

City of Maple Ridge

PUBLIC HEARING

October 19, 2021

CITY OF MAPLE RIDGE

PUBLIC HEARING AGENDA

October 19, 2021

7:00 pm

Virtual Online Meeting including Council Chambers

The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.

For virtual public participation register by going to <https://www.mapleridge.ca/640/Council-Meetings> and clicking on the meeting date.

This Agenda is also posted on the City's Website at: www.mapleridge.ca/AgendaCenter

- 1) **2019-216-RZ**
24392 104 Avenue
Lot B Section 3 Township 12 Group 1 New Westminster District Plan 8852

Maple Ridge Zone Amending Bylaw No. 7628-2020
To rezone from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential) Zone.

The current application is to permit the future construction of approximately 21 strata townhouse units.
- 2) **2020-409-RZ**
11089 240 Street, 11101 239 Street and 11094 Buckerfield Drive
Lot 3 District Lot 404 Group 1 New Westminster District Plan BCP46902
Lot 62 District Lot 404 Group 1 New Westminster District Plan EPP32520
Lot A District Lot 404 Group 1 New Westminster District Plan EPP48959

Maple Ridge Zone Amending Bylaw No. 7701-2021
To rezone from RS-3 (Single Detached Rural Residential), R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential) to R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential).

The current application is to permit the future subdivision of approximately 19 single-family lots.

CITY OF MAPLE RIDGE

NOTICE OF VIRTUAL ONLINE PUBLIC HEARING

TAKE NOTICE THAT A PUBLIC HEARING is scheduled for Tuesday, October 19, 2021 at 7:00 p.m.

This meeting is an online virtual meeting to be hosted in Council Chambers at City Hall, 11995 Haney Place, Maple Ridge.

For virtual online participation, access the link at: www.mapleridge.ca/640/Council-Meetings and click on the meeting date to register.

For viewing only, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the October 19, 2021 Public Hearing presentation video;

The Public Hearing Agenda and full reports are posted on the City's Website at www.mapleridge.ca/AgendaCenter (see: Public Hearing).

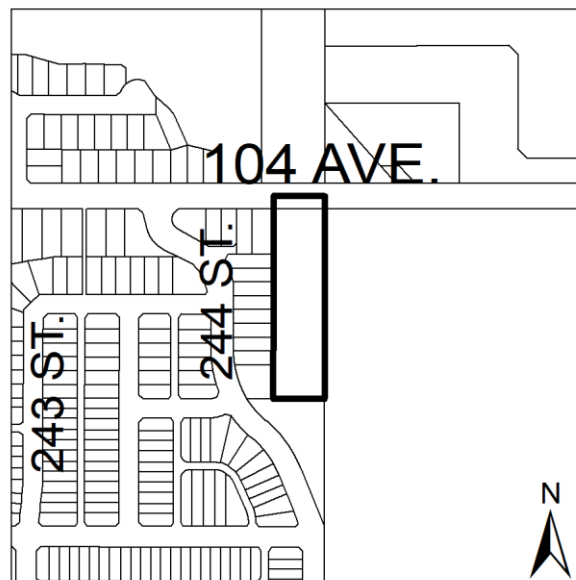
This Public Hearing is held in order to consider the following bylaws:

- 1) **2019-216-RZ**
24392 104 Avenue
Lot B Section 3 Township 12 Group 1 New Westminster District Plan 8852

Maple Ridge Zone Amending Bylaw No. 7628-2020

To rezone from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential) Zone.

The current application is to permit the future construction of approximately 21 strata townhouse units.



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Maple Ridge Zone Amending Bylaw No. 7701-2021

To rezone from RS-3 (Single Detached Rural Residential), R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential) to

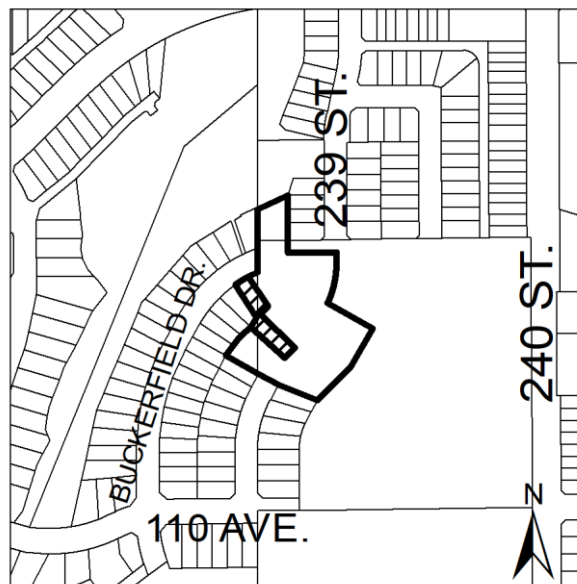


R-1 (Single Detached (Low Density) Urban Residential) and



R-2 (Single Detached (Medium Density) Urban Residential).

The current application is to permit the future subdivision of approximately 19 single-family lots.



AND FURTHER TAKE NOTICE that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council to be relevant to the matters contained in the bylaws are available for viewing on the City's Land Development Viewer site at:

<https://gis.mapleridge.ca/LandDevelopmentViewer/LandDevelopmentViewer.html>

It is important to ensure that our democratic processes continue to function and that the work of the City remains transparent for all citizens while mitigating risks posed by COVID-19. This Public Hearing pertaining to the aforesaid bylaws will be conducted virtually using the links set out below.

ALL PERSONS who believe themselves affected by the above-mentioned bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws. Please note that all written submissions provided in response to this notice will become part of the public record which includes the submissions being made available for public inspection.

- **For virtual online participation**, access the link at: www.mapleridge.ca/640/Council-Meetings and **click on the meeting date to register**. When registering you will be asked to give your name and address, to give Council your proximity to the land that is the subject of the application. We ask that you have your camera on during the Public Hearing;
- **For viewing only**, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the October 19, 2021 Public Hearing presentation video;
- **To submit correspondence** prior to the Public Hearing, provide written submissions to the Corporate Officer **by 12:00 Noon, Tuesday, October 19, 2021 (quoting file number)** via drop-box at City Hall or by mail to 11995 Haney Place, Maple Ridge, V2X 6A9; or,
- **To email correspondence**, forward written submissions to clerks@mapleridge.ca to the attention of the Corporate Officer, **by 12:00 Noon, Tuesday, October 19, 2021 (quoting file number)**.

Dated this 5th day of October, 2021.

Stephanie Nichols
Corporate Officer

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: Second Reading
Zone Amending Bylaw No. 7628-2020;
24392 104 Avenue

MEETING DATE: September 7, 2021
FILE NO: 2019-216-RZ
MEETING: C o W

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property located at 24392 104 Avenue from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential), to permit a future construction of approximately 21 strata townhouse units. The subject property is located in the Albion Area, adjacent to Albion Park, and southwest of Samuel Robertson Technical Secondary School.

The subject property is approximately 6,120 m² (1.5 acres) and the minimum lot size for the proposed zone is 1,000m² (0.25 acres). Environmental protection through a covenant is required on the sloped western area of the subject site.

