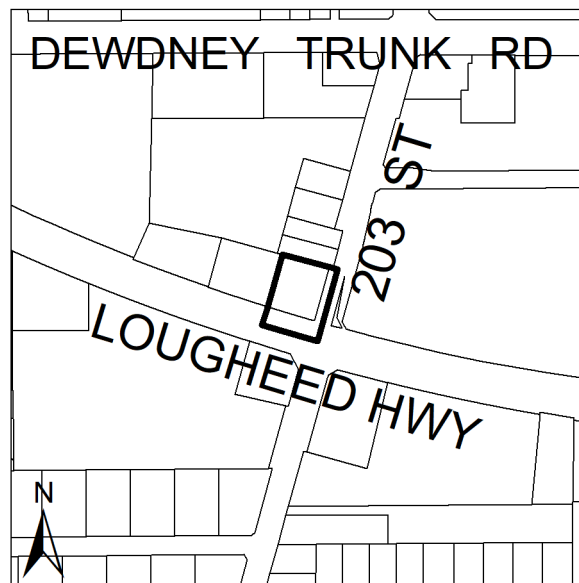
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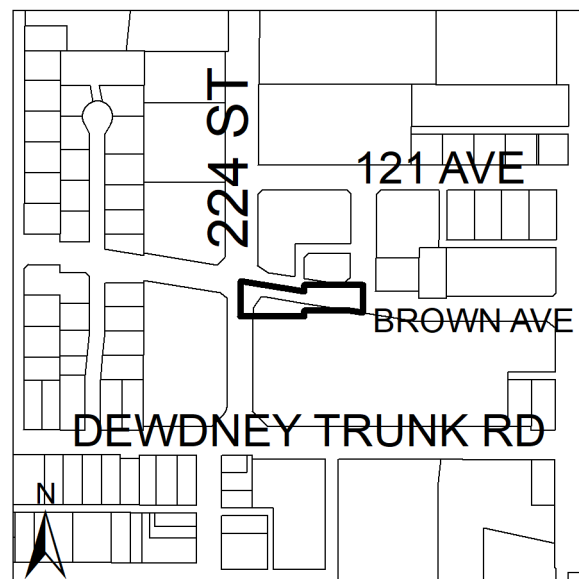
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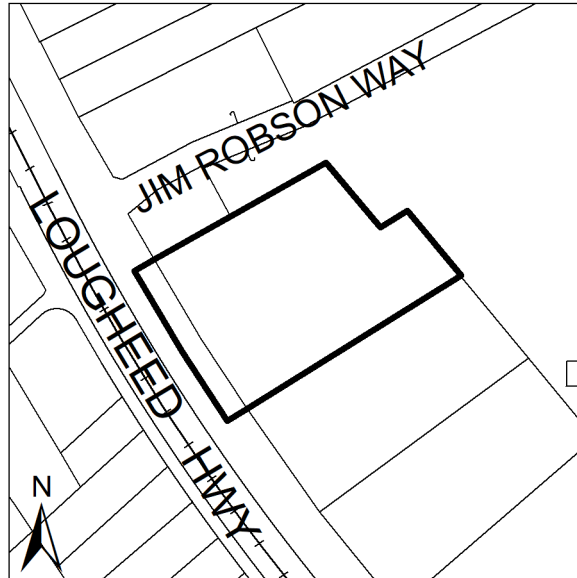


3f) Maple Ridge Zone Amending Bylaw No. 7707-2021

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3g) Maple Ridge Zone Amending Bylaw No. 7709-2021

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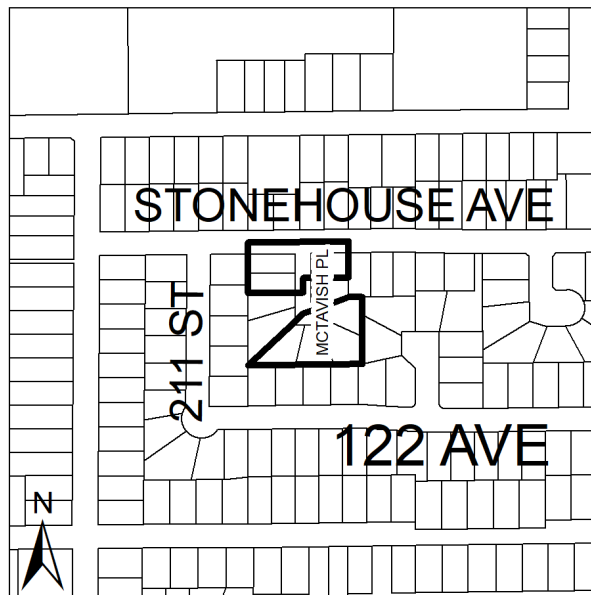
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Lot 216 District Lot 242 Group 1 New Westminster District Plan 51071

To rezone from Land Use Contract to RS-1b Single Detached (Medium Density) Residential.



AND FURTHER TAKE NOTICE that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council to be relevant to the matters contained in the bylaws are available for viewing on the City's Land Development Viewer site at:

<https://gis.mapleridge.ca/LandDevelopmentViewer/LandDevelopmentViewer.html>

During the COVID-19 health emergency it is important to ensure that our democratic processes continue to function and that the work of the City remains transparent for all citizens. As authorized by the current health order, the Public Hearing pertaining to the aforesaid bylaws will be conducted virtually using the links set out below.

ALL PERSONS who believe themselves affected by the above-mentioned bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws. Please note that all written submissions provided in response to this notice will become part of the public record which includes the submissions being made available for public inspection.

- **For virtual online participation**, access the link at: www.mapleridge.ca/640/Council-Meetings and click on the meeting date to register. When registering you will be asked to give your name and address, to give Council your proximity to the land that is the subject of the application. We ask that you have your camera on during the Public Hearing;
- **For viewing only**, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the April 20, 2021 Public Hearing presentation video;
- **To submit correspondence** prior to the Public Hearing, provide written submissions to the Corporate Officer **by 12:00 Noon, Tuesday, April 20, 2021 (quoting file number)** via drop-box at City Hall or by mail to 11995 Haney Place, Maple Ridge, V2X 6A9; or,
- **To email correspondence**, forward written submissions to clerks@mapleridge.ca to the attention of the Corporate Officer, **by 12:00 Noon, Tuesday, April 20, 2021 (quoting file number)**.

Dated this 7th day of April, 2021.

Stephanie Nichols
Corporate Officer

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: Second Reading
Zone Amending Bylaw No. 7460-2018
21571 121 Avenue

MEETING DATE: March 23, 2021
FILE NO: 2018-097-RZ
MEETING: C o W

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property, located at 21571 121 Avenue, from RS-1b (Single Detached (Medium Density) Residential) to R-1 (Single Detached (Low Density) Urban Residential), to permit a future subdivision of two lots. Council granted first reading to Zone Amending Bylaw No. 7460-2018 on June 12, 2018. Since then, the property changed ownership, and a new applicant took over the application to move forward.

This application is in compliance with the OCP.

Pursuant to Council policy, this application is subject to the Community Amenity Contribution Program at a rate of \$5,100.00 per single family lot. The original lot is exempt as less than three lots are proposed, for a total estimated amount of \$ 5,100.00.

RECOMMENDATIONS:

- 1) That Zone Amending Bylaw No. 7460-2018 be given second reading, and be forwarded to Public Hearing;
- 2) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Road dedication on 121 Avenue as required;
 - iii) Registration of a Restrictive Covenant for the Geotechnical Report and floodplain report, which addresses the suitability of the subject property for the proposed development;
 - iv) Registration of a Restrictive Covenant for Stormwater Management
 - v) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.

- vi) That a voluntary contribution, in the amount of \$5,100.00 be provided in keeping with the Council Policy with regard to Community Amenity Contributions.

DISCUSSION:

1) Background Context:

Applicant: Pav Rakhra
Owner: Rajinder Dhillon & Farvardin Seyedreza

Legal Description: Lot 1 District Lot 245 Group 1 New Westminster District Plan 73102

OCP:
Existing: Urban Residential
Proposed: Urban Residential

Zoning:
Existing: RS-1b (Single Detached (Medium Density) Residential)
Proposed: R-1 (Single Detached (Low Density) Urban Residential)

Surrounding Uses:

North:	Use:	Single Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
South:	Use:	Single Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
East:	Use:	Single Family Residential
	Zone:	RS-1b (Single Detached (Medium Density) Residential)
	Designation:	Urban Residential
West:	Use:	Single Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential

Existing Use of Property:	Single Family Residential
Proposed Use of Property:	Single Family Residential
Site Area:	915.1 m ² (0.22 acres)
Access:	121 Avenue
Servicing:	Urban Standard

2) Project Description:

The current application proposes to rezone the subject property from RS-1b (Single Detached (Medium Density) Residential) to R-1 (Single Detached (Low Density) Urban Residential) to permit future subdivision into two single family lots. Two previous applications (2014-037-RZ and 2014-023-RZ) located to the west, at 21447 and 21449 121 Avenue, were approved to rezone and subdivide into R-1 (Single Detached (Low Density) Residential) in 2015. Thus, these applications start to establish neighbourhood context towards higher density, which supports the current application. Access to the proposed lots will be from 121 Avenue, classified as a Major Corridor (see Appendix A).

3) Planning Analysis:

i) Official Community Plan:

The OCP designates the subject property *Urban Residential*, and subsequently subject to the *Major Corridor Infill* policies of the OCP. These policies require that development be compatible with the surrounding neighbourhood, with particular attention given to site design setbacks and lot configuration with the existing pattern of development in the area. The proposed rezoning to R-1 (Single Detached (Low Density) Residential) has already been established within the neighbourhood, and the proposed is therefore in conformance with the *Urban Residential* designation and infill policies for *Major Corridor Infill* (see Appendix B).

ii) Zoning Bylaw:

The current application proposes to rezone the property, located at 21571 121 Avenue, from RS-1b (Single Detached (Medium Density) Residential) to R-1 (Single Detached (Low Density) Urban Residential) to permit future subdivision into two single family lots. After road dedication, the proposed lots are both approximately 418m² in area and therefore larger than the required minimum lot size of 371m² (see Appendix D).

iii) Advisory Design Panel:

The application is proposing single family residential lots and has therefore not been reviewed by the ADP.

iv) Development Information Meeting:

As fewer than five lots are proposed, a Development Information Meeting was not required.

v) Environmental Implications:

The Arborist report prepared by Woodridge Tree, dated October 26, 2018, identified one tree on the property that would require a permit for removal as per Tree Cutting Bylaw regulations, which can be dealt with at the subdivision approval stage.

4) Interdepartmental Implications:

i) Engineering Department:

A Rezoning Servicing Agreement and securities will be required as condition of rezoning. Upgrades for sanitary sewer, storm sewer, street trees, and watermain are going to be required for subdivision approval, as described in the rezoning application review.

CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7460-2018, and that application 2018-097-RZ be forwarded to Public Hearing.

"Original signed by Mark McMullen" for

Prepared by: **Therese Melser**
Planning Technician

"Original signed by Chuck Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Al Horsman"

Concurrence: **Al Horsman**
Chief Administrative Officer

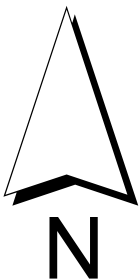
The following appendices are attached hereto:

Appendix A – Subject Map

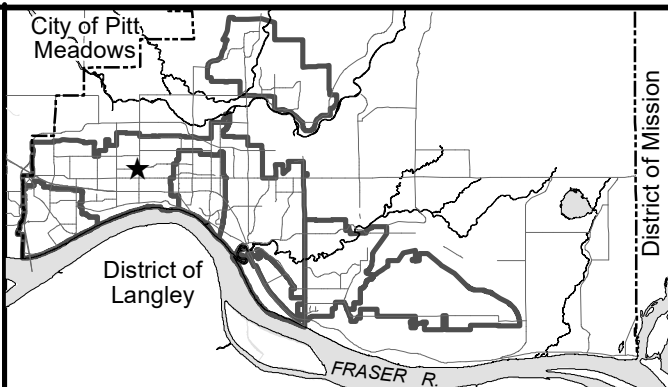
Appendix B – Ortho Map

Appendix C – Zone Amending Bylaw No. 7460-2018

Appendix D – Proposed Subdivision Plan



Scale: 1:2,500



21571 121 AVENUE
PID: 005-396-891

PLANNING DEPARTMENT



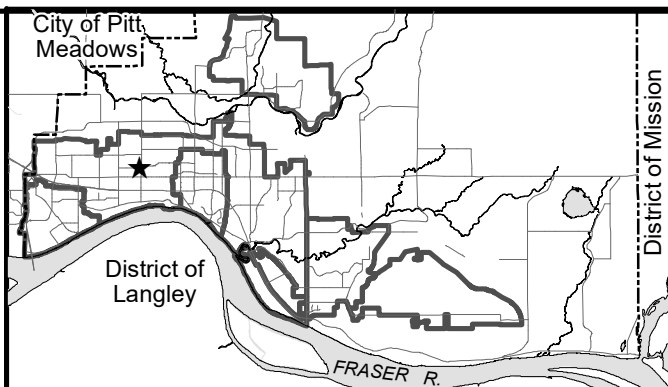
MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2018-097-RZ/SD
DATE: Feb 16, 2021

BY: PC



BY: PC

APPENDIX C

**CITY OF MAPLE RIDGE
BYLAW NO. 7460-2018**

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of
Zoning Bylaw No. 7600-2019 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7460-2018."

2. That parcel or tract of land and premises known and described as:

Lot 1 District Lot 245 Group 1 New Westminster District Plan 73102

and outlined in heavy black line on Map No. 1759 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to R-1 Single Detached (Low Density) Urban Residential.

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 12th day of June, 2018

READ a second time the 30th day of March, 2021.

PUBLIC HEARING held the day of , 20

READ a third time the _____ day of _____, 20_____

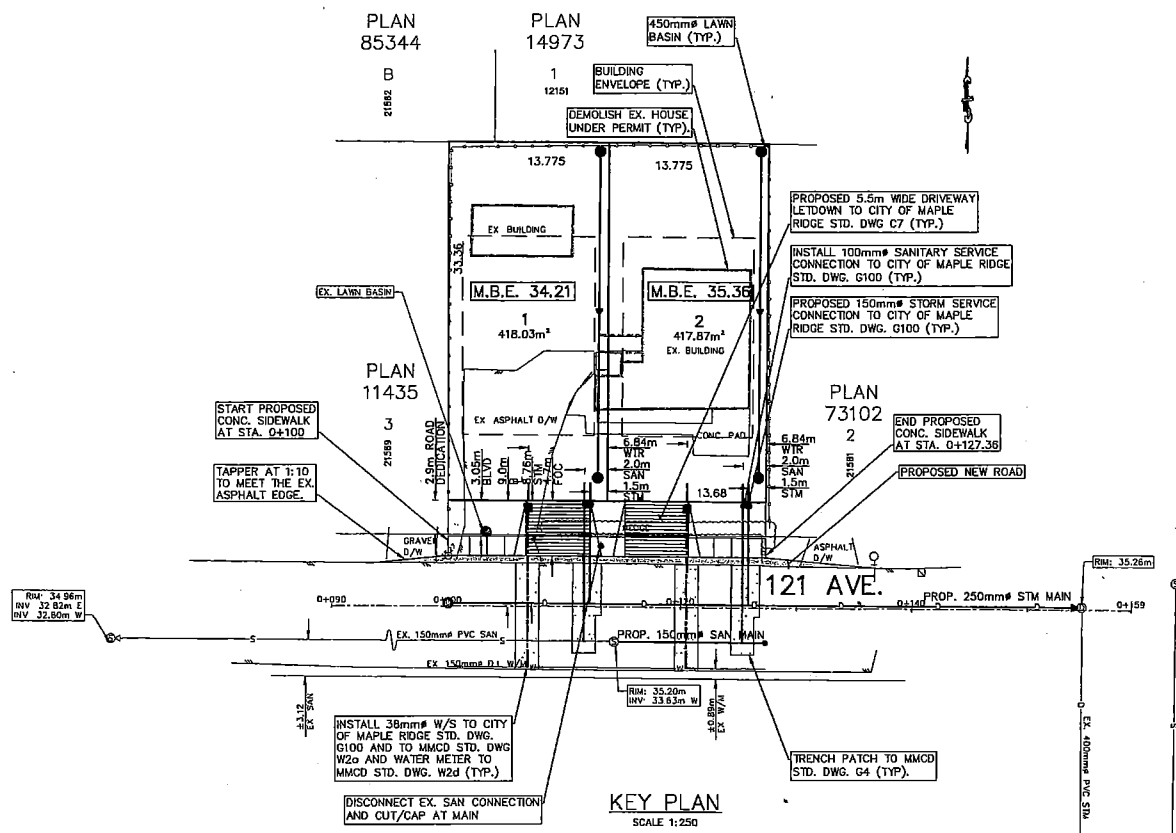
APPROVED by the Ministry of Transportation and Infrastructure this day of
 , 20

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

APPENDIX D

[illegible]

EXISTING	-
PROPOSED	-
STORM SEWER	
SANITARY SEWER	
GAS	
WATER	
U.G. LIGHTING	
U.G. HYDRO	
U.G. TELEPHONE	
MANHOLE	
CATCH BASIN	
WATER OR GAS VALVE	

DITCH
TOP OF DITCH
UTILITY POLE/ANCHOR
FIRE HYDRANT
IRON PIN
BASEMENT ELEV
EDGE OF PAVEMENT
FENCE
SIDEWALK
SURVEY MONUMENT
SAN. INSPECTION CHAMBER
STREET LIGHT

EDGE OF SHOULDER
EDGE OF GRAVEL
SLOPE
SHRUB
HEDGE
TREE
BUILDING

TOP TOE

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: Second Reading
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22058 119 Avenue

MEETING DATE: March 23, 2021
FILE NO: 2019-353-RZ
MEETING: C o W

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property, located at 22058 119 Avenue, from RS-1 (Single Detached Residential) to RT-2 (Ground-Oriented Residential Infill), to permit the future development of a triplex residential building. The proposed RT-2 (Ground-Oriented Residential Infill) zoning complies with the policies of the *Official Community Plan* (OCP). Council granted first reading to *Zone Amending Bylaw No. 7583-2019* on November 26, 2019.

The draft *Lougheed Transit Corridor Concept Plan* designates the subject property *Intensive Attached Residential Infill* which could allow additional density in the form of duplexes, triplexes or rowhouses with a maximum height of three storeys. These moderate density housing forms would provide a choice of housing units in proximity of transit and services whilst maintaining the existing lot patterns in the area. Under the *Lougheed Transit Corridor Concept Plan* a triplex would be permitted on lands designated “*Intensive Attached Residential Infill*” and can also proceed under the current OCP designation of “Urban Residential”.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution at a rate of \$4,100.00 per attached ground-oriented dwelling unit (first unit is exempt), for an estimated amount of \$8,200.00.

To proceed further with this application, additional information is required, as outlined below.

RECOMMENDATIONS:

- 1) That Zone Amending Bylaw No. 7583-2019 be given second reading, and be forwarded to Public Hearing;
- 2) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Approval from the Ministry of Transportation and Infrastructure;
 - iii) Road dedication on the lane to the south of the subject property as required;
 - iv) Registration of a Restrictive Covenant for Stormwater Management;

- v) Registration of a Restrictive Covenant for the Geotechnical Report which addresses the suitability of the subject property for the proposed development;
- vi) Removal of existing buildings;
- vii) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
- viii) That a contribution, in the amount of \$8,200 (\$4,100/unit, excluding the first unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions.

DISCUSSION:

1) Background Context:

Applicant:	G. Yu
Legal Description:	Lot 54 District Lot 397 Group 1 New Westminster District Plan 14049
OCP:	
Existing:	Urban Residential
Proposed:	Urban Residential
Zoning:	
Existing:	RS-1 (Single Detached Residential)
Proposed:	RT-2 (Ground-Oriented Residential Infill)
Surrounding Uses:	
North:	Use: Single Family Residential Zone: RS-1 (Single Detached Residential) Designation: Urban Residential
South:	Use: Single Family Residential Zone: RS-1 (Single Detached Residential) Designation: Urban Residential
East:	Use: Single Family Residential Zone: RS-1 (Single Detached Residential) Designation: Urban Residential
West:	Use: Single Family Residential Zone: RS-1 (Single Detached Residential) Designation: Urban Residential
Existing Use of Property:	Single Family Residential
Proposed Use of Property:	Ground-Oriented Residential Infill (Triplex)
Site Area:	901 m ² (9,699 ft ²)
Access:	Lane behind property for on-site vehicle parking
Servicing requirement:	Urban Standard

2) Background:

On November 26, 2019, Council received a staff report for first reading regarding the proposed development. Based on this information, Council gave first reading to *Zone Amending Bylaw No. 7583-2019*. The application was submitted under former *Zoning Bylaw No. 3510-1985* to allow the subject property to be rezoned from RS-1 to RT-2. It should be noted that the RT-2 zone under the former Zoning Bylaw allowed a maximum height for principal structures to be not more than 9.5m. However, when Council adopted *Zoning Bylaw No. 2019-7600*, the RT-2 zone height regulations changed from 9.5m to top of roof to allowing a maximum height for principal structures of 8.0m to mid-point of roof. Furthermore, the application was subject to the regulations of *Zoning Bylaw No. 7600-2019* as the application did not proceed beyond a Public Hearing. Due to these regulatory changes, the Planning Department received an application for a variance to vary the principal's structure (triplex) height from 8.0m to 8.38m subject to *Section 403.4 - Building Height* regulations.

3) Project Description:

The current application proposes to rezone the subject property from RS-1 (Single Detached Residential) to RT-2 (Ground-Oriented Residential Infill), to permit the development of a triplex (see Appendices A and B).

The RT-2 zone provides for the infill of ground-oriented residential buildings within established residential neighbourhoods in a form that will be incremental and sensitive to the existing and emerging context. The RT-2 zone allows for dwelling units to be in one building with shared party walls to create triplexes, as is the case for the current application. These forms will resemble a single family dwelling in order to fit seamlessly into existing neighbourhoods.

There was an approved triplex application (2017-221-RZ) located two lots to the west of the subject property. Council approved this adjacent triplex application on January 29, 2019.

4) Planning Analysis:

i) Official Community Plan:

The subject property is located just to the west of the Town Centre. It is currently designated Urban Residential, and the OCP's Neighbourhood Residential Infill policies apply to the subject application. Under the Infill policies, unit types such as duplexes and triplexes are permitted, with an emphasis on street-oriented buildings (Policy 3-19, b). These policies also require proposed developments to respect and reinforce the physical patterns and characteristics of established neighbourhoods, with particular attention paid to site design, setbacks, and lot configuration of the existing pattern of development, as well as compatibility between building massing and the types of dwelling units (Policy 3-21).

It is noted that one of the underlying principles in the OCP is to encourage growth within the Urban Area Boundary (UAB), and to accommodate that growth through infill by promoting a mix of housing types and tenures (Policy 3-1).

The proposed rezoning of the subject property to RT-2 (Ground-Oriented Residential Infill) to support the development of a triplex aligns with the intent of these OCP and neighbourhood residential infill policies.

ii) **Zoning Bylaw:**

The current application proposes to rezone the subject property from RS-1 (Single Detached Residential) to RT-2 (Ground-Oriented Residential Infill) to permit the development of a triplex residential building (see Appendix C). The subject property is 901m², which is larger than the 800m² minimum lot size required for a triplex development.

The triplex residential development is supported on this property because it will be similar in scale with the surrounding established single family neighbourhood. The maximum height requirement for triplex residential developments is 8.0m, which is the same as the current permitted single family residential lots, at 8.0m. The RT-2 zone (triplex, fourplex and courtyard) is intended to resemble a single family home and integrate with the existing neighbourhood. Each dwelling unit is provided with greenspace, while access to off-street parking areas can be accessed from the lane behind the subject property (see Appendices D and F).

At this time, the known variances being requested to the requirements of the proposed RT-2 zone are for varying the permitted building height from 8.0m to 8.38m (mid-point of roof) with an overall building height of 9.5m (top of roof).

iii) **Off-Street Parking And Loading Bylaw:**

As per Schedule 'A' of the '*Off-Street Parking and Loading Bylaw No. 4350-1990*', the number of parking spaces required per dwelling unit is two. The proposed triplex development meets the requirements in the aforementioned Bylaw. Each dwelling unit will have one enclosed (garage) parking space with roughed-in electrical infrastructure for electric vehicles capable of providing Level 2 charging. Additionally, one surface parking pad will be provided for each dwelling unit (see Appendix D).

iv) **Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations (see Appendix E):

- *Varying the Building Height from 8.0m to 8.38m (Mid-point of roof).*

The requested variances to the RT-2 zone will be the subject of a future Council report.

v) **Development Permits:**

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

The application is subject to the Ground-Oriented Residential Infill Development Permit Area Guidelines which were adopted into the OCP on November 24, 2020. These guidelines provide applicants information and examples of design principles for triplex, fourplex, and courtyard housing that align with vision of the *Official Community Plan*.

vi) **Advisory Design Panel:**

The application was reviewed by the ADP at a meeting held on January 20, 2021 (see Appendices D, E, F, and G). Most of the ADP's concerns have been addressed and are reflected in the current plans as summarized below with ADP comments and Applicants responses. A detailed description of how these items were incorporated into the final design will be included in a future development permit report to Council.

Architectural Comments:

- *Consider lowering the main floor elevation to reduce the overall massing;*
 - Not possible. Minimum Basement Elevation (MBE) cannot be lowered as it would require sub pumps.
- *Consider a more human scale for the front entry elements;*
 - Will be using different door façade designs and different but complimentary colours.
- *There are discrepancies between the plans and elevations: please show the door to unit one; please coordinate the doors to entry stairs to the individual units on plans and elevations;*
 - Revisions made and reflected in new submission.
- *Please provide a more detailed colour board and consider individual coloured doors for differentiation between units;*
 - Considered and will implement.
- *Consider additional material highlights to the front entrance.*
 - Proposed development will be utilizing ledgestone and colour doors with hardy shingles and hardy board.

Landscape Comments:

- *Show actual size of detention tank on landscape plan;*
 - Provided in Landscape Plan.
- *Ensure that the civil engineer shows tree protection on drawings;*
 - Shown on Technical Landscape Plan. (Not provided in this Report).
- *Consider permeable paving in hard surface areas;*
 - Will be using asphalt for residential parking area and access whilst using crushed gravel for visitor surface parking to achieve greater onsite permeability.
- *Consider perimeter planting to soften 6ft height fence and provide visual separation of yards;*
 - Increase planting of vegetation in conjunction of fencing will delineate private yards and perimeter of subject property.
- *Consider adding perimeter planting to property line in particular east and west;*
 - Planting of vegetation along southeast portion of property line and along northwest and northeast property lines. Hydrangea climbing (viny plant) will grow up along rear fence for visual softening of fence.
- *Consider alternate decorative materials for the surface parking;*
 - Will be using asphalt and crushed gravel to delineate between residential and visitor parking.
- *Ensure that the corner of the garage that extends beyond the entry is compliant with the current bylaw;*
 - Accessory building (garage) meets the minimum interior lot line setback of 1.5m.

- *Consider adding hard surface walkway from rear yards to rear patios;*
 - Utilizing concrete pavers from rear gate to rear entrance.
- *Clarify the maximum property driveway dimensions from the lane, if supported by engineering, garage orientation facing the lane is preferred;*
 - Engineering access requirements from rear lane requires 9m. Therefore, orientation of accessory building (garage) to lane was not possible and would make for difficult rear site design.
- *Ensure that the site is compliant with Zoning Bylaw 7600-2019 for percentage of landscape coverage.*
 - Permeability exceeds the minimum 40% requirement as per section 405.1 of Zoning Bylaw No. 7600-2019

A detailed description of the projects form and character will be included in a future development permit report to Council.

vii) **Development Information Meeting:**

A Development Information Meeting was not required for this application because there is no OCP amendment for this application, and the proposal is less than five dwelling units.

5) Environmental Implications:

During the referral process, an environmental review was conducted and the following are required:

- Four (4) on-site trees will be removed; two (2) off-site trees will be protected
- Tree Permit is required for removal of trees
- Three (3) replacement trees will be required
- A Project Arborist will be required to ensure protection of off-site trees
- Stormwater management tanks not to impact adjacent trees
- Stormwater management plans to compliment landscaping plans
- Erosion & Sediment Control Plan to be reviewed at Building Permit stage.

6) Traffic Impact:

As the subject property is located within 800 metres of the Loughheed Highway, a referral has been sent to the Ministry of Transportation and Infrastructure. Ministry approval of the Zone Amending Bylaw will be required as a condition of final reading.

7) Interdepartmental Implications:

i) **Engineering Department:**

The proposed development must meet urban standard engineering requirements for street lighting, plantings, roadway materials, servicing infrastructure, roadway widths, etc. All works to comply with the Watercourse Protection Bylaw.

8) School District No. 42 Comments:

The proposed application would affect the student population for the catchment areas currently served by Glenwood Elementary and Maple Ridge Secondary School. Glenwood has an operating capacity of 360 students. For the 2019-2020 school year, the student enrolment at Glenwood Elementary was 362 students (101% utilization) including 85 students from out of catchment. Maple Ridge Secondary School has an operating capacity of 1,300 students. For the 2019-2020 school year, the student enrolment at Maple Ridge Secondary School was 1,216 students (94% utilization) including 724 students from out of catchment.

CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7583-2019, and that Application No. 2019-353-RZ be forwarded to Public Hearing.

“Original signed by Tyson Baker”

Prepared by: **Tyson Baker, B.Pl.**
Planning Technician

“Original signed by Chuck Goddard”

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

“Original signed by Christine Carter”

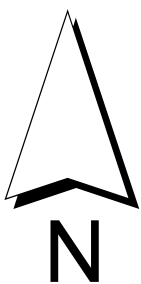
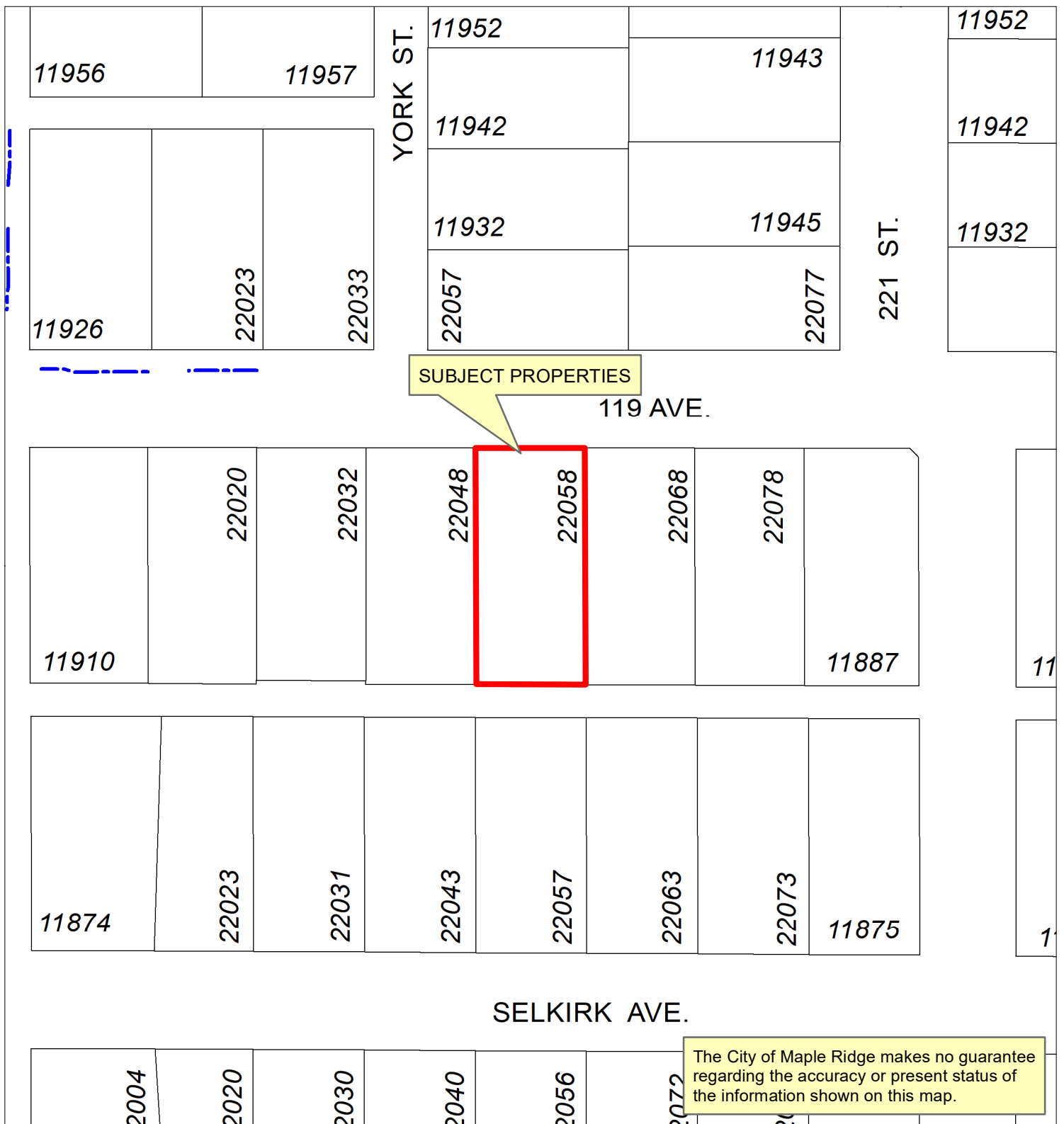
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

“Original signed by Al Horsman”

Concurrence: **Al Horsman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7583-2019
Appendix D – Site Plan
Appendix E – Building Elevation Plans
Appendix F – Landscape Plan
Appendix G – 3D Rendering



Scale: 1:1,000

Legend

--- Ditch Centreline

22058 119 AVENUE
PID: 009-916-261

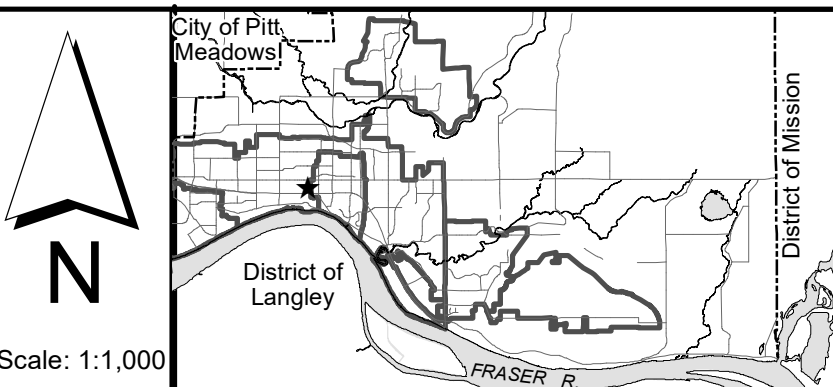
PLANNING DEPARTMENT



mapleridge.ca

FILE: 2019-353-RZ
DATE: Oct 3, 2019

BY: AC



22058 119 AVENUE
PID: 009-916-261

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2019-353-RZ
DATE: Oct 3, 2019

BY: AC

**CITY OF MAPLE RIDGE
BYLAW NO. 7583-2019**

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of Zoning Bylaw No. 7600 - 2019 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600 - 2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7583-2019."
2. That parcel or tract of land and premises known and described as:

Lot 54 District Lot 397 Group 1 New Westminster District Plan 14049

and outlined in heavy black line on Map No. 1811 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RT-2 (Ground-Oriented Residential Infill).
3. Maple Ridge Zoning Bylaw No. 7600 - 2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 26th day of November, 2019.

READ a second time the 30th day of March, 2021.

PUBLIC HEARING held the day of , 21

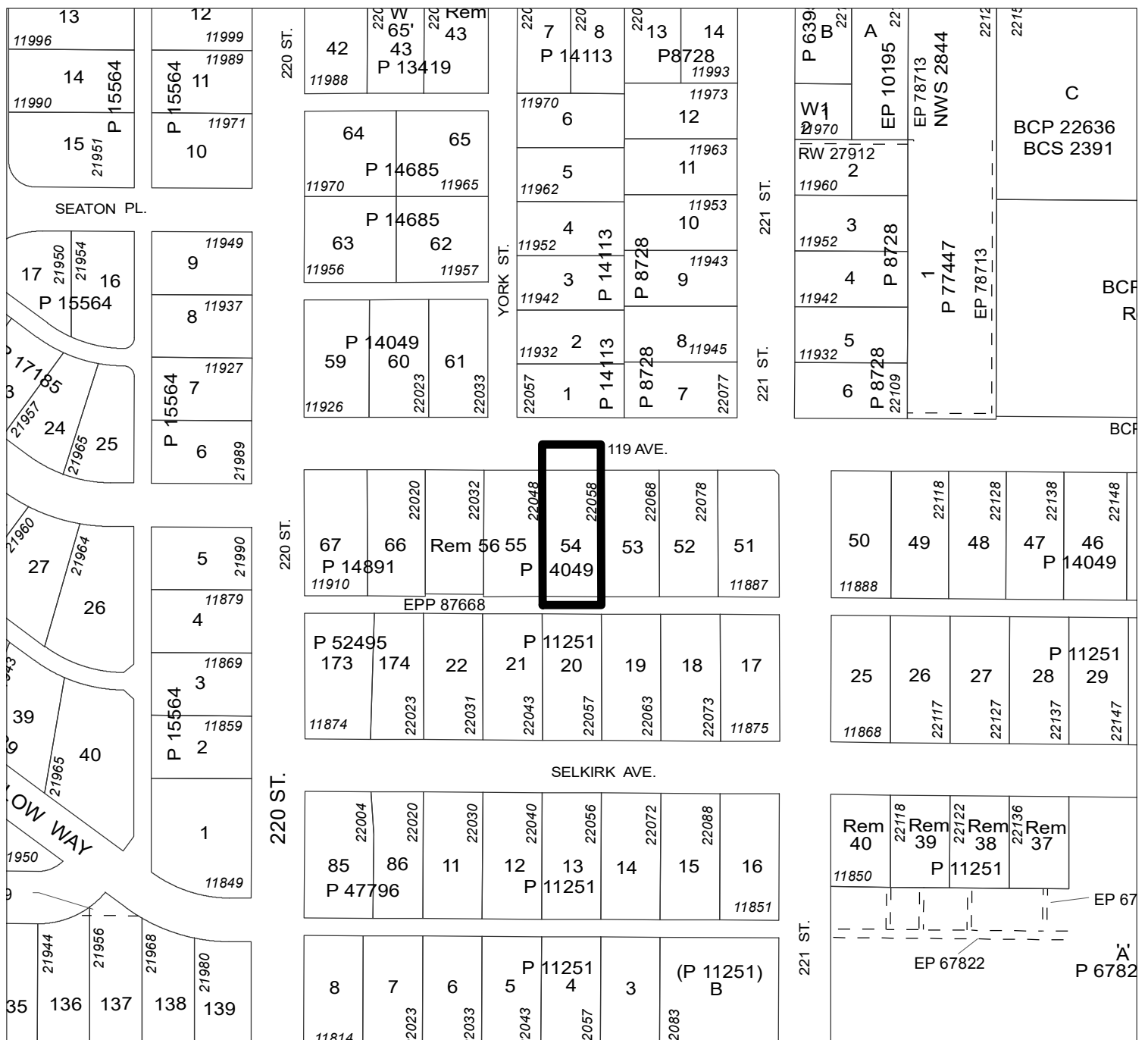
READ a third time the day of , 21

APPROVED by the Ministry of Transportation and Infrastructure this day of , 21

ADOPTED, the day of , 21

PRESIDING MEMBER

CORPORATE OFFICER



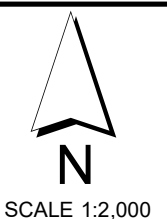
MAPLE RIDGE ZONE AMENDING

Bylaw No. 7583-2019

Map No. 1811

From: RS-1 (Single Detached Residential)