Pursuant to Council policy, this application is subject to the Community Amenity Contribution Program at a rate of \$4,100.00 per townhouse dwelling unit; for an estimated amount of \$86,100.00

RECOMMENDATIONS:

- 1) That Zone Amending Bylaw No. 7628-2020 be given second reading, and be forwarded to Public Hearing;
- 2) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
 - ii) Registration of a Restrictive Covenant for the protection of the Environmentally Sensitive areas on the subject property;
 - iii) Registration of a Restrictive Covenant for Stormwater Management;
 - iv) Removal of existing buildings;
 - v) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
 - vi) That a voluntary contribution, in the amount of \$86,100.00 (\$4,100/unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions.

DISCUSSION:

1) Background Context:

Applicant: 1154915 BC LTD.
Owner: 1154915 BC LTD.

Legal Description: Lot B; Section 3; Township 12; Group 1, New Westminster District Plan 8852

OCP:

Existing: Medium Density Residential, Conservation
Proposed: Medium Density Residential, Conservation

Within Urban Area Boundary: Yes
Area Plan: Albion Area Plan
OCP Major Corridor: Yes

Zoning:

Existing: RS-3 (Single Detached Rural Residential)
Proposed: RM-1 (Low Density Townhouse Residential)

Surrounding Uses:

North:	Use:	Single Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Medium Density Residential, Conservation
South:	Use:	Park
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Conservation
East:	Use:	Park
	Zone:	P-1 (Park and School)
	Designation:	Park, Conservation
West:	Use:	Single Family Residential
	Zone:	R-3 (Single Detached (Intensive) Urban Residential)
	Designation:	Medium Density Residential

Existing Use of Property: Single Family Residential
Proposed Use of Property: Multi Family Residential
Site Area: 6,120 m² (1.5 acres)
Access: 104 Avenue
Servicing: Urban
Companion Applications: Multi Family DP and DVP

2) Project Description:

The subject property located at 24392 104 Avenue is approximately 1.5 acres in area is treed, partially flat and partly sloped due to a natural ridge running north-south through the site which then runs onto the adjacent Albion Park to the south and east (see Appendix A and B).

The subject property is bounded by single family residential properties to the west, Albion Park to the east and south, and 104 Avenue to the north. There are no development applications in process in the direct vicinity within 250 metres. The existing slopes pose constraints related to geotechnical

impact and will require steep slope protection. All disturbance and alterations on site need to be outside of the geotechnical and environmental setbacks. It is expected that all construction related disturbance, including long term maintenance areas associated with the strata access road do not occur within the steep slope areas of the site. More than 25% of the subject property is proposed to be protected for environmental and slope stability purposes. There are 21 townhouse units proposed within four blocks.

3) Planning Analysis:

i) Official Community Plan:

The subject site is designated *Medium Density Residential and Conservation* in the Albion Area Plan. This designation allows for a range of housing styles and densities, including smaller lot single detached housing, townhouse and duplex dwelling units. The subject proposal for townhouse development complies with the designations. The proposed appears to follow the current Conservation designation boundary.

ii) Zoning, and Parking and Loading Bylaws:

The proposed zone for the subject site is RM-1 Townhouse Residential. The proposal is comprised of 25% buildings/structures, 47% landscaping and 28% paved/hard surfaces; a net FSR of 0.59, where a 0.60 FSR is allowed (see Appendix C).

The project includes the required 42 resident parking spaces for the 21 units. Of the 42 spaces, 30 spaces (61%) are in side-by-side garages and 12 spaces (29%) are in tandem garages, in compliance to the *Tandem Parking Garage Units within Townhouses Policy*, adopted June 22, 2021. No aprons are required to meet parking stall standards. There are also six visitor parking spaces, in excess of the five required spaces.

iii) Proposed Variances:

A Development Variance Permit application has been received for this project and involves the following relaxations (see Appendix D), to vary *Maple Ridge Zoning Bylaw No. 7600-2019* to reduce the:

- Setback from the front property line, from 7.5 m to 4.5 m
- Setback from the side property lines (E and W), from 6.0 m to 4.8 m
- Useable Open Space, from 945 m² to 893 m²

The requested variances will be the subject of a future Council report.

iv) Development Permits:

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated *Conservation* on Schedule "B" or all areas within 50 metres of an area designated *Conservation* on Schedule "B";
- All lands with an average natural slope of greater than 15 percent;
- All floodplain areas and forest lands identified on Schedule "C"

v) Advisory Design Panel:

The application was reviewed by the ADP at a meeting held on November 18, 2020 and their comments and the applicants responses can be seen in Appendix G. A detailed description of the projects form and character will be included in a future development permit report to Council.

vi) Development Information Meeting:

Taking into consideration health and safety precautions during the Covid-19 pandemic, a Development Information Meeting (DIM) was arranged virtually, with the opportunity to provide feedback between May 9 – 28, 2021. Nine neighbours made use of that opportunity. A summary of the main comments and discussions with the attendees was provided by the applicant (see Appendix H), and includes the following topics:

- Concerns about the steepness of the existing western slope and the potential negative impacts of new works to this area.
- Instances of existing fencing and overgrowth is reported to be encroaching on neighboring land. Clarification requested on how this will be managed and by whom.
- Management of rainwater draining down the slope.
- Clarification on scope of tree removal and retention.
- Concerns of negative environmental effects due to tree removal & construction activity.
- Residents report being informed by other parties that there were limits to the extent which the subject property could be developed.
- Concerns over potential encroachment into - or development of - adjacent park lands.
- Concerns over the proximity and visibility between new buildings and the western property line.
- Clarity on safeguard measures proposed between the subject lot and neighboring lots.
- Concerns over the proposed density in relation to the subject lot and neighborhood.
- Concerns on potential impacts to neighborhood traffic and street parking conditions.

4) Traffic Impact:

The Engineering Department reviewed the subject proposal and found the proposed access is on a crest of a hill in the Albion Area, on a road classified as Major Corridor. Sight lines and stopping distances must be analyzed to ensure that the proposed access meets the Transportation Association of Canada Guidelines. If it does not, recommendations must be provided to address safe access before final acceptance of the engineering plans can be provided.

5) Interdepartmental Implications:

i) Engineering Department:

Preliminary indications show that there are geotechnical concerns on this site related to the slope. A geotechnical report will be required to determine if a geotechnical setback is needed from that slope and that reviews and comments on any storm water management plan. Depending on the outcome of that report, it may need to be registered on title as a restrictive covenant in addition to any requirements per the Building Department.

The majority of the south side of 104 Avenue has already been developed and constructed under the previous 20 m Right of Way (ROW) requirement. However, the road is considered a Collector Road

with a bike lane, which requires 24m. Therefore, Engineering can support a Development Variance Permit to waive the additional 2m dedication to each side of the ROW.

An erosion and sediment control (ESC) plan for the off-site works must be included in the off-site design package. An ESC plan for the on-site works is to be submitted with the future building permit and should not be included with the off-site package.

ii) Parks, Recreation and Culture Department:

The soccer field area in Albion Park is elevated above the subject property. Careful consideration of some significant screening at the backs of the townhouses through the Development Permit, to limit future complaints is advised. Currently, there are no major plans for Albion Park, along its north west edge where the subject property is located. No Park dedication is therefore required.