To: RT-2 (Ground-Oriented Residential Infill)



APPENDIX D

GENERAL NOTES

- ALL WORK AND MATERIALS TO CONFORM TO STANDARDS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2018.
- ALL DRAWINGS MUST BE APPROVED BY CITY/MUNICIPAL AUTHORITIES HAVING JURISDICTION AND HAVE APPLICABLE PERMITS ISSUED BEFORE STARTING CONSTRUCTION.
- BUILDER MUST ENSURE THAT ALL WORK PERFORMED ON SITE COMPLES WITH WORKERS COMPENSATION REQUIREMENTS AND STANDARDS. BUILDER MUST NOTIFY HIS ENGINEER BEFORE AND AFTER EXCAVATION AND OBTAIN CERTIFICATION FROM THE ENGINEER BEFORE ANY WORKERS ARE ALLOWED TO WORK IN THE EXCAVATED AREA. SUCH CERTIFICATION MUST BE POSTED ON SITE AT A PROMINENT LOCATION AND UPDATED BY THE ENGINEER AT REGULAR INTERVALS.
- SUB-CONTRACTORS AND/OR SUB-TRADES RESPONSIBLE FOR ON SITE EXECUTION OF WORK THESE DRAWINGS DETAIL, ARE TO CHECK AND VERIFY ALL DRAWINGS FOR ERRORS AND OMISSIONS BEFORE ORDERING MATERIALS OR STARTING WORK. CONTRACTOR TO NOTIFY SELF ENGINEERING LTD. IMMEDIATELY OF ANY CHANGES OR OMISSIONS.
- TRUSS DESIGN MUST BE COMPLETED BEFORE FORM CONSTRUCTION AND ENLARGED FOOTINGS AS DESIGNED BY STRUCTURAL ENGINEER PURSUANT TO TRUSS POINT LOADS MAY BE REQUIRED.
- ALL POINT LOADS MUST BE FULLY SUPPORTED DOWN TO FOUNDATION. THE WIDTH OF SUPPORTING COLUMNS SHALL NOT BE LESS THAN THE WIDTH OF THE SUPPORTED MEMBER (9.7.4.1). ALL POINT LOADS FROM TRUSSES MUST BE STRUCTURALLY SUPPORTED BY COLUMNS OR ENGINEERED BEAMS AND DOUBLE CRIPPLE STUDS AS DESIGNED BY STRUCTURAL ENGINEER.
- CONTRACTORS, SUB-CONTRACTORS AND/OR SUB-TRADES, SHALL INSURE THAT ANY CONCENTRATED LOAD WHICH MAY ARISE DURING CONSTRUCTION, WHETHER OR NOT IT HAS BEEN SPECIFICALLY DETAILED, SHALL BE SUPPORTED ACCORDING TO GOOD PRACTICE AND THAT THE METHOD OF SUPPORT, AS WELL AS ALL MEMBERS SUPPORTING SUCH LOADS, SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND/OR A PROFESSIONAL ENGINEER, AND SHALL CONFORM TO THE B.C.B.C. BEFORE SUCH LOADING SHALL BE ALLOWED TO OCCUR.
- ALL BEAM SIZES TO BE CONFIRMED OR DESIGNED BY PROFESSIONAL ENGINEER.
- BEAMS WHICH EXCEED SPECIFICATIONS OF THE B.C.B.C. MUST BE CHECKED AND VERIFIED BY A STRUCTURAL ENGINEER BEFORE STARTING CONSTRUCTION.
- FRAMING MATERIAL TO BE DOUGLAS FIR NO. 2 OR BETTER GRADE (9.3.2.2), UNLESS NOTED OTHERWISE BY A PROFESSIONAL ENGINEER.
- ALL UNITS TO BE MIN. 2-X10 D.F. NO. 2 UNLESS OTHERWISE NOTED (9.2.12.3).
- CONCRETE TO BE MIN. 25 MPA @ 28 DAYS, 100 MM SLUMP UNLESS OTHERWISE DESIGNED BY STRUCTURAL ENGINEER (9.3.1.1).
- FOUNDATION WALLS NOT LATERALLY SUPPORTED HIGHER THAN 4'-0" FROM SLAB TO GRADE AND NON-LATERALLY SUPPORTED WALLS GREATER THAN 7'-6" FROM SLAB TO GRADE MUST BE REINFORCED.
- ALL FOOTINGS SHALL EXTEND BELOW FROST LEVEL TO SUITABLE BEARING. IF SUITABLE BEARING CANNOT BE OBTAINED A PROFESSIONAL SOILS ENGINEER SHOULD BE CONSULTED.
- GUARDS SHALL CONFORM TO 9.8.8.
- ALL EXTERIOR GUARDRAILS TO BE 42" HIGH (36" IF DIFFERENCE IN ELEVATION IS LESS THAN 6 FT).

AMENITY SPACE (USABLE OPEN SPACE):

FRONT YARD (SQ. M)

SPACE	UNIT 1	UNIT 2	UNIT 3	TOTAL
LAWN & LANDSCAPE				86.40
PORCH	6.87	2.42	5.42	14.71
TOTAL	6.87	2.42	5.42	101.11

BACK YARD (SQ. M)

SPACE	UNIT 1	UNIT 2	UNIT 3	TOTAL
LAWN & LANDSCAPE	52.26	37.65	53.03	142.94
ASPHALT				76.04
CONCRETE				14.67
TOTAL				233.65

PERMEABLE & IMPERMEABLE SURFACES: (SQ. M)

SPACE	PERVEABLE	IMPERVEABLE
FRONT YARD	107.00	54.66
BACK YARD	243.71	
PARKING AREA	104.03	76.04
TOTAL	454.74	130.70

IMPERMEABLE SURFACES PROPOSED: 23.8% (2,276.13 SF.)

PERMEABLE SURFACES PERMITTED: 50% (4,855.85 SF.)

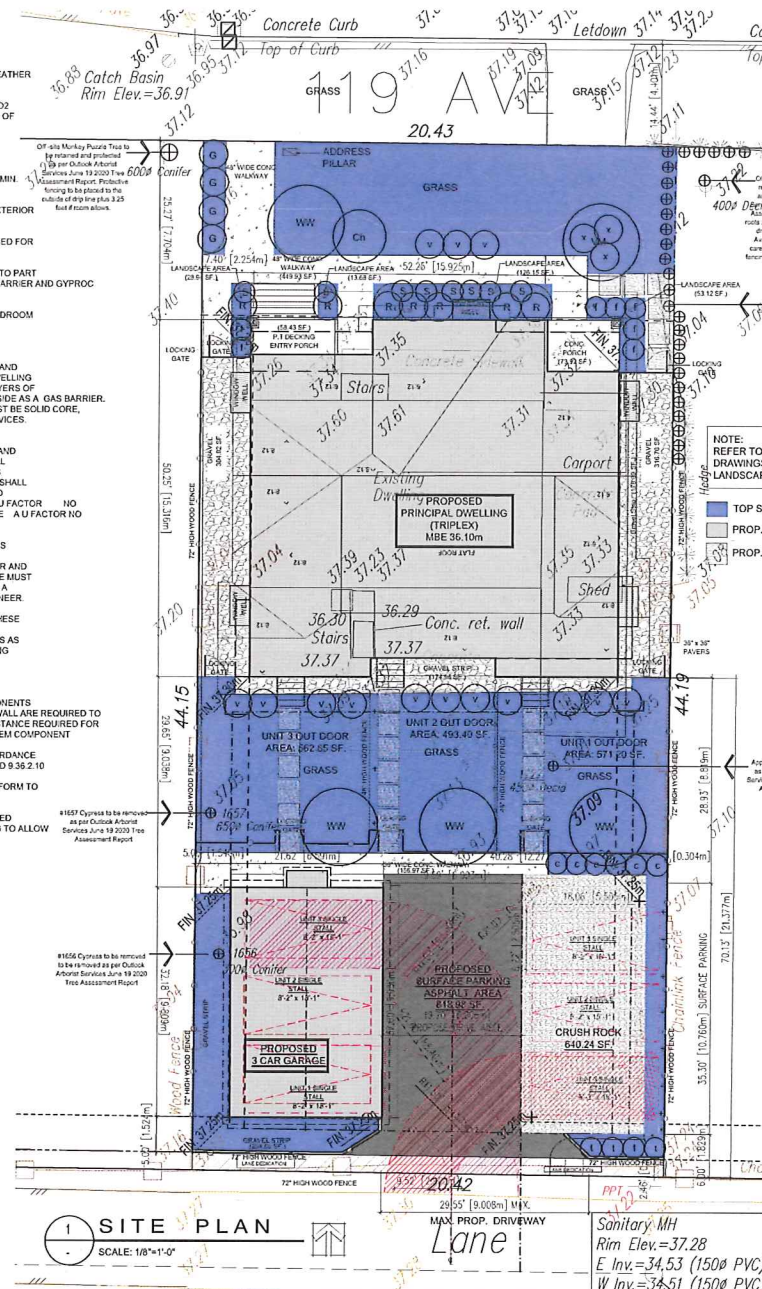
PERMEABLE SURFACES PROPOSED: 41.3% (3,948.38 SF.)

GROSS FLOOR AREA:

FLOOR	UNIT 1	UNIT 2	UNIT 3	TOTAL
MAIN	74.37	75.75	72.49	222.61
UPPER	76.39	75.75	79.72	231.86
BASEMENT	59.19	48.68	42.05	150.92
TOTAL				605.43
LESS BASEMENT ALLOWANCE				150.9
GROSS FLOOR AREA				476.34

DENSITY:
FLOOR SPACE RATIO:
476.34 / 866.35 = 53.74%

- ALL INTERIOR GUARDRAILS TO BE 36" HIGH.
- ALL HANDRAILS 31.5" TO 35" HIGH (9.8.7.4).
- ALL EXTERIOR DOORS TO BE SOLID CORE AND WEATHER STRIPPED.
- INSTALL C.S.A. APPROVED SMOKE ALARMS AND CO2 DETECTORS ON ALL FLOORS LEVELS TO CEILINGS OF HALLWAYS SERVING SLEEPING AREAS (9.10.18.)
- PROVIDE VENTILATION FOR THE DWELLING IN ACCORDANCE WITH (9.32)
- ROOF ACCESS MIN. 20" X 27.5" (9.19.2.1). VENTING MIN. 1500 (9.19.1.2).
- SECURITY BLOCKS FOR 2 STUO SPACES BY ALL EXTERIOR DOORS (9.6.9)
- WATERPROOF BACKING (AQUA BOARDS) TO BE USED FOR ALL BATHTUBS AND SHOWER ENCLOSURES.
- INSULATION AND VAPOUR BARRIER TO CONFORM TO PART 5 AND PART 5.36. PROVIDE INSULATION, VAPOUR BARRIER AND GYPROC FOR FIREPLACE AND 8 VENT SHAFTS.
- STAIR RISER AND RUN TO CONFORM TO 9.8.2.2. HEADROOM MIN. 6'-0" (2.66M) 9.8.2.2 (2) RISE 4.92'-7.87" (1250MM - 2000MM) RUN 10.02" - 14" (255MM - 350MM)
- BUILDINGS WITH ATTACHED GARAGE - ALL WALLS AND CEILING SEPARATING ATTACHED GARAGE AND DWELLING MUST NOT BE INSULATED, BE AIR TIGHT, HAVE TWO LAYERS OF DRYWALL, STAGGERED JOISTS, ON THE GARAGE SIDE AS A GAS BARRIER. DOORS SEPARATING GARAGE AND DWELLING MUST BE SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICES.
- WINDOWS AND SKYLIGHTS - ALL WINDOWS SHALL CONFORM TO WINDOW STANDARDS AS PER 9.7.2. AND GLASS STANDARDS AS PER 9.7.3. SKYLIGHTS SHALL CONFORM TO STANDARDS AS PER 9.7.7. WINDOWS LOCATED WITHIN 3 FT OF EXTERIOR DOOR LOCKS SHALL HAVE SAFETY GLASS, WIRED GLASS OR TEMPERED GLASS. ALL WINDOWS AND DOORS SHALL HAVE A U FACTOR NO GREATER THAN 1.8 W(mwK). ALL SKYLIGHTS SHALL HAVE A U FACTOR NO GREATER THAN 2.8 W(mwK).
- DECK OVER HABITABLE AREA - PROVIDE 2X4 CROSS PURLIN AT 16" O.C. ON DECK JOIST AND CROSS VENTILATION EXCEPT FOR BUILD-UP ROOFING (TAR AND GRAVEL). ALL OTHER WATER-PROOFING MEMBRANE MUST BE AN APPROVED PRODUCT AND BE CERTIFIED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER.
- STARTING WORK SHALL IMPLY ACCEPTANCE OF THESE TERMS AND SHALL MEAN ACCEPTANCE OF ALL SPECIFICATIONS, DIMENSIONS AND REQUIREMENTS AS WELL AS ALL SURFACES AND CONDITIONS AS BEING SUITABLE TO RECEIVE SAID WORK.
- DO NOT SCALE DRAWINGS.
- MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS PLACED WITHIN AND PARALLEL TO AN EXTERIOR WALL ARE REQUIRED TO BE INSULATED TO THE EFFECTIVE THERMAL RESISTANCE REQUIRED FOR THE WALL AT THE PROJECTED AREA OF THE SYSTEM COMPONENT.
- AIR BARRIERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 9.36.2.9 AND 9.36.2.10
- HVAC, AND SERVICE WATER EQUIPMENT TO CONFORM TO SECTION 9.36.
- ALL NON-GASKET DEVICES INSTALLED IN INSULATED ASSEMBLIES ARE TO BE PROVIDED WITH BACKING TO ALLOW SEALING OF SHEET POLY TO POLY BOOT.



1 SITE PLAN
SCALE: 1/8"=1'-0"

Sanitary MH
Rim Elev.=37.28
E Inv.=34.53 (150Ø PVC)
W Inv.=34.51 (150Ø PVC)

ZONING DATA

LEGAL DESCRIPTION:

LOT 54, DL 397 GROUP 1, PLAN NWP 14049
ZONE:
RT-2
SITE:
AREA: 9,711.70 SQ. FT. (901.73 SQ. M.)
LESS LANE DEDICATION: 15.36 SQ. M.
NET TOTAL: 9,546.05 SQ. FT. (886.35 SQ. M.)
FAR:

PERMITTED: 0.75 (7,159.53 SQ. FT.) (664.76 SQ. M.)
PROVIDED: 5,130.18 SQ. FT. (476.34 SQ. M.)

SITE COVERAGE PROVIDED:

PERMITTED: 45%
9,711.70 SQ. FT. X 45% = 4,370.26 SQ. FT.
PROPOSED: 33.8% = 3,288.34 SQ. FT.

PRINCIPAL DWELLING: 2,420.21 sf.
DETACHED GARAGE: 698.30 sf.
COVER ENTRIES COMBINED: 156.70 sf.
HYDRO ROOM: 13.13 sf.
TOTAL BUILDING & STRUCTURES: 3,288.34
(DENSELY OCCUPY AN ADDITIONAL 0.23 U)

BUILDING HEIGHT:

PRINCIPAL DWELLING
MAXIMUM BUILDING HEIGHT PERMITTED 26.24 FT. (8.0M)
MAXIMUM BUILDING HEIGHT PROVIDED 26.24 FT. (8.0M)
ACCESSORY & STRUCTURES
MAXIMUM BUILDING HEIGHT PERMITTED 14.76 FT. (4.5M)
MAXIMUM BUILDING HEIGHT PROVIDED 4.76 FT. (4.5M)

SET BACKS:

PRINCIPAL DWELLING
PERMITTED: 25.0 FT. (7.5 M) FRONT & REAR
7.38 FT. (2.25 M) INTERIOR
14.76 FT. (4.5 M) EXTERIOR

PROPOSED: FRONT (NORTH) - 25.27 FT. (7.70 M) TO POST
INTERIOR (WEST) - 7.40 FT. (2.25M)
REAR (SOUTH) - 70.13 FT. (21.37M)
INTERIOR (EAST) - 7.40 FT. (2.25)

ACCESSORY BUILDING (DETACHED TRIPLE GARAGE)

PERMITTED: 10.0 FT. (3.0 M) FRONT & EXTERIOR
5.0 FT. (1.5 M) REAR & INTERIOR
5.0 FT. (1.5 M) FROM A PRINCIPAL USE

PROPOSED: FRONT (NORTH) - 29.65 FT. (9.0M) to principal dwelling
INTERIOR WEST - 5.05 FT. (1.54M)
REAR (SOUTH) - 7.46 FT. (2.27M)
INTERIOR EAST - 42.02 FT. (12.80M)

USABLE OPEN SPACE:

PERMITTED: 45.0 SQ. M. PER 3 BED. UNITS
30.0 SQ. M. PER 2 BED. UNITS OR LESS
3 X 45.0 = 1,453.95 SF. (135.0 SM.)

PROPOSED: UNIT 1: 645.12 SF. + UNIT 2: 493.40 SF. + UNIT 3: 621.28 SF.
+ SHARED USABLE OPEN SPACE 930.56 SF.
TOTAL : 2,690.36 SF. (249.80 SM.)

PARKING:

REQUIRED:
RESIDENTS 3 UNITS X 1.5 = 4.5
VISITORS 3 UNITS X 0.2 = 0.6
TOTAL 5.1
5 CARS

PROVIDED:
RESIDENTS 3 UNITS X 2 = 6
TOTAL 6 CARS

GRADING LEGEND:

EXISTING GRADE FROM SURVEY PLAN
INTERPOLATED EXISTING GRADE
FINISHED GRADE

t|y designs
TEL: 604-888-8888
1132513 GILBERT HILL RD
MAPLE RIDGE, B.C. V2X 1C4
DAVID J HO ARCHITECT INC.
2044 - 3005 ST. JOHN STREET PORT MOODY BC V2X 2K4
PHONE 468-9440

3 UNIT
TRIPLEX 2 DEVELOPMENT
22055 119 AVENUE, MAPLE RIDGE B.C.
MAPLE RIDGE, B.C.

REVISIONS:

NO.	DATE	DESCRIPTION
1	2018.04.03	ISSUED FOR PERMIT

SITE PLAN

A1

THESE DRAWINGS COMPLY TO THE 2018 B.C.B.C. INCLUDING LATEST REVISIONS

APPENDIX E

t|y
designs

TEL: 604 448 8854
4122232 QUARTERVIEW RD
MAPLE RIDGE, B.C. V2X 1C4

DAVID J HO ARCHITECT INC.
204 -3003 ST JOHN STREET PORT MOODY BC V3K 2C4
PHONE: 604-949-4949

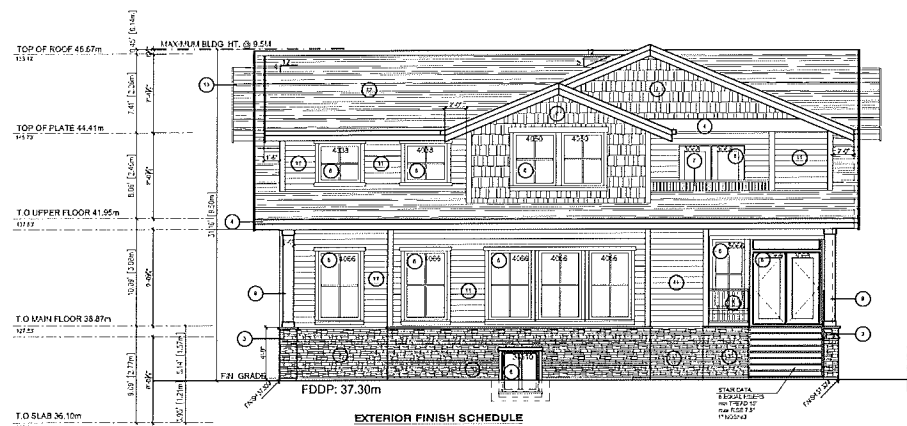


PROJECT:
3 TRIPLEX 2 DEVELOPMENT
22058 119 AVENUE, MAPLE RIDGE B.C.
MAPLE RIDGE, B.C.

ELEVATIONS
DATE: APR 02, 2019
BY: T.Y.
CHECKED: T.Y.
SCALE: 1/8" = 1'-0"

A7

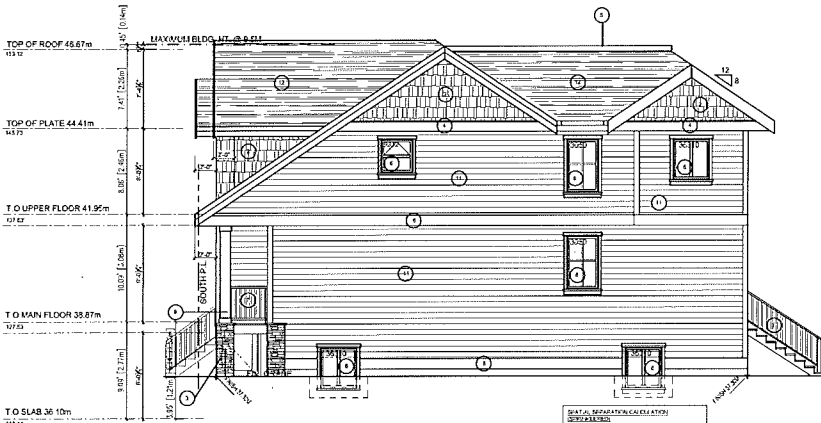
THESE DRAWINGS COMPLY TO THE 2018 BCBC INCLUDING ALL REVISIONS



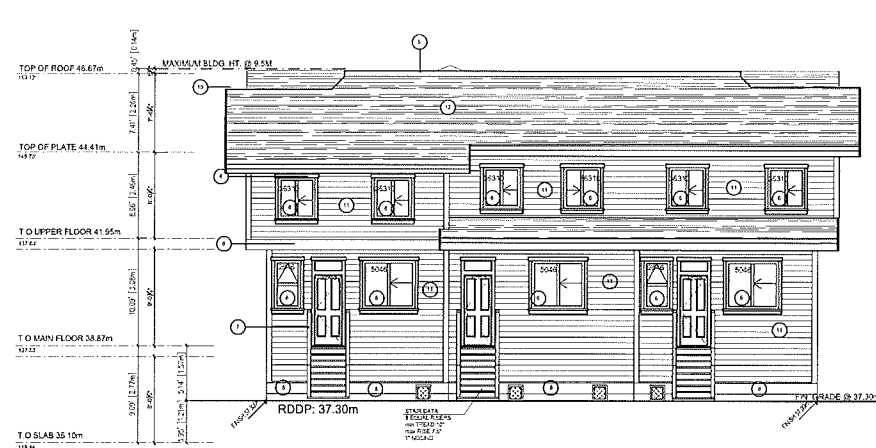
1 NORTH ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR FINISH SCHEDULE

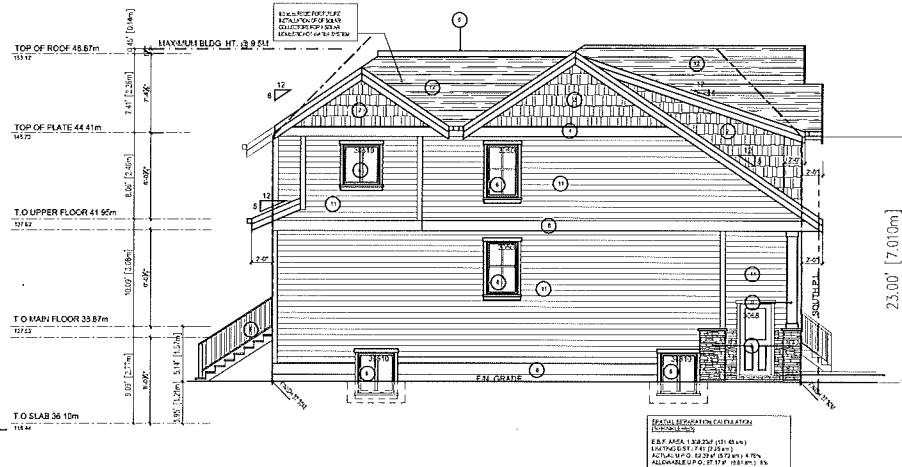
NO.	LOCATION	DESCRIPTION	NO.	LOCATION	DESCRIPTION
1	1ST FLOOR WALLS	HARDIE EXTERIOR BOARD	7	BALCONY RAILINGS	PREFINISHED ALUMINUM
2	ACCENT WALLS	HARDIE SHAVE	8	END BOARD BETWEEN FLOORS	HARDIE TBM BOARD
3	COLLAPSE STONE CLADDING	CULTURED STONE BY OTHERS	9	WOOD POSTS	HARDIE WRAPPED OR WOOD FORM
4	TRIM / FASCIA	TO BE PAINTED, COLOUR PER APPROVAL	10	ROOF	ASPHALT FINISH
5	PARAPET ROOF	PREFINISHED CAP FLASHING	11	EXTERIOR WALLS	6" HARDIE LAP BOARDING
6	WINDOWS & DOORS	DOUBLE GLAZED VINYL	12	ROOF	ASPHALT SHINGLES



3 WEST ELEVATION
SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



4 EAST ELEVATION
SCALE: 3/16"=1'-0"

SEALING REQUIREMENT CALCULATION
(1) 100% SEALING
G.P. AREA: 1,308.25M² (11,453 SQ. FT.)
MAXIMUM SEALING: 1,308.25M² (11,453 SQ. FT.)
ACTUAL SEALING: 1,308.25M² (11,453 SQ. FT.)
ALLOWABLE SEALING: 1,308.25M² (11,453 SQ. FT.)

Susie Sziklai Landscape Architect
22263 West 14th Avenue Vancouver BC V5K 2V9
PHONE 504 732 0315

3 UNIT
TRIPLEX 2 DEVELOPMENT
22058-119 AVENUE, MAPLE RIDGE B.C
MAPLE RIDGE, B.C.

REVISIONS:

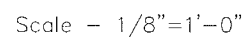
February 16 2021 ADP Comments

December 8 2020 ADP

December 2 2020 ADP

Landscape
Plan

L1



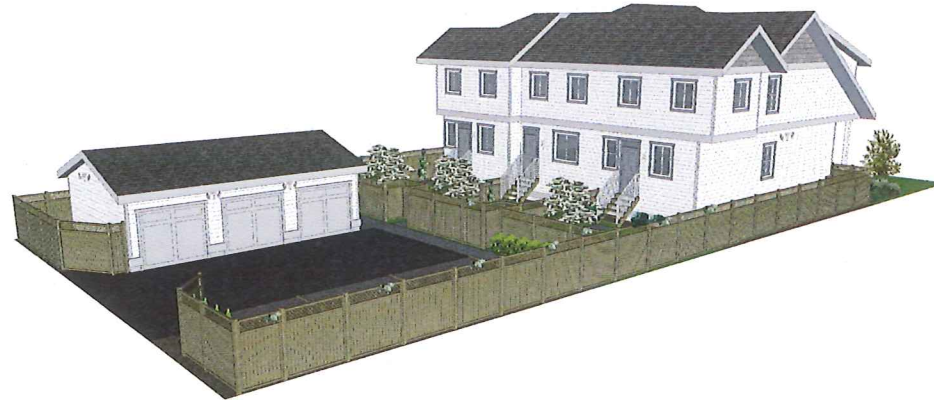
PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Size
Trees				
VM	1	*Acer circinatum	Vine Maple	1.5m
VW	4	Cornus nuttallii 'Eddie's W Wonder	Eddie's White Wonder Dogwood	6cm
Shrubs				
C	8	*Cornus sericea	Red Stemmed Dogwood	#2po
G	4	*Gaultheria shallon	Salal	#2po
Ch	1	Mahonia x media 'Charity'	Hybrid Mahonia	#3po
f	7	*Polystichum munilum	Western Sword Fern	#2po
R	7	Rhododendron 'Dora Amateis'	White Rhododendron	
S	8	Sarcococca hookeriana humilis	Himalayan Sweet Box	#2po
t	5	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.5m
v	14	Viburnum tinus 'Spring Bouquet'	Winter/Spring Viburnum	#2po
X	7	*Vaccinium ovatum	Evergreen Huckleberry	#2po
Groundcover/Vines				
*	25	*Cornus canadensis	Bunchberry	10cm
+	15	Hydrangea anomala	Climbing Hydrangea	#2po
NOTES				
1. All materials, installation and maintenance of landscape works shall conform to the BCS/ARIZONA Landscape Standards. 2. Minimum growing medium/slopes to meet the following and include the recommendations in the City of Maple Ridge Rainwater Management Plan: slopes: 12/200ftm ground cover: 12/200ftm shrubs: 18/450ftm trees: 12/200ftm (ground and beneath root ball) 3. Treeing for utility connections be coordinated with the City of Maple Ridge Engineering Department to ensure safe root zones of retained trees. Method of root protection for street trees to be approved by City of Maple Ridge Park Board. 4. The retention and removal of existing trees is noted on landscape plan as per the recommendations in the City of Maple Ridge 2010 "Tree Assessment Report prepared by David K. Jones Services. 5. Name of plant material identified with *.				



APPENDIX G



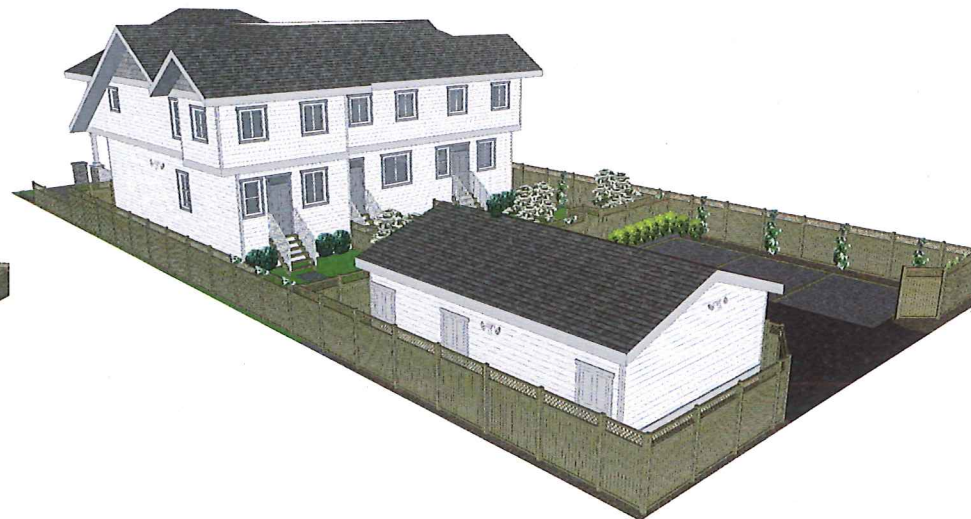
NE PERSPECTIVE



SE PERSPECTIVE



NW PERSPECTIVE



SW PERSPECTIVE

t y
designs

TEL: 604-446-6224
430-2335 GLENVIEW RD.
MAPLE RIDGE, B.C. V2W 1G4

DAVID J HO ARCHITECT INC.

204 - 3003 ST JOHNS STREET PORT MOODY BC V3H 2C4
PHONE: 468-9449 FAX: 468-0880



PROJECT
3 UNIT
TRIPLEX 2 DEVELOPMENT

22058 119 AVENUE, MAPLE RIDGE B.C.
MAPLE RIDGE, B.C.

REVISIONS:	DATE	BY	APP'D

EXTERIOR
PERSPECTIVES

SK-3

DRAWING NO.
EXTERIOR PERSPECTIVES

THESE DRAWINGS COMPLY TO THE 2016 B.C. BUILDING ACT INCLUDING LATEST REVISIONS

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
MEETING DATE: February 16, 2021
FILE NO: 2021-029-RZ
MEETING: C o W

SUBJECT: Termination and Replacement of Land Use Contracts: First and Second Reading
Zone Amending Bylaw No. 7702-2021 – 20834 Dewdney Trunk Road;
Zone Amending Bylaw No. 7703-2021 – PID 005-255-911;
Zone Amending Bylaw No. 7704-2021 – 20931-20945 Camwood Avenue;
Zone Amending Bylaw No. 7705-2021 – 11927/35 203 Street;
Zone Amending Bylaw No. 7706-2021 – 12038 224 Street;
Zone Amending Bylaw No. 7707-2021 – 23443 Lougheed Highway;
Zone Amending Bylaw No. 7709-2021 – 12229, 12218, 12212, 12208 and
12204 McTavish Place; and 21092 and 21070 Stonehouse Avenue

EXECUTIVE SUMMARY:

In May 2014, the Province enacted Bill 17, which made changes to the *Local Government Act* that stipulates that all Land Use Contracts in British Columbia will be automatically terminated on June 30, 2024. Municipalities are required to enact zoning regulations for all properties affected by Land Use Contracts prior to June 30, 2022. The *Local Government Act* also allows municipalities to terminate contracts prior to 2024 provided zoning is enacted for the affected lands.

At the October 13, 2020 Council Workshop meeting, the process for early termination of Land Use Contracts and strategy to meet provincial deadlines was presented. The purpose of this report is to start the early termination process for seven Land Use Contracts and rezone twenty-one properties.

To meet provincial legislated deadlines, the strategy is to terminate as many Land Use Contracts as possible by bringing bundles of rezoning bylaws to Council over the course of 2021 (three separate bundles are anticipated over the course of the year). The applicable bylaws to rezone the property are presented in Appendices B to Y. A Land Use Contract termination bylaw will be presented once the rezoning bylaws have been adopted.

RECOMMENDATION:

1. That Zone Amending Bylaw No. 7702-2021 be given first and second reading, and forwarded to Public Hearing;
2. That Zone Amending Bylaw No. 7703-2021 be given first and second reading, and forwarded to Public Hearing;
3. That Zone Amending Bylaw No. 7704-2021 be given first and second reading, and forwarded to Public Hearing;
4. That Zone Amending Bylaw No. 7705-2021 be given first and second reading, and forwarded to Public Hearing;
5. That Zone Amending Bylaw No. 7706-2021 be given first and second reading, and forwarded to Public Hearing;

6. That Zone Amending Bylaw No. 7707-2021 be given first and second reading, and forwarded to Public Hearing;
7. That Zone Amending Bylaw No. 7709-2021 be given first and second reading, and forwarded to Public Hearing.

1.0 BACKGROUND:

a) History

Between 1971 and 1978, the *Municipal Act* (now called the *Local Government Act*) allowed local governments to enter into Land Use Contracts with landowners and/or developers. Although Land Use Contracts are an agreement between the City and landowners/ developers, all Land Use Contracts were adopted by bylaw and registered on title. The legislation authorizing Land Use Contracts was repealed in 1978; however, Land Use Contracts approved prior to this date remain in force.

In May 2014, the Province made changes to the *Local Government Act* requiring municipalities to enact zoning regulations for all properties affected by Land Use Contracts prior to June 30, 2022. The City of Maple Ridge has 29 Land Use Contracts still in effect.

b) Strategy for Termination Land Use Contracts

On October 13, 2020, at a Council Workshop meeting, the process for early termination of Land Use Contracts and a strategy to meet provincial deadlines was presented. The strategy is to bring bundles of rezoning bylaws to Council meetings over the course of 2021 (three separate bundles are anticipated over the course of the year). A Land Use Contract termination bylaw will be presented once the rezoning bylaws have been adopted. As a result, this report contains the first bundle being brought forward to Council at this time. The intent of phasing the LUC's in three separate bundles over the course of 2021, is to help reduce any potential confusion and to not overwhelm the Public Hearing process.

The properties within this report will continue to be regulated by their Land Use Contract until the Land Use Contract termination bylaw has been adopted and one (1) year has passed. Essentially, this report is to propose underlying zoning for each property.

When considering possible underlying zoning, staff have been reviewing the uses permitted in the Land Use Contract and are aligning the uses with a current zone. The proposed zone must be consistent with the Official Community Plan and City of Maple Zoning Bylaw. In cases where the property aligns with a zoning designation and the Official Community Plan, but does not meet the zoning setbacks or building height, these properties will become non-conforming with the Zoning Bylaw. It should also be noted that if the use and density of an existing building conforms to a new land use regulation bylaw, but the building's siting, size or dimensions do not, the building may be maintained, extended or altered as long as it does not result in further contravention of the bylaw.

If a property could become non-conforming, through the zoning process, it has been noted in this report (where necessary). Because the subject properties were developed several decades ago, allowing a non-conformity with some lot areas, building setbacks, or building heights has been determined to be the most straightforward approach that will ensure the least confusion within the existing neighbourhoods. Other than the non-conformity issue, the process for terminating Land Use Contracts and rezoning affected properties closely follows the City's usual rezoning process.

c) Communication with Property Owners

To ensure the process and implications were clearly communicated to property owners, staff mailed tailored information packages to all property owners involved, created a page on the City's website that includes general information on Land Use Contracts and invited all affected property owners to an information session. However, due to low registration the information session was cancelled and staff have been meeting with interested property owners on a case by case basis. A Development Information Meeting is not required as no new development is being proposed.

2.0 DISCUSSION:

The purpose of this report is to start the early termination process for seven Land Use Contracts and to propose zoning for twenty-one properties. Sections 2.1 to 2.8 provides the background information on the existing development, the proposed zone, and the planning analysis.

2.1 Zone Amending Bylaw No. 7702-2021, 20834 Dewdney Trunk Road

The property located at 20834 Dewdney Trunk Road is currently regulated by a Land Use Contract, adopted in 1978, to permit:

- 44 strata titled residential units;
- Accessory residential uses; and
- Accessory off street parking use.

The property is 1.58 ha (3.92 acres) in area and is bounded by parkland on the southwest and south central portion of the property, with single detached residential lots on the northern portion of the property (see Appendix A). The property located at 20834 Dewdney Trunk Road is proposed to be rezoned from the Land Use Contract that permits 44 residential units to RM-1 Low Density Townhouse Residential (see Appendices B, C, and D). Prior to writing this report, the property owner had contacted staff to clarify the process and had no concerns about rezoning to the RM-1 zone.

The property is currently designated Urban Residential in the OCP. The OCP policies, as per the Zoning Matrix, supports the proposed RM-1 zone on lots exceeding 1,000m². As the lot size of the property exceeds the minimum lot size requirement for the proposed zone and is consistent with the OCP land use designation, the proposed zone of RM-1 is supportable. Additionally, the proposed zone is in alignment with the Lougheed Transit Corridor Concept Plan, which proposes to designate the property as "Transit Corridor Multi-Family".

However, the property does not meet the front lot line setback regulation in the Zoning Bylaw for the RM-1 zone by approximately 1.5 metres. The setback minimum for the RM-1 zone is 7.5 metres and development is approximately 6.0 metres from the property line. As the property does not meet one of the setback regulations, the property will become non-conforming with the Zoning Bylaw as it does not meet all the RM-1 zones setback regulations. A non-conforming property may continue with its current uses and redevelopment inquiries can still be submitted and reviewed by staff.

2.1.1 Zone Amending Bylaw No. 7703-2021, PID 005-255-911- Dewdney Trunk Road

The property located just south/west of 20834 Dewdney Trunk Road, with the Parcel Identifier, 005-255-911, was sold to the City in 1978 as part of the Land Use Contract that regulates the property to the north (see above 20834 Dewdney Trunk Road). The Land Use Contract stipulates that 2.910 acres of land be sold to the municipality for park and public highway use. The property, which is 1.062 ha

(2.62 acres) in area, was part of that sale to the municipality and was dedicated for park use as it includes creek setbacks for McKenney Creek.