CONCLUSION:

That Zone Amending Bylaw No. 7628-2020 be given second reading, and be forwarded to Public Hearing;

"Original signed by Mark McMullen"

Prepared by: **Therese Melser**
Planning Technician

"Original signed by Mark McMullen"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

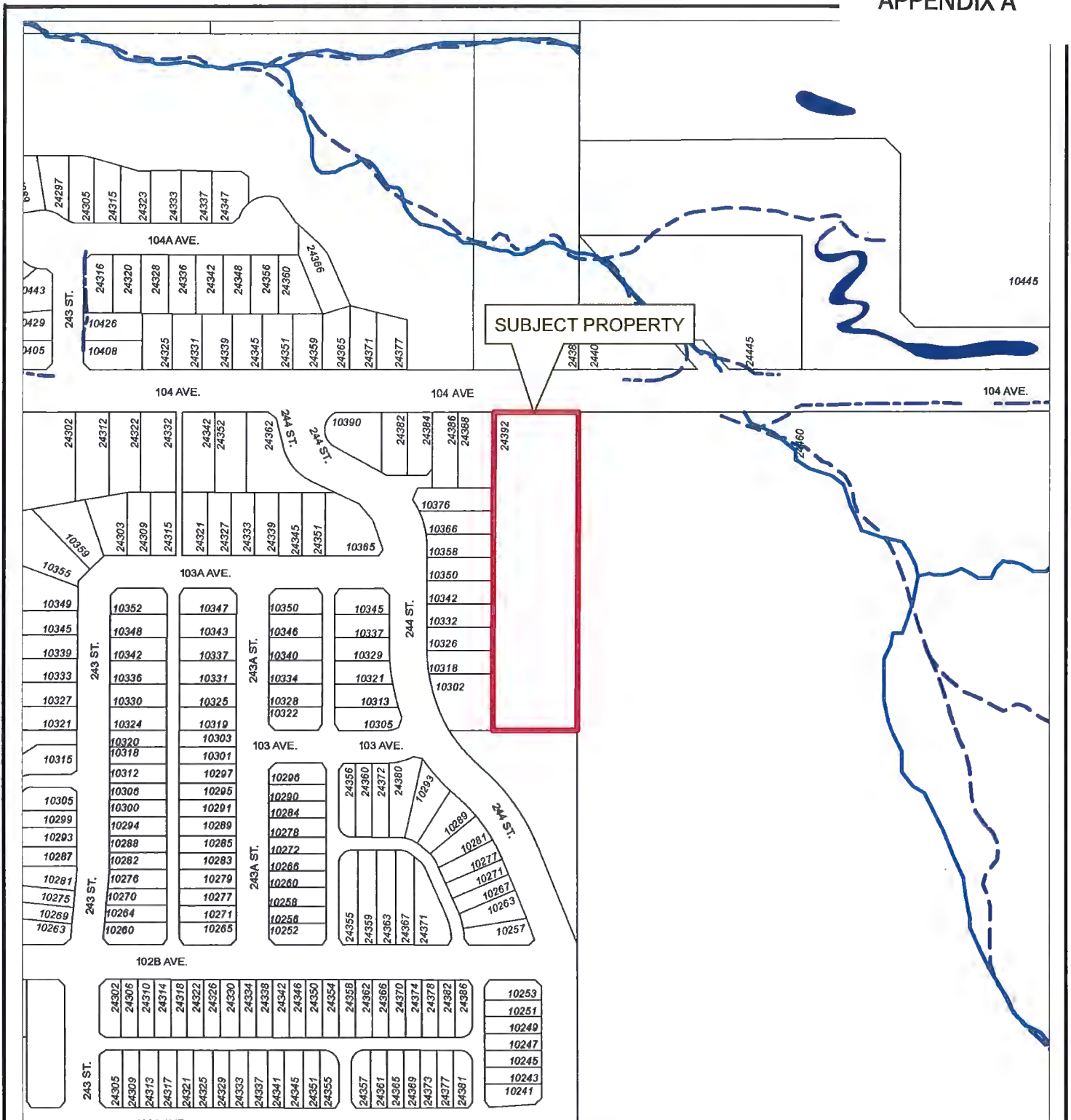
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Christina Crabtree"

Concurrence: **Al Horsman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7628-2020
Appendix D – Site Plan
Appendix E – Building Elevation Plans
Appendix F – Landscape Plan
Appendix G – ADP design comments
Appendix H – DIM responses



Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Indefinite Creek
- Lake or Reservoir