The property is bounded by parkland on the east and west (see Appendix A) and is proposed to be rezoned from the Land Use Contract to P-1 (Park and School) (see Appendices E, F, and G). It is currently designated Conservation in the OCP. The OCP policies, as per the Zoning Matrix, supports the proposed P-1 zone, as there is no minimum lot size for park area. Therefore, rezoning the property from a Land Use Contract to P-1 (Park and School) zone is consistent with the OCP land use designation and is thus supportable. Additionally, the proposed zone is in alignment with the Lougheed Transit Corridor Concept Plan, which proposes to designate the property as "Conservation" and proposes that the West Ridge Greenway to run east-west through the property.

2.2 Zone Amending Bylaw No. 7704-2021, 20931 -20945 Camwood Avenue

The properties located at 20931-20945 Camwood Avenue are currently regulated by a Land Use Contract, adopted in 1975, to permit the use of:

- Eight dwelling units in the form of a condominium development; and
- Accessory off-street parking.

The property is 0.51 ha (1.28 acres) in area and is bounded by single detached residential lots to the west and low density townhouse residential to the east (see Appendix A). The properties located at 20931-20945 Camwood Avenue are proposed to be rezoned from the Land Use Contract to RM-1 (Low Density Townhouse Residential) (see Appendices H, I, and J). Prior to writing this report, one of the property owners had contacted staff to clarify the process and had no concerns about rezoning to the RM-1 zone.

The property is currently designated Urban Residential in the OCP. The OCP policies, as per the Zoning Matrix, supports the proposed RM-1 zone on lots exceeding 1,000m². The existing development meets the Zoning Bylaw's height, setback and density regulations for the RM-1 zone. As the lot size of the property exceeds the minimum lot size requirement for the proposed zone and is consistent with the OCP land use designation, the proposed zone of RM-1 is supportable.

Additionally, the proposed zone is in alignment with the Lougheed Transit Corridor Concept Plan, which proposes to designate the property as "Transit Corridor Multi-Family".

2.3 Zone Amending Bylaw No. 7705-2021, 11927/35 203 Street

The property located at 11927/35 203 Street is currently regulated by a Land Use Contract, adopted in 1975, to permit the use of "One Collision Repair Shop". The property is 0.16 ha (0.39 acres) in area and is bounded by commercial designated properties (see Appendix A). The property is proposed to be rezoned from the Land Use Contract to CS-1 Service Commercial (see Appendices K, L, and M). At the time of writing this report, the property owner had not contacted staff about the rezoning of the property.

The current OCP designation for the property is Commercial. The OCP policies, as per the Zoning Matrix, supports the proposed CS-1 zone on lots exceeding 929m². As the lot size of the property exceeds the minimum lot size requirement, the proposed zone is consistent with the OCP land use designation, the proposed zone of CS-1 is supportable.

However, the existing development does not meet the front, rear, internal, or external lot line setbacks regulations for the CS-1 Zone, which means that the property will become non-conforming with the

Zoning Bylaw should the property is rezoned. A non-conforming property may continue with its current uses and redevelopment inquiries can still be submitted and reviewed by staff.

It should be noted that the property is also within the West Side Transit Node at 203 Street of the Lougheed Transit Corridor Concept Plan, which was endorsed by Council on November 10, 2020. The Lougheed Transit Corridor Concept Plan shows "Commercial Mixed-Use" for this property to allow a mixed-use form of development, with ground floor commercial and residential or office above at transit nodes and along 'high streets'. However, the strategy in selecting a zone for properties regulated by a Land Use Contract is to review the use and regulations (such as building setbacks, height, and lot coverage) permitted in the Land Use Contract and attempt to align these with a current zone. Additionally, until the Lougheed Transit Corridor Concept Plan becomes an Area Plan and the OCP is amended, the proposed rezoning of the property from a Land Use Contract to CS-1 (Service Commercial) zone is consistent with the existing OCP land use designation and is thus supportable.

2.4 Zone Amending Bylaw No. 7706-2021, 12038 224 Street

The property located at 12038 224 Street is currently regulated by a Land Use Contract, adopted in 1973, and was amended in 1988 to remove the Land Use Contract from the southern property at 22441 Dewdney Trunk Road. A portion of the property located at 12038 224 Street is zoned RS-1 (Single Detached Residential), but a portion still remains regulated by the Land Use Contract. The entire property is an urban pocket park, known as Brown Avenue Park. The property is 629 m² in area and is bounded by commercial use and apartment residential (see Appendix A). The property is proposed to be rezoned from the Land Use Contract to P-1 (Park and School) (see Appendices N, O, and P).

The property is currently designated Park in the OCP. The OCP policies, as per the Zoning Matrix, supports the proposed P-1 zone. There is no minimum lot size for parkland, therefore, rezoning the property from a Land Use Contract to P-1 (Park and School) zone is consistent with the OCP policies and is thus supportable. Although the P-1 Zone supports park and recreation uses, as well as school uses, the lot size of the property would be too small to support school uses.

2.5 Zone Amending Bylaw No. 7707-2021, 23443 Lougheed Highway

The property located at 23443 Lougheed Highway is currently regulated by a Land Use Contract, adopted in 1974, to permit the use of "Construction of a Greenhouse and a Packing Shed". The property is 2.42ha (5.97 acres) in area and is bounded by single detached residential properties, the Albion Fairground and industrial uses (see Appendix A). The property located at 23443 Lougheed Highway is proposed to be rezoned from the Land Use Contract to A-1 (Small Holding Agricultural) (see Appendices Q, R, and S). Prior to writing this report, the property owner had contacted staff to clarify the process and had no concerns about rezoning to the A-1 zone.

The property is currently designated Agricultural in the OCP and is located within the Agricultural Land Reserve. The OCP policies, as per the Zoning Matrix, supports the proposed A-1 zone on lots exceeding 2.0 hectares. As the lot size for the property exceeds the minimum lot size requirement, the proposed A-1 (Small Holding Agricultural) zone is consistent with the OCP land use designation and is thus supportable.

Additionally, the Zoning Bylaw's height, setback and density regulations for the A-1 zone are met as the property is currently vacant.

It should also be noted that this property is within the Albion Flats Concept Plan Area, which was endorsed by Council On November 12, 2019. The Albion Flats Concept Plan identifies the property for light industrial uses. However, the strategy in selecting a zone for properties regulated by a Land Use Contract is to review the use and regulations (such as building setbacks, height, and lot coverage) permitted in the Land Use Contract and attempt to align these with a current zone. Additionally, until the Albion Flats Concept Plan becomes an Area Plan and the OCP is amended, the proposed rezoning of the property from a Land Use Contract to A-1 (Small Holding Agricultural) zone is consistent with the existing OCP land use designation and is thus supportable.

2.6 Zone Amending Bylaw No. 7709-2021- 12229, 12218, 12212, 12208, 12204, McTavish Place and 21092 and 21070 Stonehouse Avenue

The properties located at 12229, 12218, 12212, 12208, 12204, McTavish Place and 21092 and 21070 Stonehouse Avenue are currently regulated by a Land Use Contract established in 1979 to permit the use of:

- One family urban residential on each lot;
- Accessory off street parking use;
- Accessory home occupation use; and
- Boarding use.

The properties range between approximately 556m² and 828.8m² in area and are bounded by single detached residential properties (see Appendix A). The zone RS-1b Single Detached (Medium Density) Residential is the proposed zoning for these seven properties (see Appendices T, U and V). At the time of writing the report, none of the property owners have contacted staff about the rezoning of the properties.

The properties are currently OCP designated Urban Residential. The OCP policies, as per the Zoning Matrix, supports the proposed RS-1b zone. The existing development compliments adjacent land uses and lot sizes in the surrounding area. Therefore, rezoning the property from a Land Use Contract to the RS-1b Single Detached (Medium Density) Residential zone is consistent with the OCP land use designation and is thus supportable.

Properties 12229 McTavish Place and 21070 Stonehouse Avenue are noted as being approximately 556m², which is 1m² less than the RS-1b zones lot size regulation. However, without conducting a property survey to confirm that these two properties do meet the lot size regulation of a minimum lot size of 557m², these two properties will become non-conforming with the Zoning Bylaw should they be rezoned to RS-1b. Although these properties will be non-conforming, under the RS-1b zone, the current single detached residential uses may continue.

Properties 12212, 12208, and 12204, McTavish Place will also be non-confirming with the Zoning Bylaw because these properties do not meet the interior lot line setback of 1.5 metres. However, as the properties do not meet one of the setback regulations, the property will become non-conforming as it does not meet all the RS-1b zones setback regulations. Any non-conforming properties may continue with current uses and redevelopment inquiries can still be submitted and reviewed by staff.

3.0 CONCLUSION:

In May 2014, the province made changes to the *Local Government Act* that requires municipalities to enact zoning regulations for all properties affected by Land Use Contracts prior to June 30, 2022. The purpose of this report is to start the early termination process for seven Land Use Contracts and rezone twenty-one properties in order to meet provincial legislated deadlines. This report is one of three rezoning bundles being brought before Council. Once the properties regulated by Land Use Contracts have underlying zoning, a Land Use Contract early termination bylaw will be brought forward.

“Original signed by Krista Gowan”

Prepared by: Krista Gowan, HBA, MA
Planner 1

“Original signed by Chuck Goddard”

Reviewed by: Charles R. Goddard, BA, MA
Director of Planning

“Original signed by Christine Carter”

Approved by: Christine Carter, M.PL, MCIP, RPP
GM Planning and Development

“Original signed by Al Horsman”

Concurrence: Al Horsman
Chief Administrative Officer

The following appendices are attached hereto:

- Appendix A – Context and Background
- Appendix B – 20834 Dewdney Trunk Road Subject Map
- Appendix C – 20834 Dewdney Trunk Road Ortho Map
- Appendix D – Zone Amending Bylaw No. 7702-2021
- Appendix E – Dewdney Trunk; PID 005-255-911 Subject Map
- Appendix F – Dewdney Trunk; PID 005-255-911 Ortho Map
- Appendix G – Zone Amending Bylaw No. 7703-2021
- Appendix H – 20931 -20945 Camwood Avenue Subject Map
- Appendix I – 20931 -20945 Camwood Avenue Ortho Map
- Appendix J – Zone Amending Bylaw No. 7704-2021
- Appendix K – 11927/35 203 Street Subject Map
- Appendix L – 11927/35 203 Street Ortho Map
- Appendix M – Zone Amending Bylaw No. 7705-2021
- Appendix N – 12038 224 Street Subject Map
- Appendix O – 12038 224 Street Ortho Map
- Appendix P – Zone Amending Bylaw No. 7706-2021
- Appendix Q – 23443 Lougheed Highway Subject Map
- Appendix R – 23443 Lougheed Highway Ortho Map
- Appendix S – Zone Amending Bylaw No. 7707-2021
- Appendix T – 12229, 12218, 12212, 12208, 12204, McTavish Place, and 21092 and 21070 Stonehouse Avenue Subject Map
- Appendix U – 12229, 12218, 12212, 12208, 12204, McTavish Place, and 21092 and 21070 Stonehouse Avenue Ortho Map
- Appendix V – Zone Amending Bylaw No. 7709-2021

Background and Context for Rezoning of LUC Bundle #1

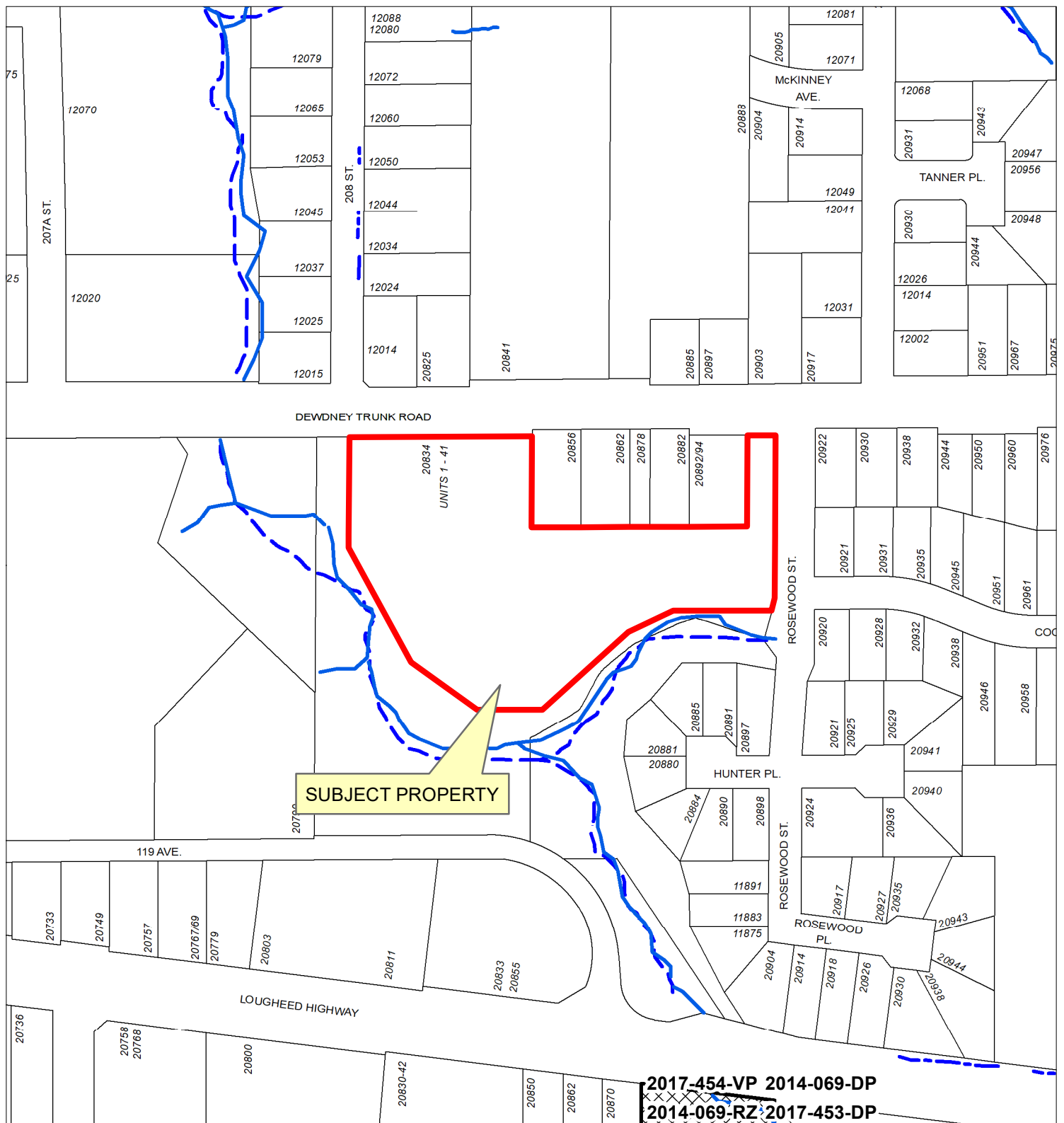
APPENDIX A

Zone Amending Bylaw No.	Address	Legal Description	Existing Zone	Proposed Zone	OCP Designation	Surrounding Uses			
						North	South	East	West
Bylaw No. 7702-2021	20834 Dewdney Trunk Road	LOT 43 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 54703	LUC	RM-1 Low Density Townhouse Residential	Urban Residential	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
Bylaw No. 7703-2021	Dewdney Trunk Road (PID 005-255-911)	LOT 44 EXCEPT: PART DEDICATED ROAD ON PLAN 66330, DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 54703	LUC	P-1 Park and School	Conservation	Land Use Contract	CS-1 Service Commercial	P-1 Park and School	P-1 Park and School
Bylaw No. 7704-2021	1 - 20931 Camwood Ave	STRATA LOT 1 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
	2 - 20933 Camwood Ave	STRATA LOT 2 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential

	3 - 20935 Camwood Ave	STRATA LOT 3 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
	4 - 20937 Camwood Ave	STRATA LOT 4 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
	5 - 20939 Camwood Ave	STRATA LOT 5 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
	6 - 20941 Camwood Ave	STRATA LOT 6 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential

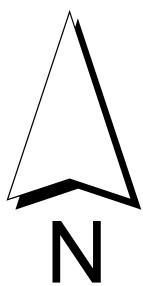
	7 - 20943 Camwood Ave	STRATA LOT 7 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
	8 - 20945 Camwood Ave	STRATA LOT 8 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1	LUC	RM-1 Low Density Townhouse Residential	Urban Residential 68 % Conservation 32 %	RS-1B Single Detached Medium Density Residential	RS-1 Single Detached Residential	RM-1 Low Density Townhouse Residential	RS-1 Single Detached Residential
Bylaw No. 7705-2021	11927/35 203 Street	LOT 68 DISTRICT LOT 222 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 48586	LUC	CS-1 Service Commercial	Commercial	RS-1 Single Detached Residential	CS-1 Service Commercial	C-2 Community Commercial I	CS-1 Service Commercial I
Bylaw No. 7706-2021	12038 224 Street	LOT 1 SECTION 20 TOWNSHIP 12 NEW WESTMINSTER DISTRICT PLAN LMP2358	LUC	P-1 Park and School	Park	RM-3 (Medium/Hig h Density Apartment Residential)	C-3 (Town Centre Commercial)	C-3 (Town Centre Commercial I)	C-3 (Town Centre Commercial I)
Bylaw No. 7707-2021	23443 Lougheed Highway	PARCEL "K" (EXPLANATORY PLAN 47330) OF LOT 8 PLAN 7900 AND OF LOT 6 PLAN 8827 EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 71204; DISTRICT LOT 275 GROUP 1 NEW WESTMINSTER DISTRICT	LUC	A-1 Small Holding Agricultural	Agricultural	CD-4-88 (Albion Fairgrounds)	RS-3 (Single Detached Rural Residential)	CD-4-88 (Albion Fairground s)	M-2 (General Industrial)

Bylaw No. 7709-2021	21070 Stonehouse Avenue	LOT 207 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	RS-1b (Single Detached (Medium Density) Residential)	Land Use Contract	Land Use Contract	RS-1 (Single Detached Residential)
	12229 McTavish Place	LOT 208 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	Land Use Contract	RS-1b (Single Detached (Medium Density) Residential)	RS-1b (Single Detached (Medium Density) Residential)	RS-1 (Single Detached Residential)
	21092 Stonehouse Avenue	LOT 216 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	RS-1 Single Detached Residential	RS-1b (Single Detached (Medium Density) Residential)	RS-1b (Single Detached (Medium Density) Residential)	Land Use Contract
	12204 McTavish Place	LOT 211 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	RS-1b (Single Detached (Medium Density) Residential)	RS-1 Single Detached Residential	Land Use Contract	RS-1 Single Detached Residential
	12208 McTavish Place	LOT 212 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	RS-1 Single Detached Residential	RS-1 Single Detached Residential	Land Use Contract	Land Use Contract
	12212 McTavish Place	LOT 213 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	Land Use Contract	RS-1 Single Detached Residential	RS-1 Single Detached Residential	Land Use Contract
	12218 McTavish Place	LOT 214 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071	LUC	RS-1b Single Detached (Medium Density) Residential	Urban Residential	RS-1b (Single Detached (Medium Density) Residential)	Land Use Contract	RS-1 Single Detached Residential	RS-1b (Single Detached (Medium Density) Residential)



SUBJECT PROPERTY

2017-454-VP 2014-069-DP
2014-069-RZ 2017-453-DP



Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Indefinite Creek
- Active Applications (RZ/SD/DP/VP)

20834 DEWDNEY TRUNK RD

Planning Department



MAPLE RIDGE

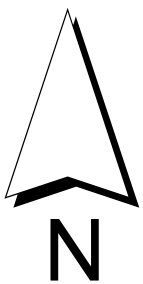
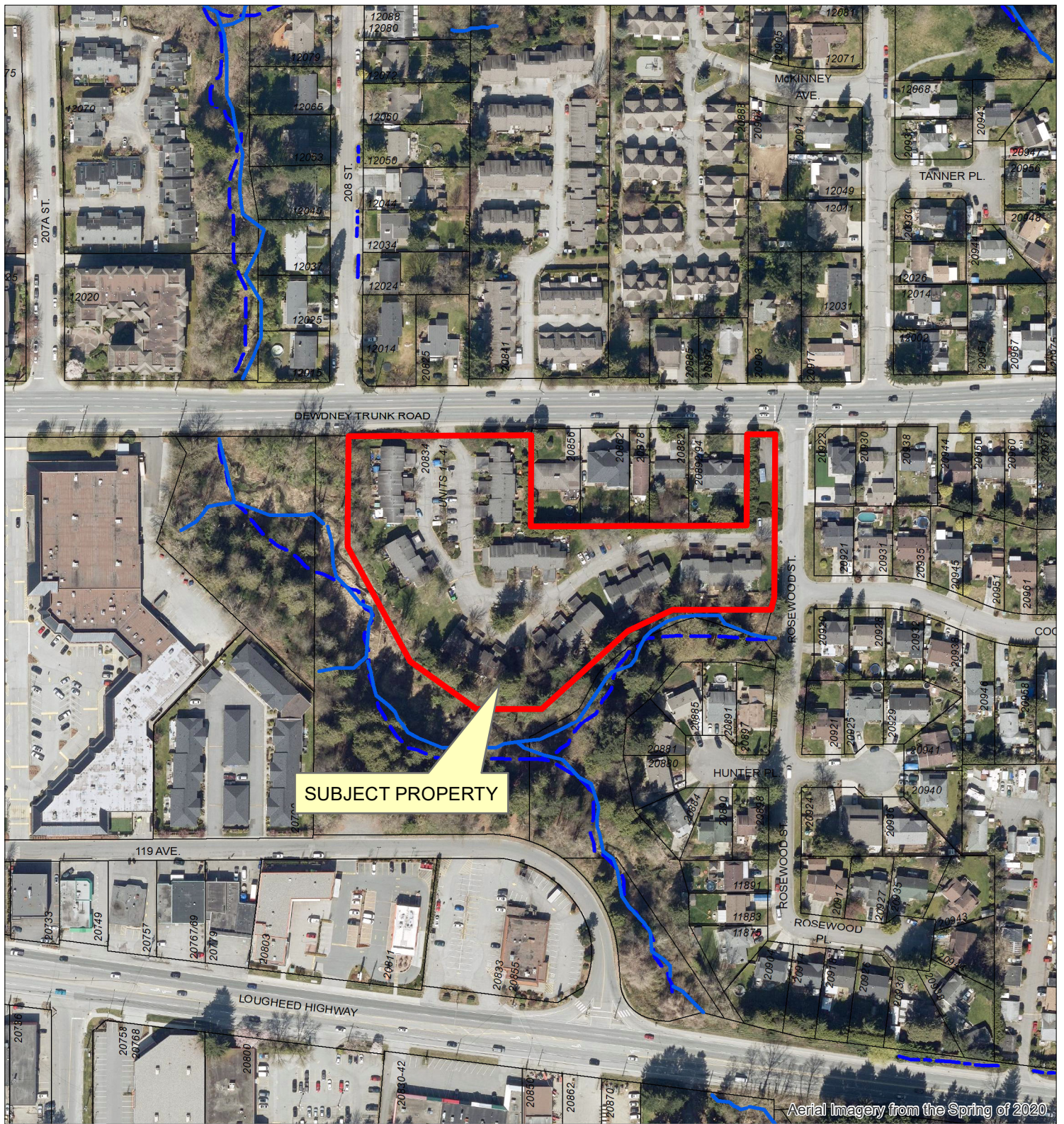
British Columbia

mapleridge.ca

FILE: 2021-029-RZ

DATE: Jan 18, 2021

BY: DT



Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Indefinite Creek

20834 DEWDNEY TRUNK RD

Planning Department



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2021-029-RZ

DATE: Jan 18, 2021

BY: DT

**CITY OF MAPLE RIDGE
BYLAW NO. 7702-2021**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 7600 - 2019 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

AND WHEREAS, a land use contract may, under s. 548 of the *Local Government Act*, has the power to terminate a land use contract that applies to land within the jurisdiction of the local government;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No.7702-2021."
2. That parcel or tract of land and premises known and described as:

LOT 43 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 54703

and outlined in heavy black line on Map No.1861 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-1 LOW DENSITY TOWNHOUSE RESIDENTIAL.

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 23rd day of February, 2021.

READ a second time the 23rd day of February, 2021.

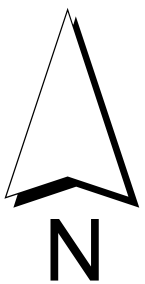
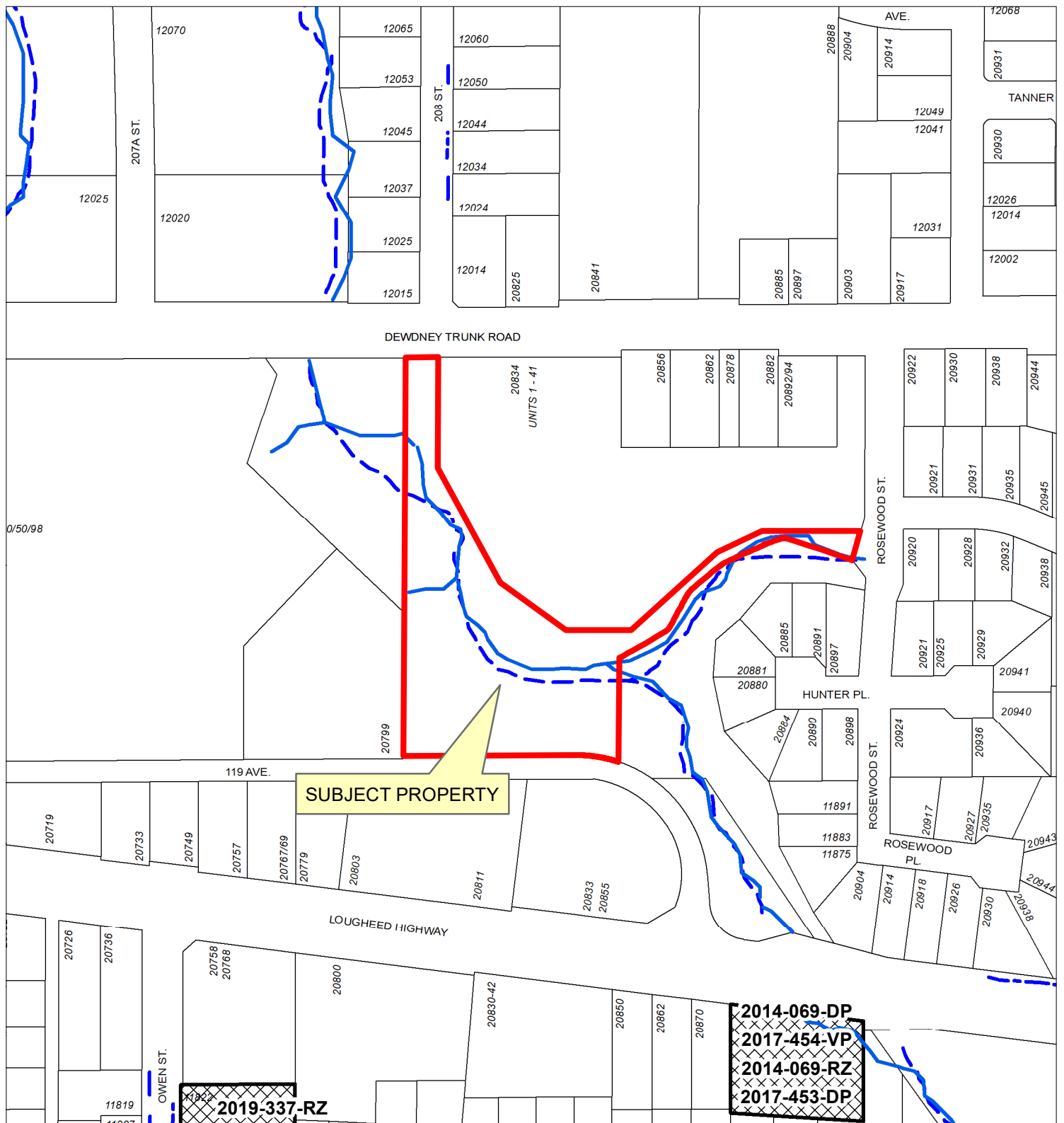
PUBLIC HEARING held the day of , 20

READ a third time the _____ day of _____, 20_____

ADOPTED, the day of , 20





PRESIDING MEMBER

CORPORATE OFFICER



Scale: 1:2,500

Legend

-  Stream
 Ditch Centreline
 Indefinite Creek
 Active Applications (RZ/SD/DP/VP)

PID 005-255-911

Planning Department



MAPLE RIDGE

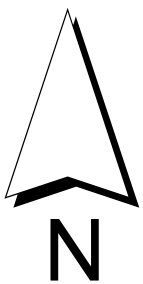
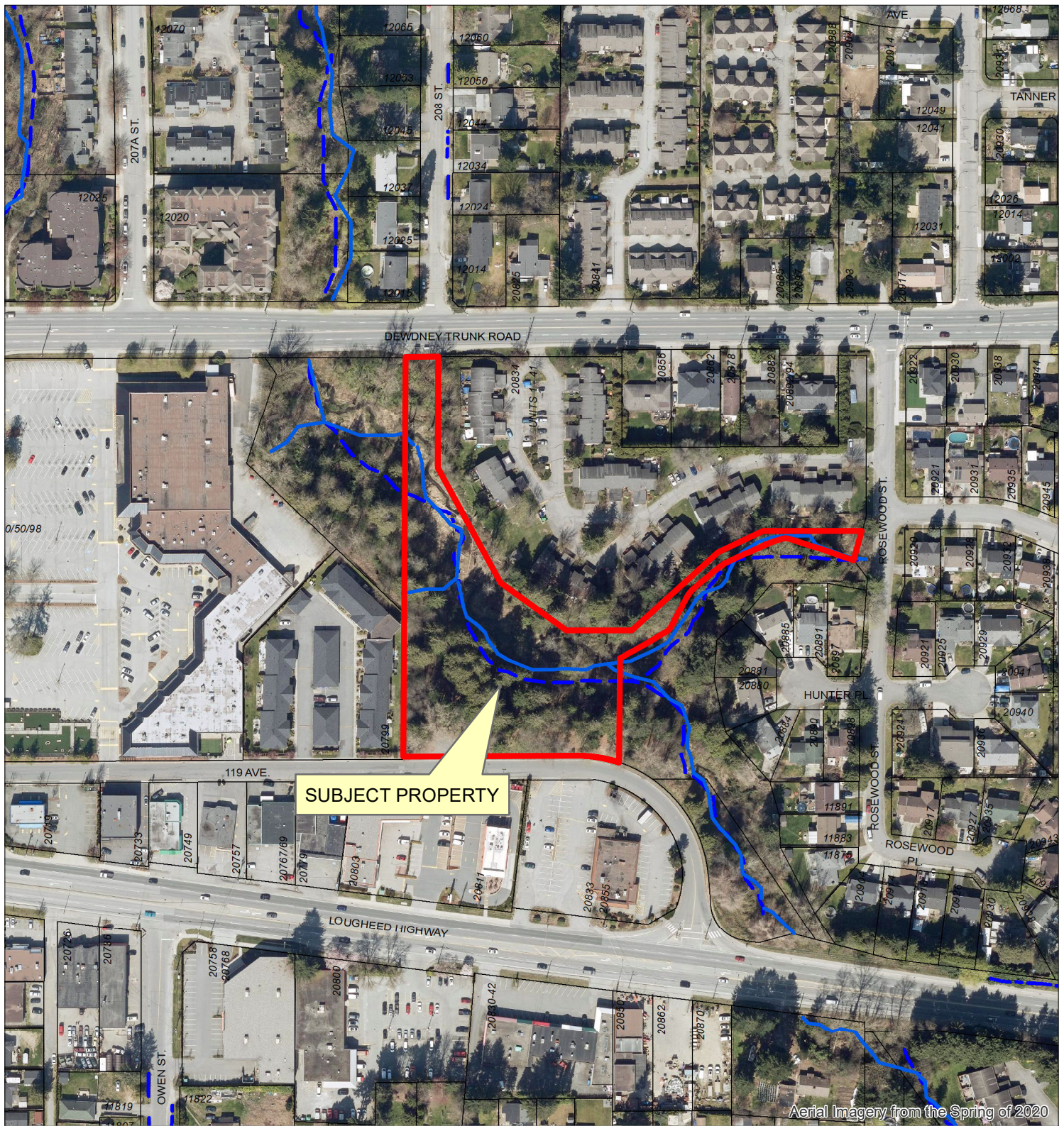
British Columbia

mapleridge.ca

FILE: 2021-029-RZ

DATE: Jan 18, 2021

BY: DT



Scale: 1:2,500

Legend

- Stream
- - - Ditch Centreline
- Indefinite Creek

PID 005-255-911

Planning Department



MAPLE RIDGE

British Columbia

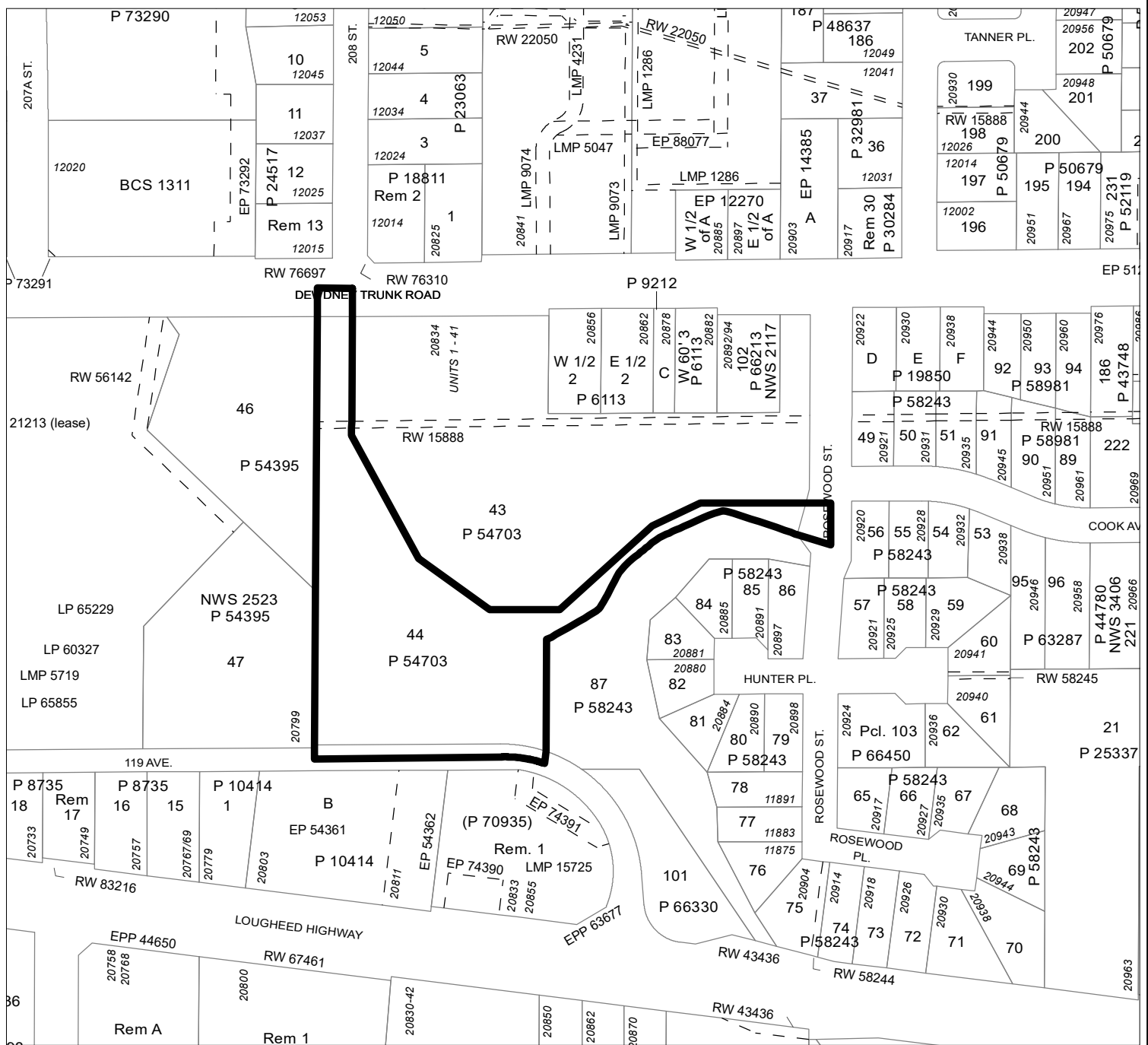
mapleridge.ca

FILE: 2021-029-RZ

DATE: Jan 18, 2021

BY: DT

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7703-2021

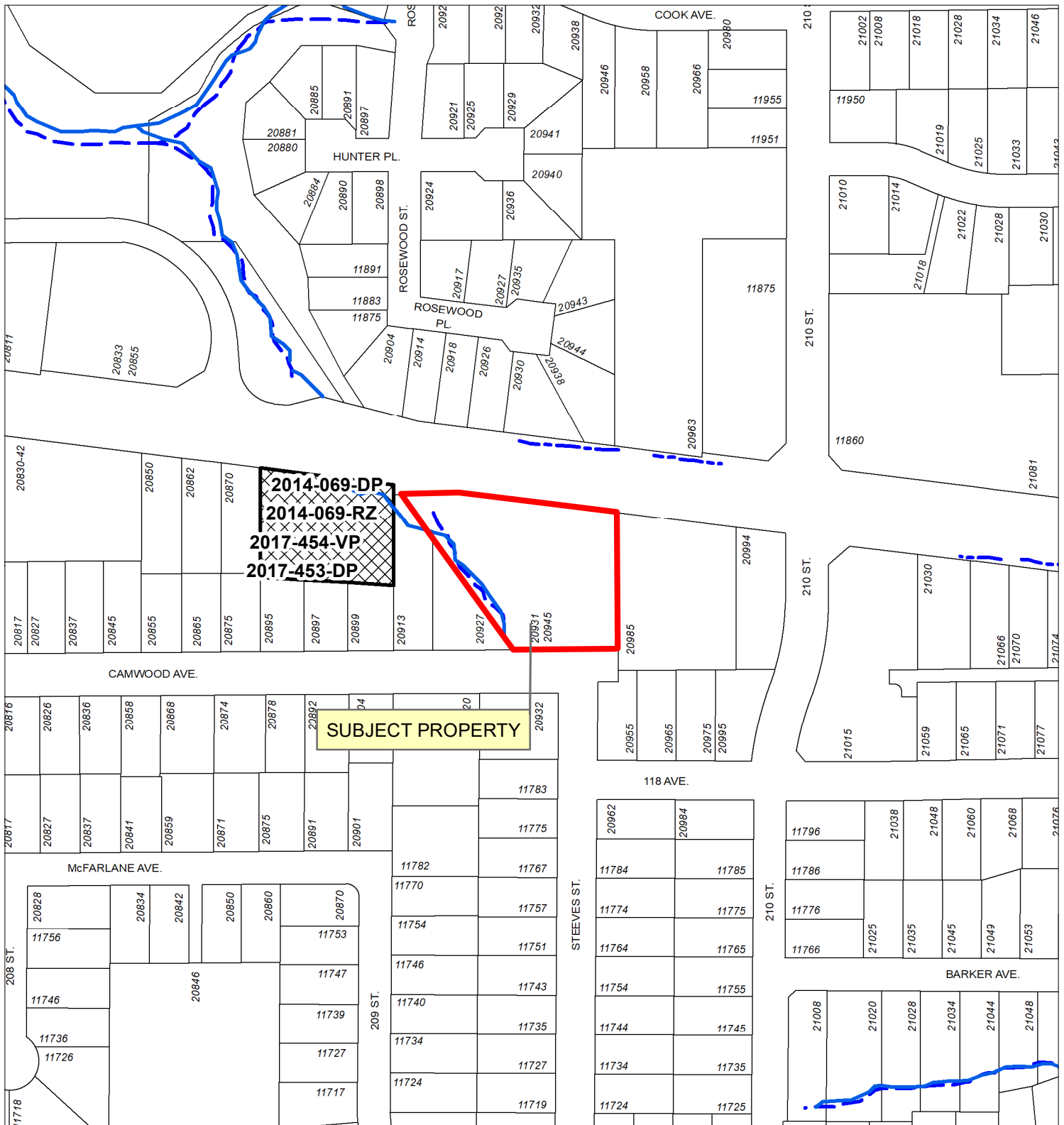
Map No. 1862

From: LUC (Land Use Contract)