24392 104 AVEUE

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2019-216-RZ

DATE: Jun 17, 2019

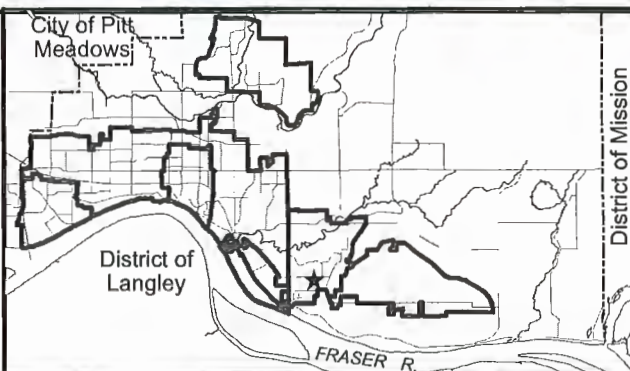
BY: PC



Aerial Imagery from the Spring of 2018



Scale: 1:2,500



24392 104 AVEUE

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

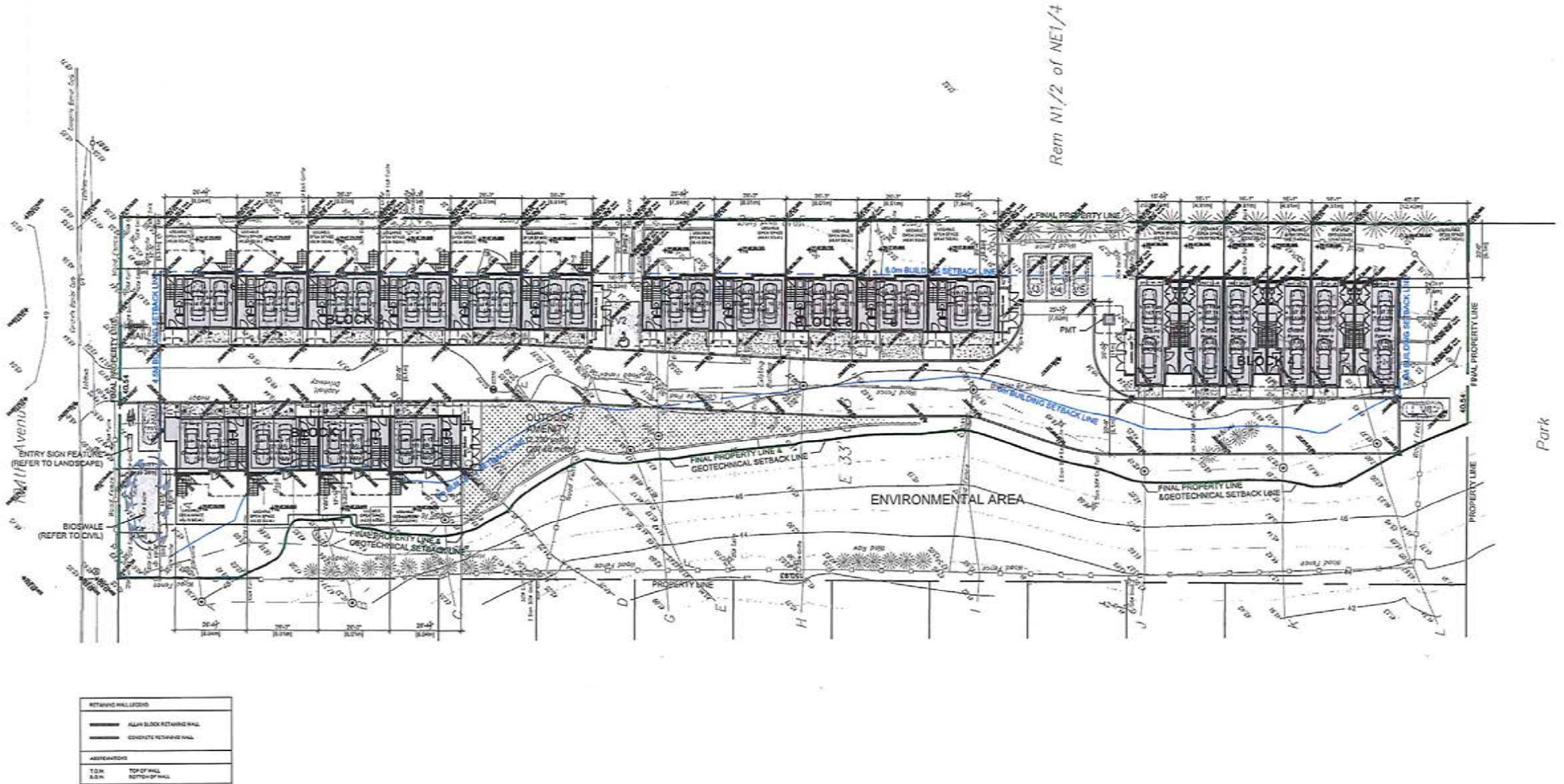
mapleridge.ca

FILE: 2019-216-RZ

DATE: Jun 17, 2019

BY: PC

CORPORATE OFFICER



Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

ADP Revisions Jan 05/2021



DP1.0

SITE PLAN

SCALE: 1:200

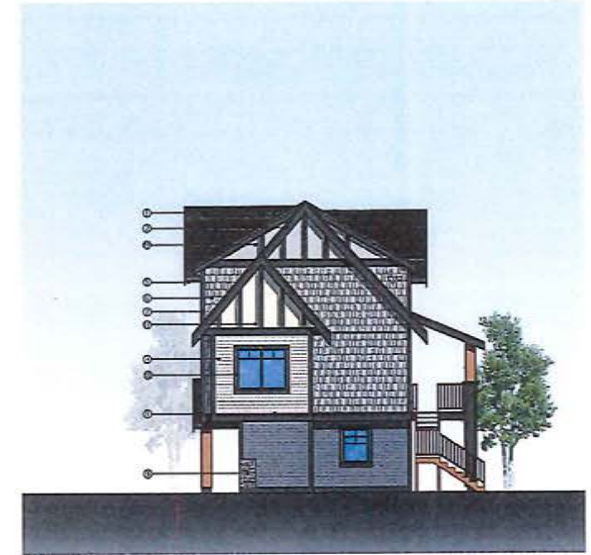


ADP Response Jan 05/2021

SCALE 1:100



FRONT ELEVATION - BLOCK 1



SIDE ELEVATION - BLOCK 1

- MATERIALS LEGEND**
- 1 ASPHALT SHINGLE ROOFING
 - 2 PAINTED WOOD FASCIAS
 - 3 ALUMINUM HALF-ROOFED METAL GUTTER
 - 4 VINYL SIDING
 - 5 PAINTED FIBER REINFORCED CEMENT VERTICAL BOARD AND BUTTER
 - 6 VINYL SHINGLES
 - 7 PAINTED FIBER REINFORCED CEMENT TRIMS
 - 8 PAINTED CLAD POSTS
 - 9 MANUFACTURED STONE VENEER
 - 10 VINYL WINDOW FRAME (BLACK)
 - 11 VINYL SIDING
 - 12 PAINTED FIBER REINFORCED CEMENT ENTRY DOOR
 - 13 GARAGE DOOR
 - 14 HOOD STAIRS
 - 15 PEAR FIREGLASS DOOR
 - 16 PAINTED ALUMINUM PANELS / CLADDING
 - 17 PAINTED CLAY COLUMNS
 - 18 PAINTED FIBER REINFORCED CEMENT BOARD - ACCESS COLOUR
 - 19 VINYL SIDING
 - 20 PAINTED FIBER REINFORCED CEMENT BOARD - HOLD COLOUR

MATERIAL LEGEND



PAINTED WOOD FASCIAS
BM 2124-10



VINYL SIDING
MITTEN BONE



VINYL SHINGLES
MITTEN HERITAGE GRAY



PAINTED FIBER REINFORCED CEMENT TRIMS
BM 2124-10



PAINTED CLAD POST
BM HC-40



MANUFACTURED STONE VENEER
CULTURED STONE COUNTRY LEDGESTONE



VINYL WINDOW FRAME (BLACK)



PAINTED FIBER REINFORCED CEMENT BOARD
COBBLESTONE



VINYL SIDING
MITTEN STRATUS



PAINTED FIBER REINFORCED CEMENT BOARD
BM 2121-40

Proposed Townhouse Development

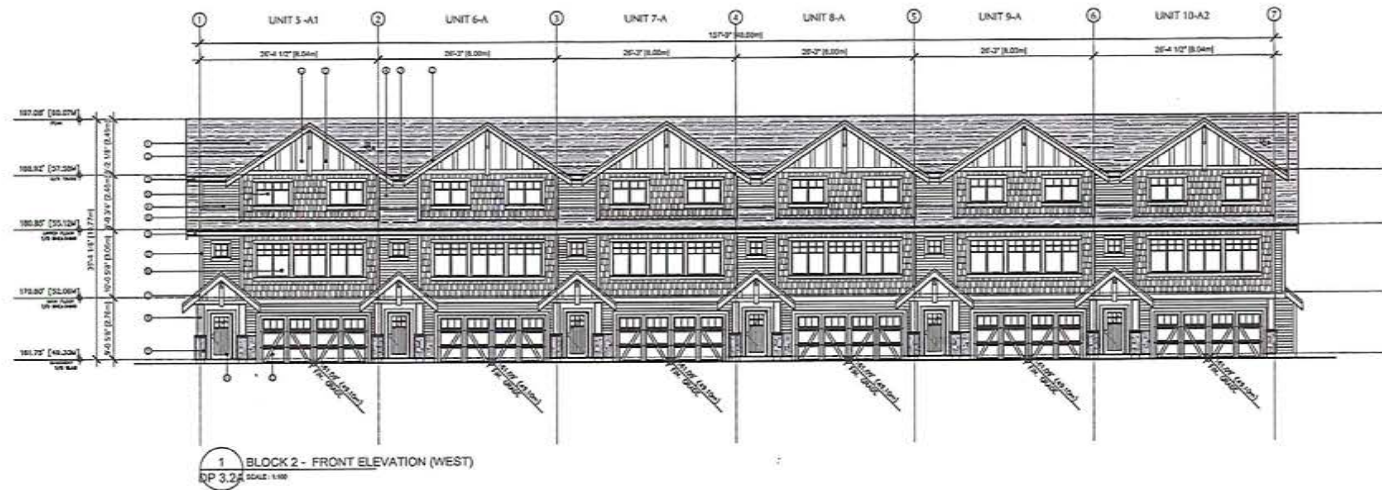
24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