To: P-1 (Park and School)



SCALE 1:2,500



Legend

-  Stream
-  Ditch Centreline
-  Indefinite Creek
-  Active Applications (RZ/SD/DP/VP)

20931-29045 CAMWOOD AVE

Planning Department



MAPLE RIDGE

British Columbia

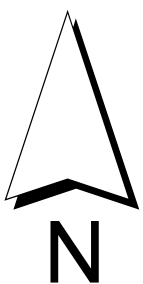
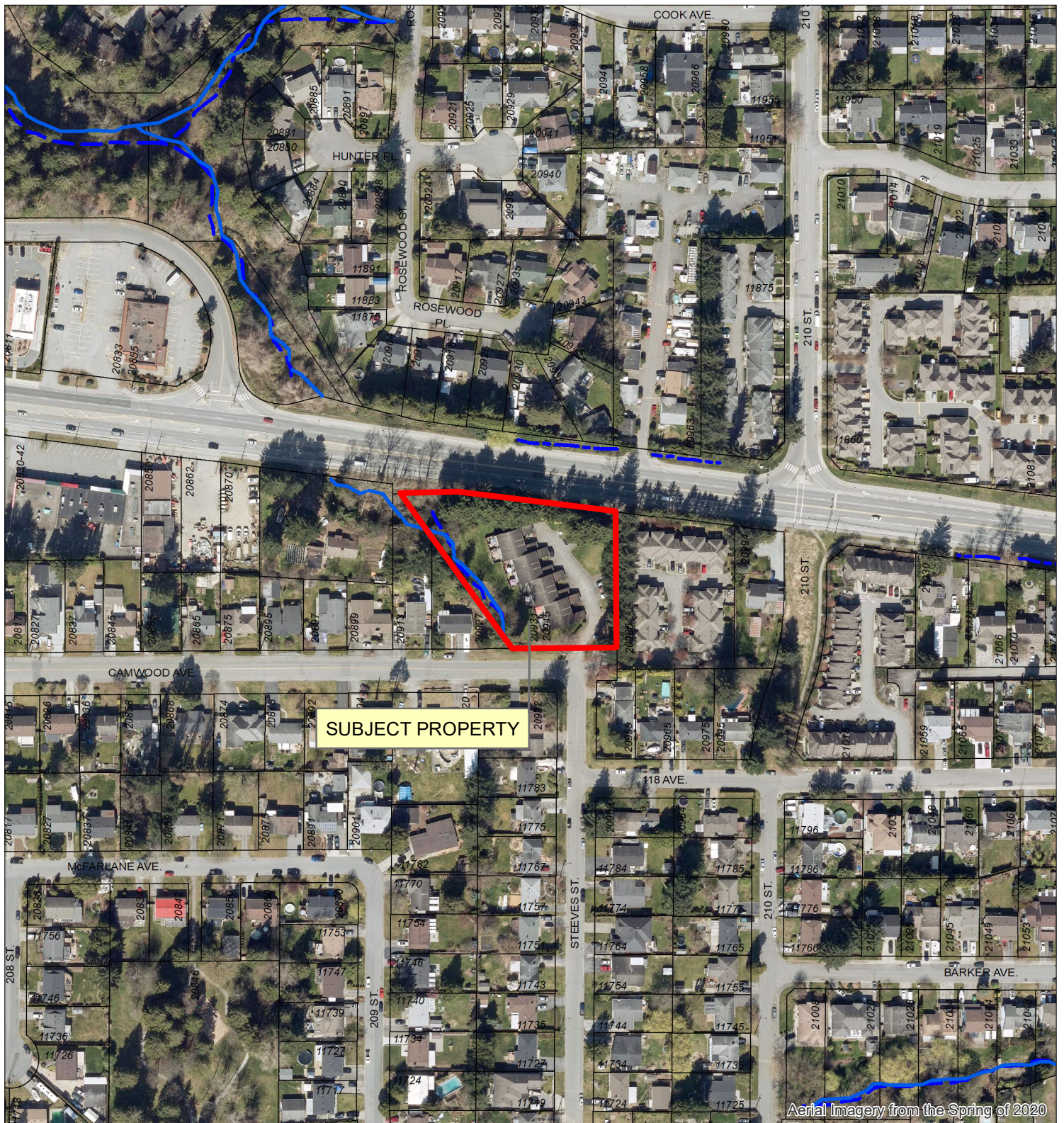
mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT

Scale: 1:2,500



Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Indefinite Creek

20931-29045 CAMWOOD AVE

Planning Department



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT

CORPORATE OFFICER

SCHEDULE A

Address	PID	Legal Description
1 - 20931 CAMWOOD AVE	001-300-636	STRATA LOT 1 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
2 - 20933 CAMWOOD AVE	001-300-644	STRATA LOT 2 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
3 - 20935 CAMWOOD AVE	001-300-652	STRATA LOT 3 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
4 - 20937 CAMWOOD AVE	001-300-679	STRATA LOT 4 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
5 - 20939 CAMWOOD AVE	001-300-695	STRATA LOT 5 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
6 - 20941 CAMWOOD AVE	001-300-717	STRATA LOT 6 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
7 - 20943 CAMWOOD AVE	001-300-733	STRATA LOT 7 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
8 - 20945 CAMWOOD AVE	001-300-741	STRATA LOT 8 DISTRICT LOT 250 GROUP 1 NEW WESTMINSTER DISTRICT STRATA PLAN NW355 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7704-2021

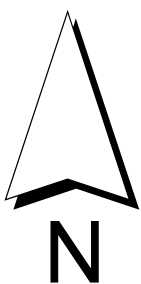
Map No. 1863

From: LUC (Land Use Contract)

To: RM-1 (Low Density Townhouse Residential)



SCALE 1:2,500



Scale: 1:2,000

Legend

- Stream
- - - Ditch Centreline

11297/35 203 ST

Planning Department



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT

Scale: 1:2,000

Legend

- Stream
- - - Ditch Centreline

11297/35 203 ST



FILE: 2021-029-RZ.mxd
DATE: Jan 18, 2021

BY: DT

APPENDIX M

**CITY OF MAPLE RIDGE
BYLAW NO. 7705-2021**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 7600 - 2019 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

AND WHEREAS, a land use contract may, under s. 548 of the *Local Government Act*, has the power to terminate a land use contract that applies to land within the jurisdiction of the local government;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No.7705-2021."
2. That parcel or tract of land and premises known and described as:

LOT 68 DISTRICT LOT 222 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 48586

and outlined in heavy black line on Map No. 1864 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to CS-1 Service Commercial.

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 23rd day of February, 2021.

READ a second time the 23rd day of February, 2021.

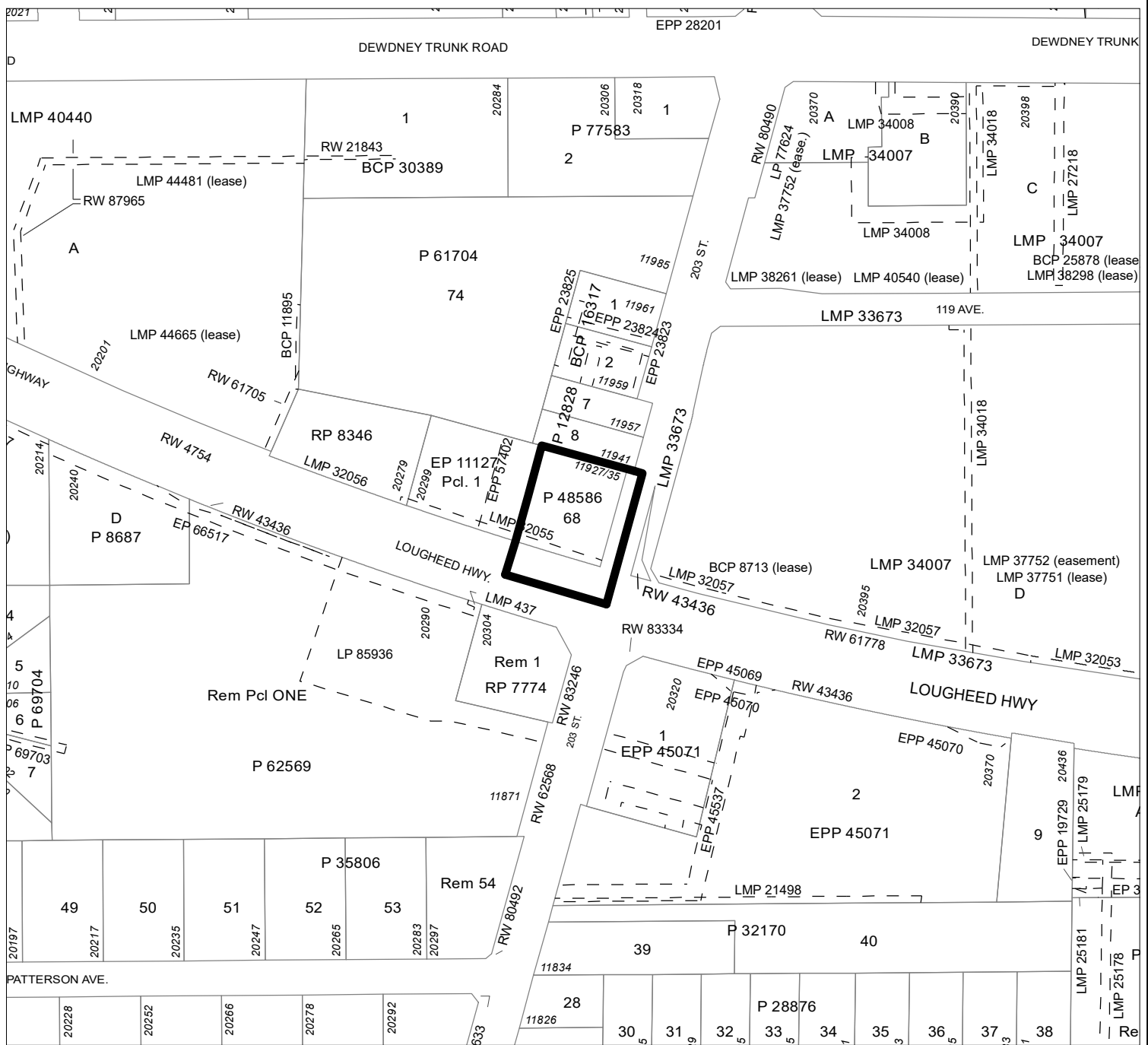
PUBLIC HEARING held the day of , 20

READ a third time the _____ day of _____, 20_____

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7705-2021

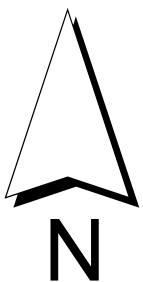
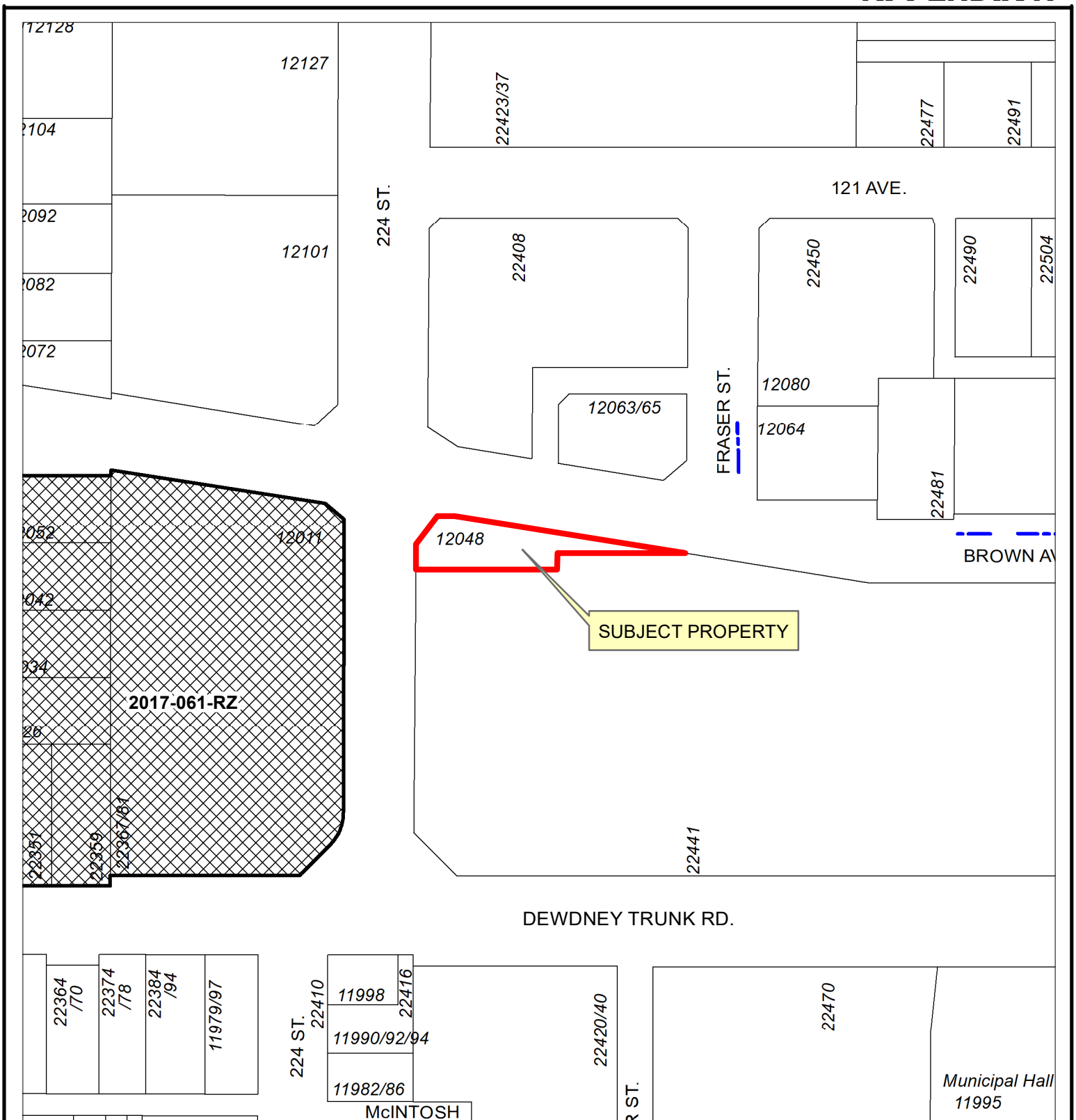
Map No. 1864

From: LUC (Land Use Contract)

To: CS-1 (Service Commercial)



SCALE 1:2,500



Scale: 1:1,500

Legend

--- Ditch Centreline

▨ Active Applications (RZ/SD/DP/VP)

12038 224 ST

Planning Department



MAPLE RIDGE

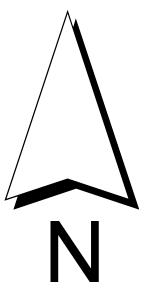
British Columbia

mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT



Scale: 1:1,500

Legend

--- Ditch Centreline

12038 224 ST

Planning Department



MAPLE RIDGE

British Columbia

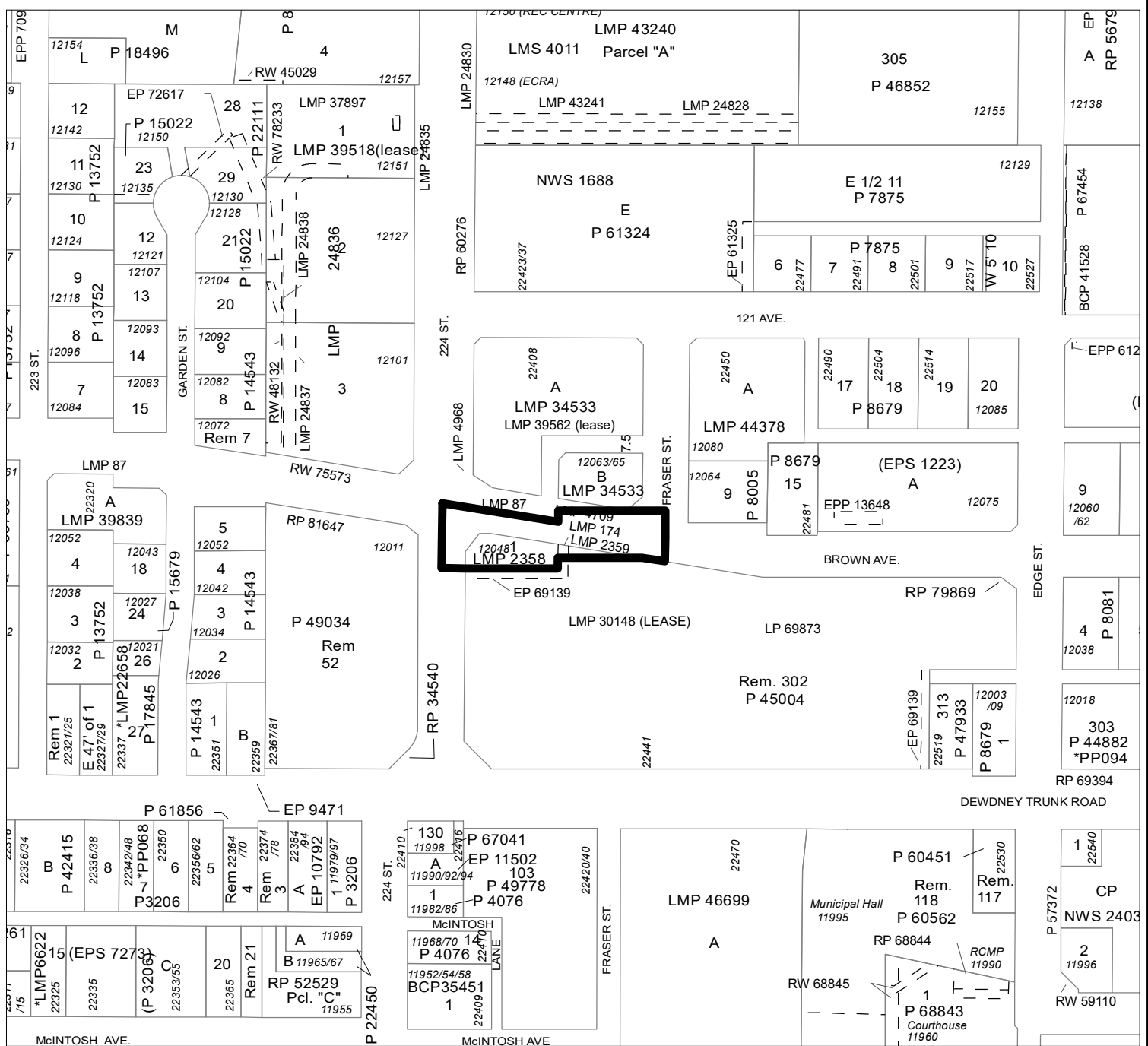
mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT