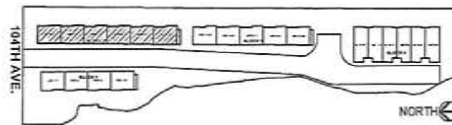
ADP Response Jan 05/2020

DP 1.4

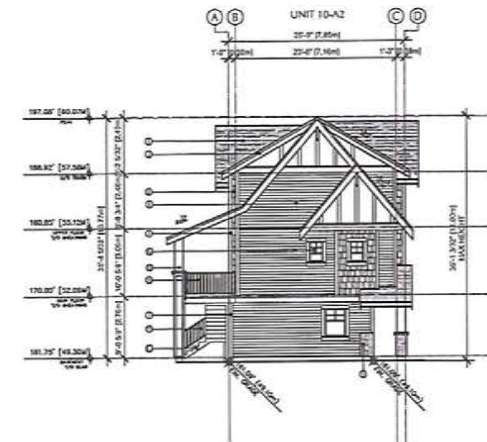
COLOURED ELEVATION
& MATERIAL LEGEND



EXTERNAL FINISHES	
○	ASPHALT SHINGLE ROOFING
○	PAINTED WOOD SIDING
○	ALUMINUM FIN. PROFILED METAL GUTTER
○	VINYL SIDING
○	PAINTED FIBER REINFORCED CEMENT VERTICAL BOARD AND BATTEN
○	VINYL SHINGLES
○	PAINTED FIBER REINFORCED CEMENT TRIMS
○	PAINTED CLAD POSTS
○	MANUFACTURED STONE VENEER
○	VINYL SIDING
○	PAINTED / STAINED FIBERGLASS ENTRY DOOR
○	GARAGE DOOR
○	WOOD SIDING
○	ROOF FIBERGLASS DOOR
○	PAINTED ALUMINUM RAILING / QUARTER RAIL
○	PAINTED CLAD COLUMN
○	PAINTED FIBER REINFORCED CEMENT BOARD



3 BLOCK 2 KEY PLAN
DP 3.2a SCALE: 1/8\"/>



Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

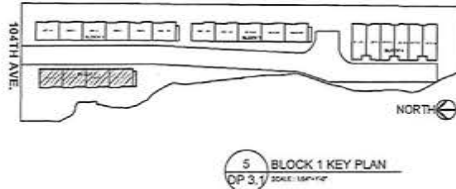
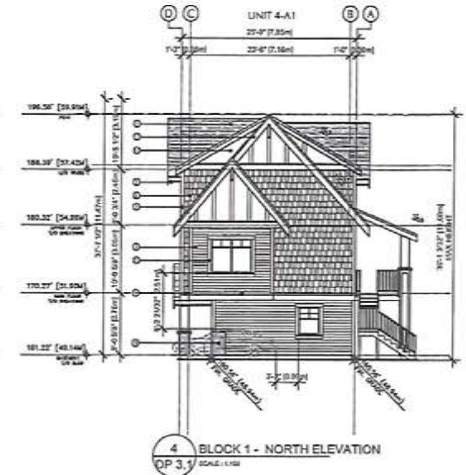
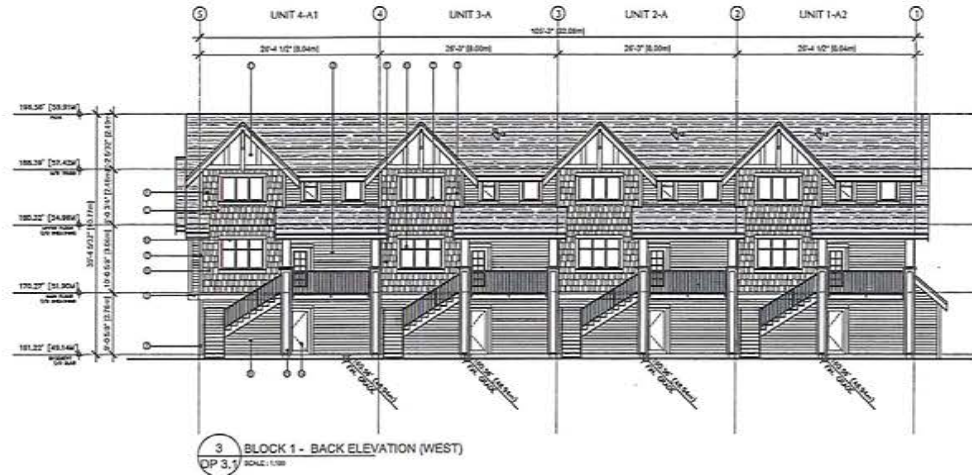
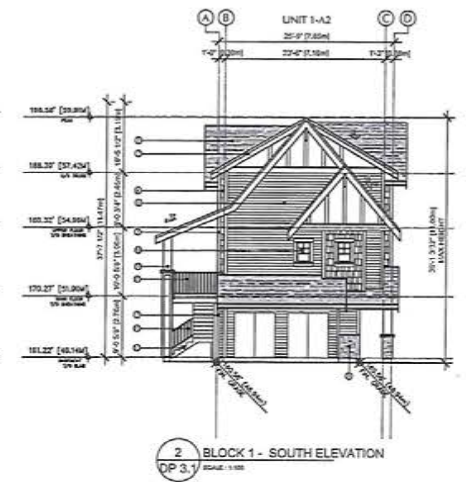
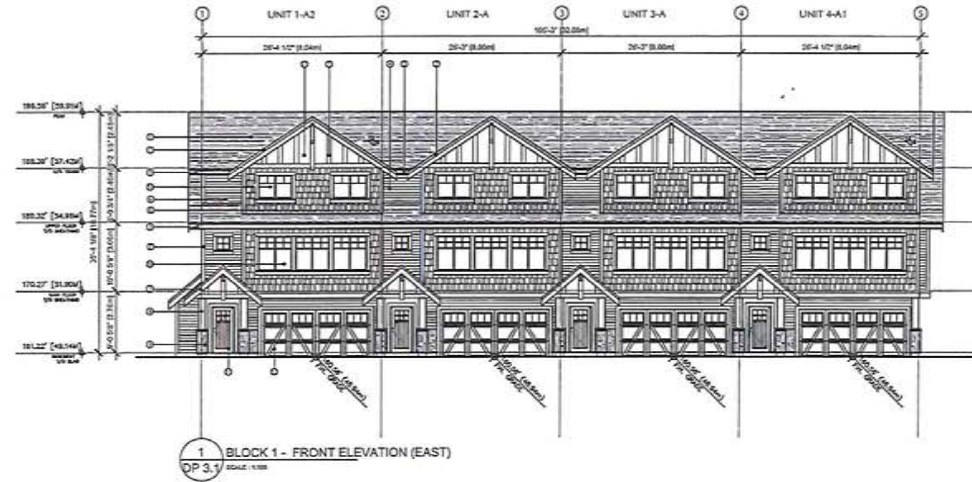
ADP Response Jan 05/2020

DP 3.2a

ELEVATIONS
BLOCK 2

SCALE: AS NOTED

MATERIALS LISTING	
○	ASPHALT SHINGLE ROOFING
○	PAINTED WOOD SHAKES
○	ALUMINUM, ROLLED METAL SIDING
○	VINYL SIDING
○	PAINTED FIBER REINFORCED CONCRETE VERTICAL BOARD AND BUTTER
○	VINYL SHINGLES
○	PAINTED FIBER REINFORCED CONCRETE TILES
○	PAINTED CLAD POSTS
○	PAINTED CLAD STONE VERTICAL
○	VINYL WINDOWS
○	PAINTED / STAINED FIBERGLASS ENTRY DOOR
○	GLASS DOOR
○	WOOD STAIRS
○	PEARL FIBERGLASS DOOR
○	PAINTED ALUMINUM RAILING / GUARDRAIL
○	PAINTED CLAD COLUMN
○	PAINTED FIBER REINFORCED CONCRETE BOARD



Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

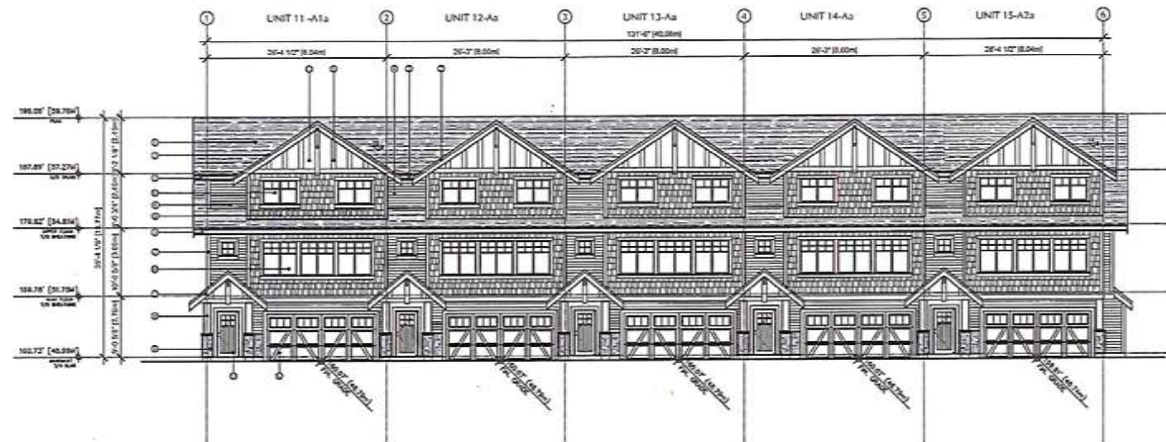
ADP Response Jan 05/2020

DP 3.1

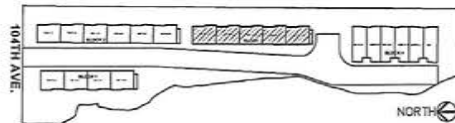
ELEVATIONS
BLOCK 1

SCALE: AS NOTED

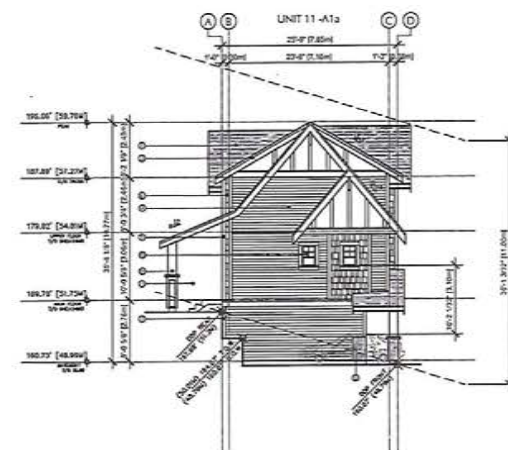
MATERIALS LEGEND	
○	ASPHALT SHINGLE ROOFING
○	PAINTED WOOD FASCIA
○	ALUMINUM RAIL, PROFILED METAL GUTTER
○	VINYL SIDING
○	PAINTED FIBER REINFORCED CONCRETE VERTICAL BOARD AND BATTEN
○	VINYL SHINGLES
○	PAINTED FIBER REINFORCED CONCRETE TRIM
○	PAINTED GLASS DOORS
○	MANUFACTURED STONE KENNER
○	WINE, WOODING
○	PAINTED / STAINED FIBERGLASS ENTRY DOOR
○	GRANITE STONE
○	WOOD SIDING
○	REAR FIBERGLASS DOOR
○	PAINTED ALUMINUM FINISH / GUARDRAIL
○	PAINTED GLASS COLUMN
○	PAINTED FIBER REINFORCED CONCRETE BOARD



1 BLOCK 3 - FRONT ELEVATION (WEST)
DP 3.3a SCALE: 1/8\"/>



3 BLOCK 3 KEY PLAN
DP 3.3a SCALE: 1/8\"/>



2 BLOCK 3 - NORTH ELEVATION
DP 3.3a SCALE: 1/8\"/>

Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

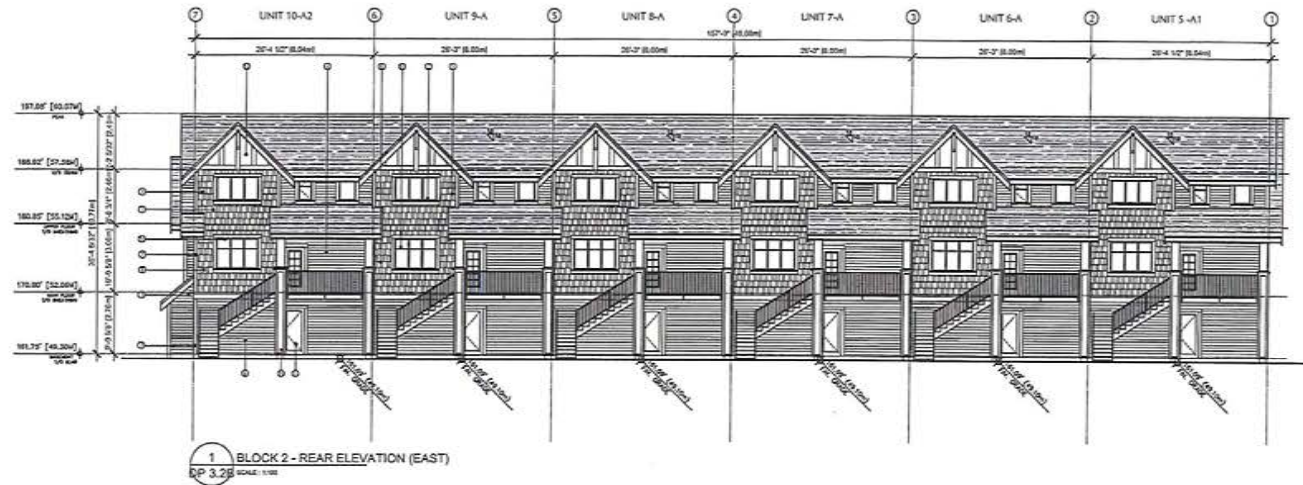
ATELIER PACIFIC ARCHITECTURE INC.