CORPORATE OFFICER



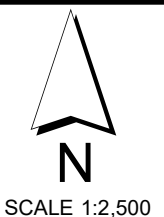
MAPLE RIDGE ZONE AMENDING

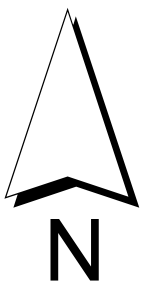
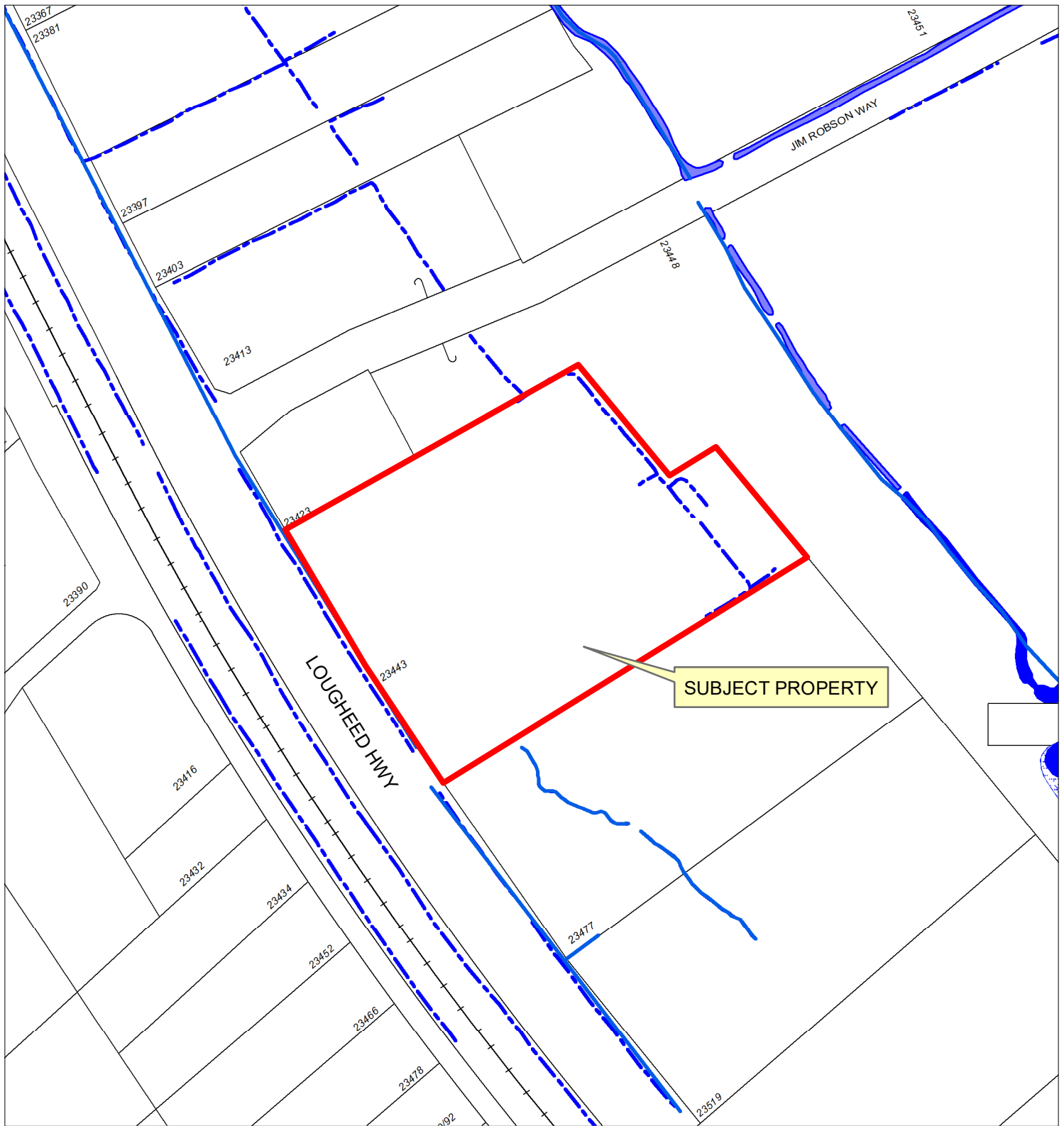
Bylaw No. 7706-2021

Map No. 1865

From: LUC (Land Use Contract) and RS-1 (Single Detached Residential)











To: P-1 (Park and School)





Scale: 1:2,500

Legend

- | | |
|--|---|
|  Stream |  Canal |
|  Canal Edge |  Lake or Reservoir |
|  Ditch Centreline |  Marsh |
|  Edge of River |  River |
|  Edge of Marsh | |
|  Indefinite Creek | |

23443 LOUGHEED HWY

Planning Department



MAPLE RIDGE

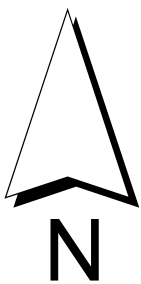
British Columbia

mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT



Scale: 1:2,500

Legend

- | | | | |
|--|------------------|--|-------------------|
| | Stream | | Canal |
| | Canal Edge | | Lake or Reservoir |
| | Ditch Centreline | | Marsh |
| | Edge of River | | River |
| | Edge of Marsh | | |
| | Indefinite Creek | | |

23443 LOUGHEED HWY

Planning Department



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 18, 2021

BY: DT

**CITY OF MAPLE RIDGE
BYLAW NO. 7707-2021**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 7600 - 2019 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

AND WHEREAS, a land use contract may, under s. 548 of the *Local Government Act*, has the power to terminate a land use contract that applies to land within the jurisdiction of the local government;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7707-2021."
2. That parcel or tract of land and premises known and described as:

PARCEL "K" (EXPLANATORY PLAN 47330) OF LOT 8 PLAN 7900 AND OF LOT 6 PLAN 8827 EXCEPT: PART ON STATUTORY RIGHT OF WAY PLAN 71204; DISTRICT LOT 275 GROUP 1 NEW WESTMINSTER DISTRICT

and outlined in heavy black line on Map No. 1866 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to A-1 Small Holding Agricultural.

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 23rd day of February, 2021.

READ a second time the 23rd day of February, 2021.

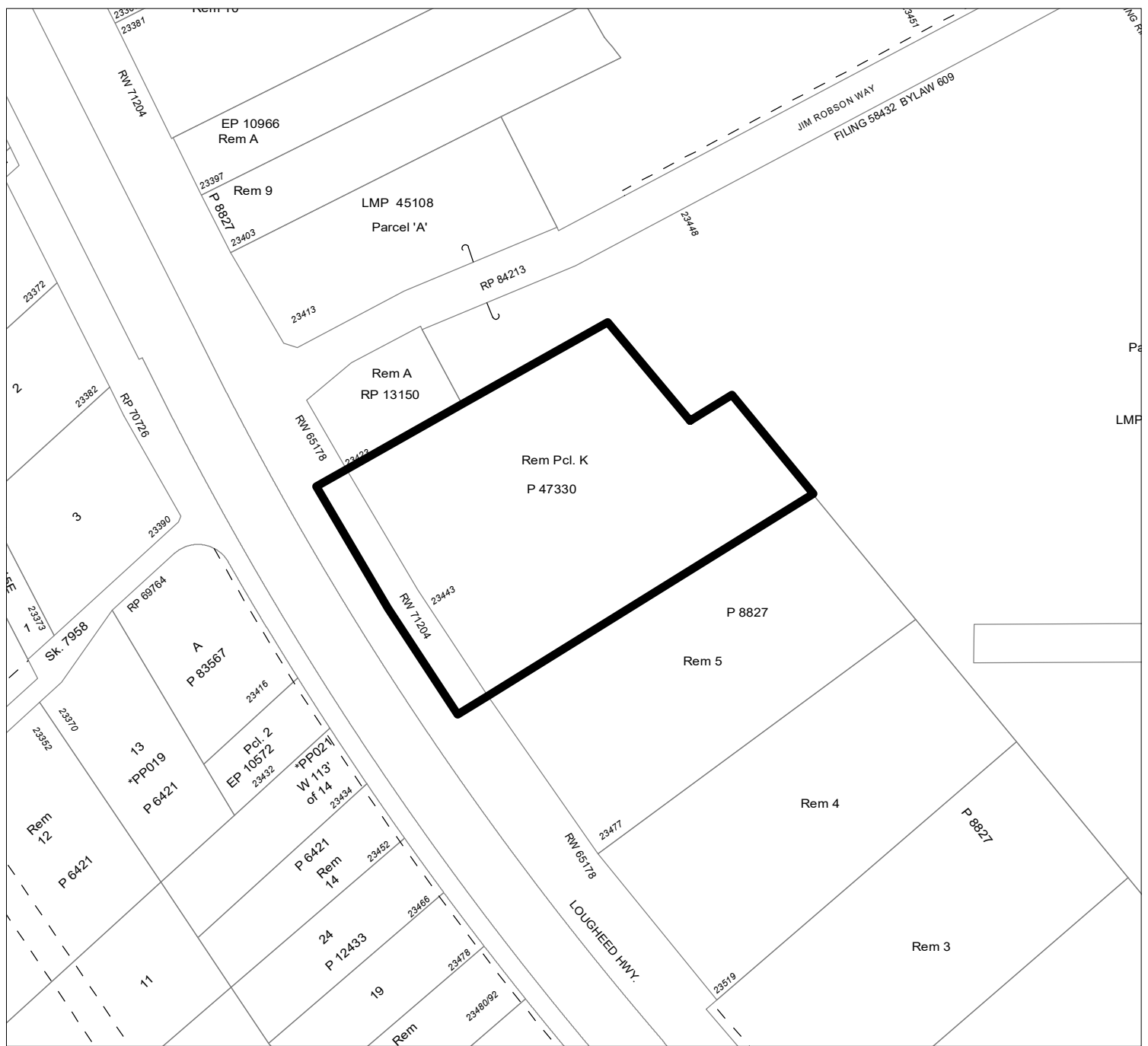
PUBLIC HEARING held the day of , 20

READ a third time the _____ day of _____, 20_____

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7707-2021

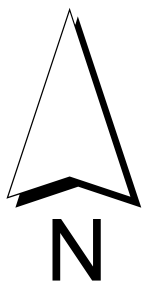
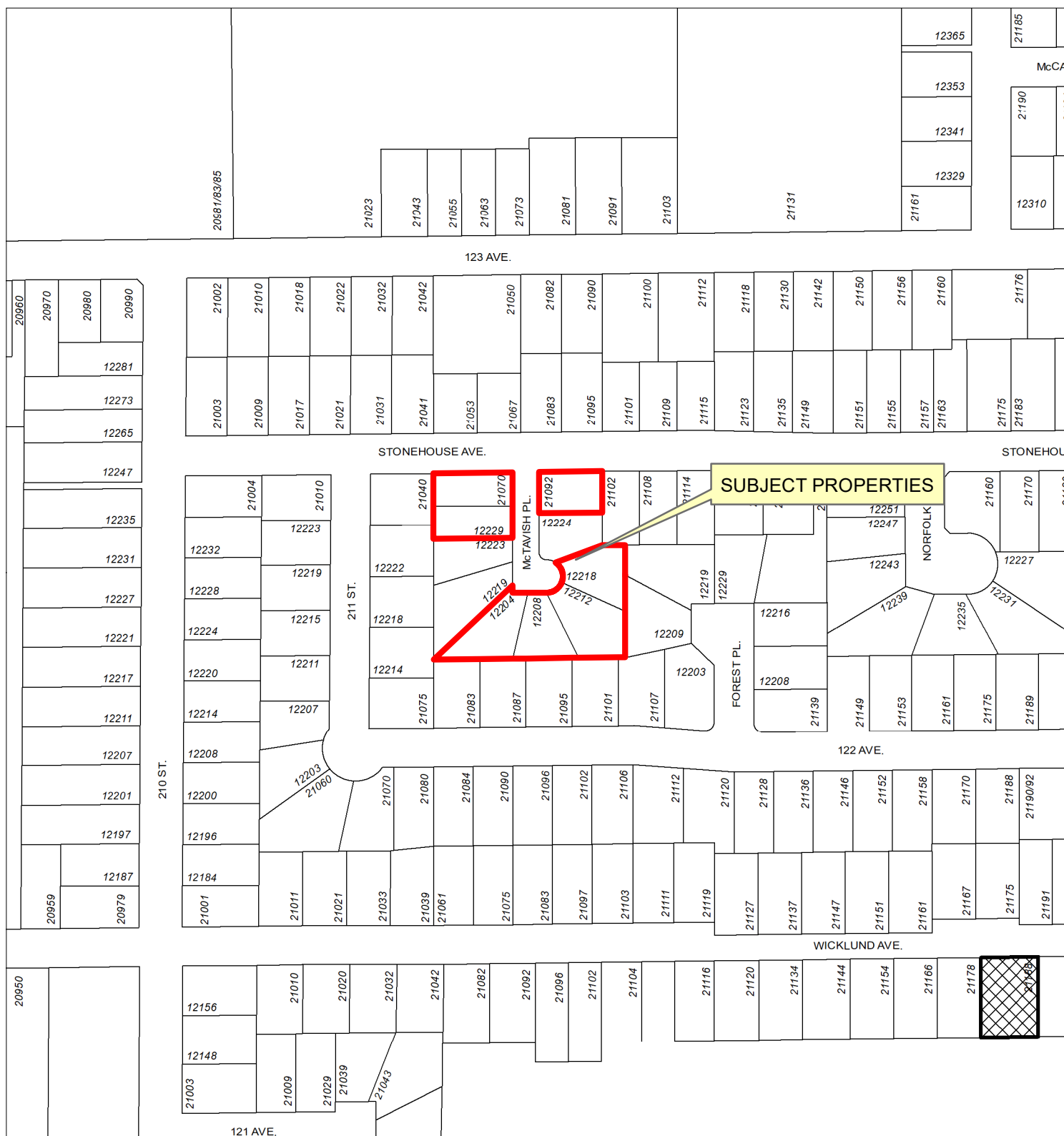
Map No. 1866

From: LUC (Land Use Contract)

To: A-1 (Small Holding Agricultural)



SCALE 1:3,000



Scale: 1:2,500

Legend



Active Applications (RZ/SD/DP/VP)

21070/90 STONEHOUSE AVE
12204/08/12/18/29 MCTAVISH PL

Planning Department



MAPLE RIDGE

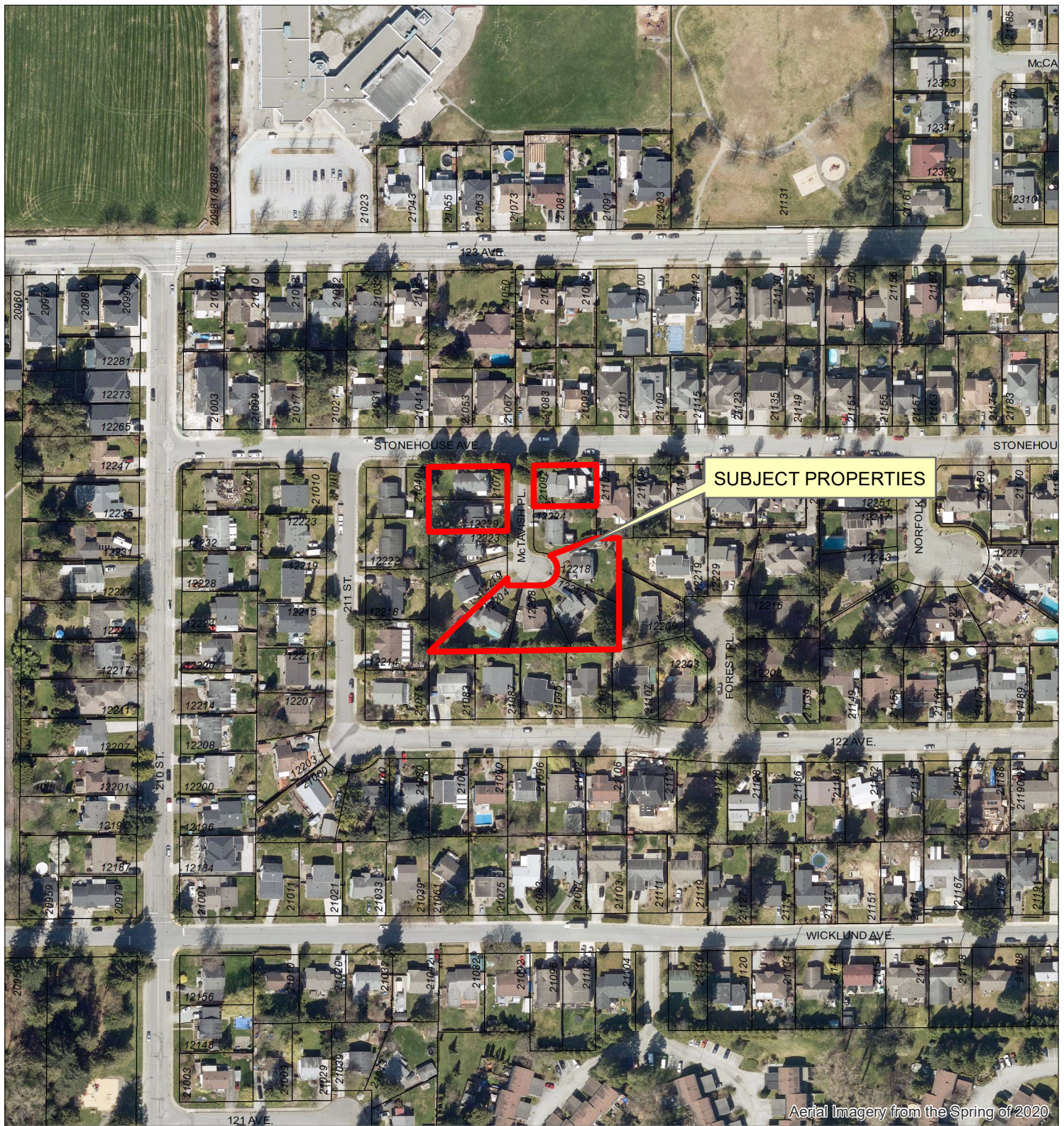
British Columbia

mapleridge.ca

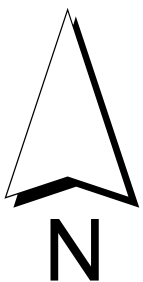
FILE: 2021-029-RZ.mxd

DATE: Jan 19, 2021

BY: DT



Aerial Imagery from the Spring of 2020



Scale: 1:2,500

21070/90 STONEHOUSE AVE
12204/08/12/18/29 MCTAVISH PL

Planning Department



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2021-029-RZ.mxd

DATE: Jan 19, 2021

BY: DT

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7709-2021."
2. That parcels or tracts of land and premises known and described in Schedule A and outlined in heavy black line on Map No. 1868 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-1b Single Detached (Medium Density) Residential.
3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 23rd day of February, 2021.

READ a second time the 23rd day of February, 2021.

PUBLIC HEARING held the day of , 20

READ a third time the _____ day of _____, 20_____

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

SCHEDULE A

Address	PID	Legal Description
21070 STONEHOUSE AVE	004-291-484	LOT 207 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071
12229 MCTAVISH PL	004-291-506	LOT 208 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071
21092 STONEHOUSE AVE	001-987-399	LOT 216 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071
12204 MCTAVISH PL	004-291-557	LOT 211 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071
12208 MCTAVISH PL	000-952-834	LOT 212 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071
12212 MCTAVISH PL	000-770-051	LOT 213 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071
12218 MCTAVISH PL	004-291-565	LOT 214 DISTRICT LOT 242 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 51071