ADP Response Jan 05/2020

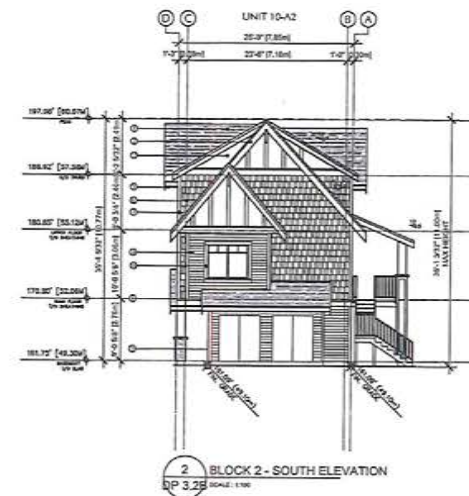
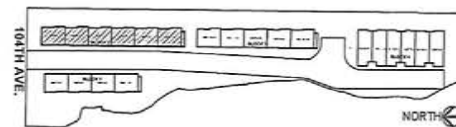
DP 3.3a

ELEVATIONS
BLOCK 3

SCALE: AS NOTED



MATERIALS LEGEND	
○	ARCHITECTURAL SYMBOL
○	PAINTED WOOD FACING
○	ALUMINUM RAIL/PROFILING METAL GUTTER
○	WINE SILING
○	PAINTED FIBER REINFORCED CONCRETE VERTICAL BOARD AND BUTT
○	WINE SHIMULES
○	PAINTED FIBER REINFORCED CONCRETE TRUSS
○	PAINTED CLAD POSTS
○	MANUFACTURED STONE VENEER
○	WINE WOODING
○	PAINTED/STAINED FIBERGLASS ENTRY DOOR
○	GARAGE DOOR
○	WOOD STAIRS
○	REAR FIBERGLASS DOOR
○	PAINTED ALUMINUM RAILING/CHAIRRAIL
○	PAINTED CLAD COLUMN
○	PAINTED FIBER REINFORCED CONCRETE SOWE



Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

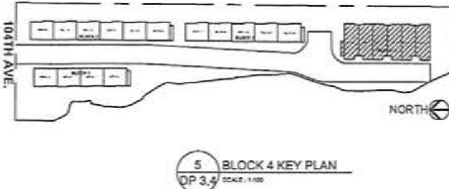
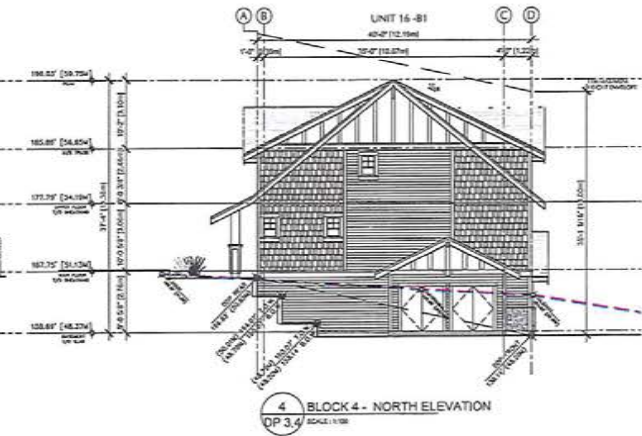
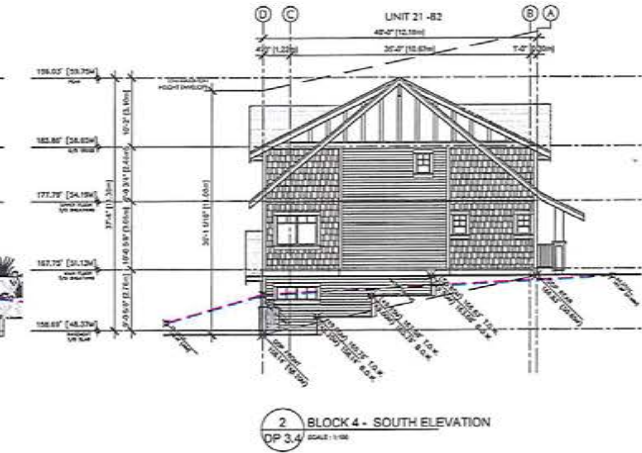
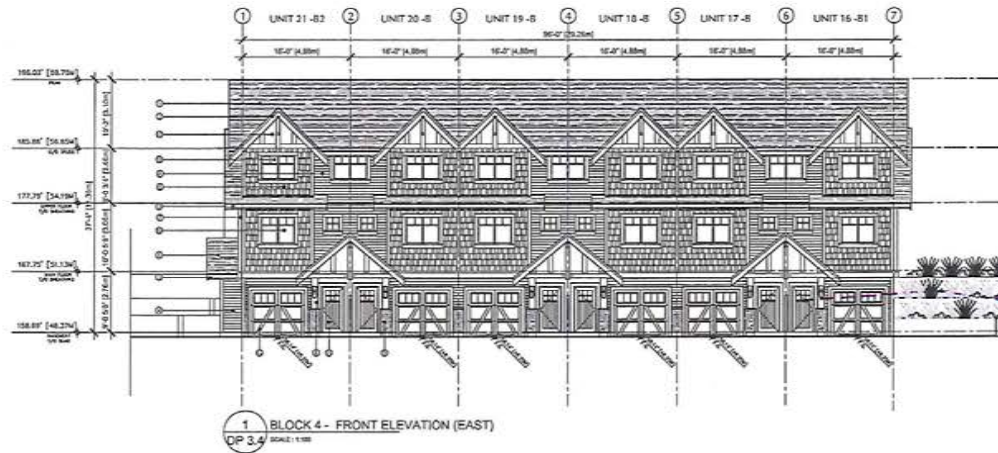
ADP Response Jan 05/2020

DP 3.2b

ELEVATIONS
BLOCK 2

SCALE: AS NOTED

MATERIALS LEGEND	
○	ASPHALT/SHINGLE ROOFING
○	PAINTED WOOD FASCIA
○	ALUMINUM FIN. PROFILED METAL GUTTER
○	W/PL. SIDING
○	PAINTED W/PL. HORIZONTAL CLAY/VERT. VERTICAL EDGES AND BUTTER
○	W/PL. SHINGLES
○	PAINTED FIBER REINFORCED CONCRETE TRUSS
○	PAINTED CLAD POSTS
○	MANGROVE STONE VENEER
○	W/PL. SIDING
○	PAINTED STAINED FRAMING GLASS ENTRY DOOR
○	WOOD STAIRS
○	ROOF FIBERGLASS DOOR
○	PAINTED ALUMINUM BRACKET/QUARTER
○	PAINTED CLAD COLUMN
○	PAINTED FIBER REINFORCED CONCRETE BOARD



Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

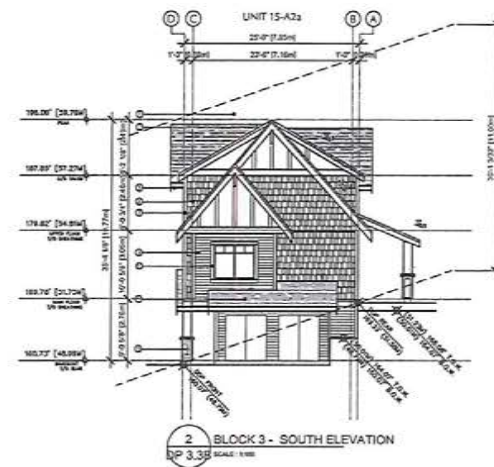
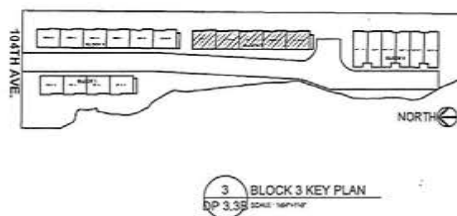
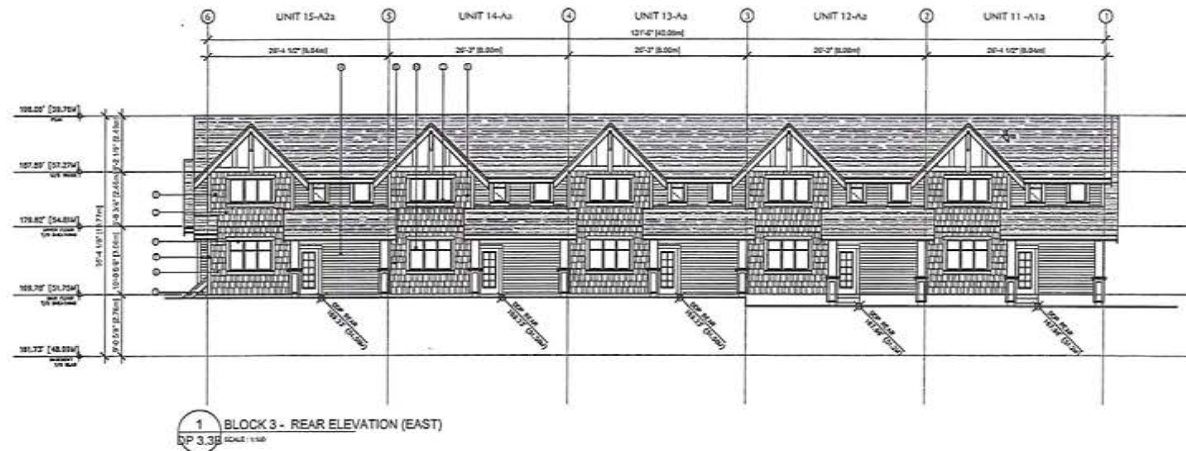
ADP Response Jan 05/2020

DP 3.4

ELEVATIONS
BLOCK 4

SCALE: AS NOTED

- INTERIOR FINISHES:**
- ASPHALT SHAINGLE ROOFING
 - PAINTED WOOD FASCIAE
 - ALUMINUM PROFILED METAL BUTTES
 - VINYL SIDING
 - PAINTED FIBER REINFORCED CEMENT VERTICAL BOARD AND BATTEN
 - VINYL SHINGLES
 - PAINTED FIBER REINFORCED CEMENT TRIM
 - PAINTED CLAD POSTS
 - MANUFACTURED STONE VENEER
 - VINYL WINDOWS
 - PAINTED / STAINED FIBERGLASS ENTRY DOOR
 - GARAGE DOOR
 - WOOD STAIRS
 - REAR FIBERGLASS DOOR
 - PAINTED ALUMINUM RAILINGS / GUARDRAILS
 - PAINTED CLAD COLUMN
 - PAINTED FIBER REINFORCED CEMENT BOARD



Proposed Townhouse Development

24392 104 AVE, MAPLE RIDGE, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

ADP Response Jan 05/2020

DP 3.3b

ELEVATIONS
BLOCK 3

SCALE: AS NOTED

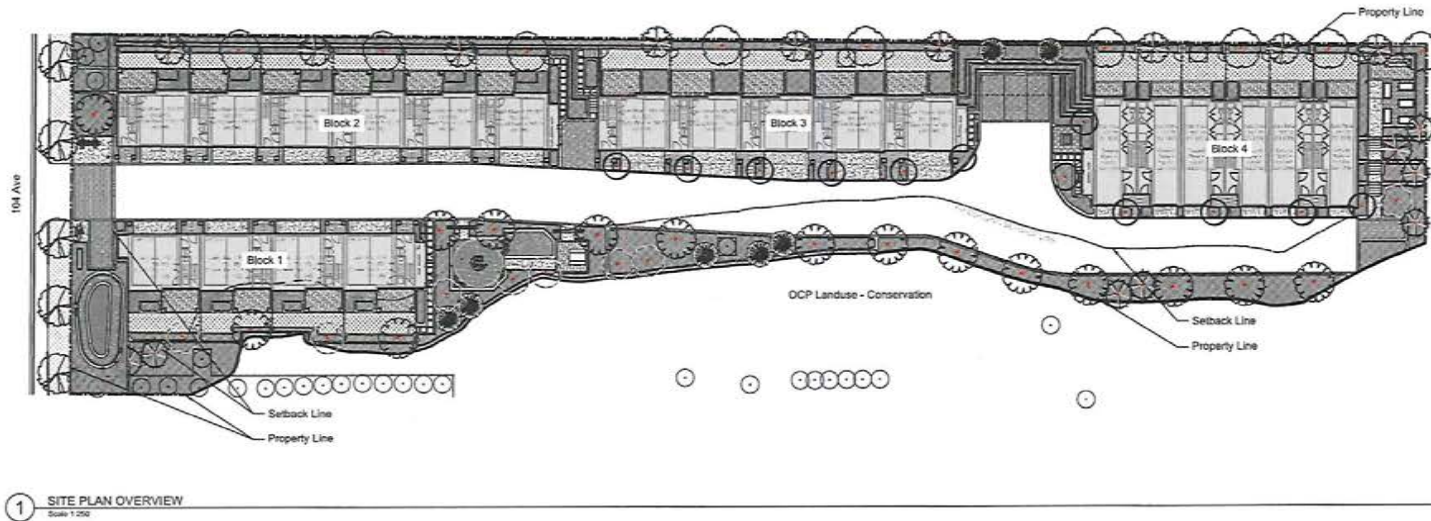
24392 104 Avenue

Issued for Development Permit

Contact Information	Other Key Contacts:
VDZ+A <i>Project Landscape Architecture</i> Fort Langley Studio 101 - 1181 Clough Street Fort Langley, British Columbia, V1M 1A0 Mount Pleasant Studio 102-1025 Kingsway Vancouver, British Columbia, V5T 3J7 Primary project contact: Phoenix Chan phoenix@vdz.ca o. 604 545 0927 Alternate contacts (include away): Dave Jenks Principal Landscape Architect djenks@vdz.ca o. 604 545 0921	Atelier Pacific Architecture Inc. <i>Project Building Architecture</i> #111-3822 Haverly Drive Burnaby, BC V5C 2P5 I. 604-663-8089 Legal Address and Description: Insert legal address and description here.



Sheet List Table	
Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	TREE MANAGEMENT PLAN
L-03A	OVERALL SITE & TREE PLAN
L-03B	FENCING PLAN
L-04	SITE DETAIL AREAS
L-05A	PLANTING PLAN - WEST
L-05B	PLANTING PLAN - CENTRE
L-05C	PLANTING PLAN - EAST
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS



VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 101-1181 Clough St 102-1025 Kingsway
 Fort Langley, BC Vancouver, BC
 V1M 1A0 V5T 3J7
 www.vdz.ca 604-545-0924

1	PC	Issued for Construction	Nov 30, 2023
2	PC	Issued for ADP	Oct 21, 2023
1	PC	Issued for GP	April 05, 2019
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No.	By:	Description	Date
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Location:			
24392 104 Avenue Maple Ridge BC			
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Checked:	PC		
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Health Status: Type II Diabetes Mellitus; Age: 71; 2010

SCHEDULE 2007



2 TREE PROTECTION BARRIER DETAIL
SCALE: NTC

For Official Tree Preservation Summary see Arborist Report conducted by LETTS Environmental Consultants Ltd. on February 18, 2019.

LEGEND

KEY	REF.	DESCRIPTION
-----	(2) L-02	TREE PROTECTION FENCE
○		EXISTING TREE TO BE REMAIN
⊗		EXISTING TREE TO BE REMOVED

3 TREE AND FENCING LEGEND
SCALE: NTG


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Project:
24392 104 Avenue
Location:
24392 104 Avenue
Maple Ridge BC

Domain:	Stamps:
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Checked:
PC

Scale:	CONTRACTOR EACH OTHER
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Stamp: 

Original Sheet Size:
24"x36"

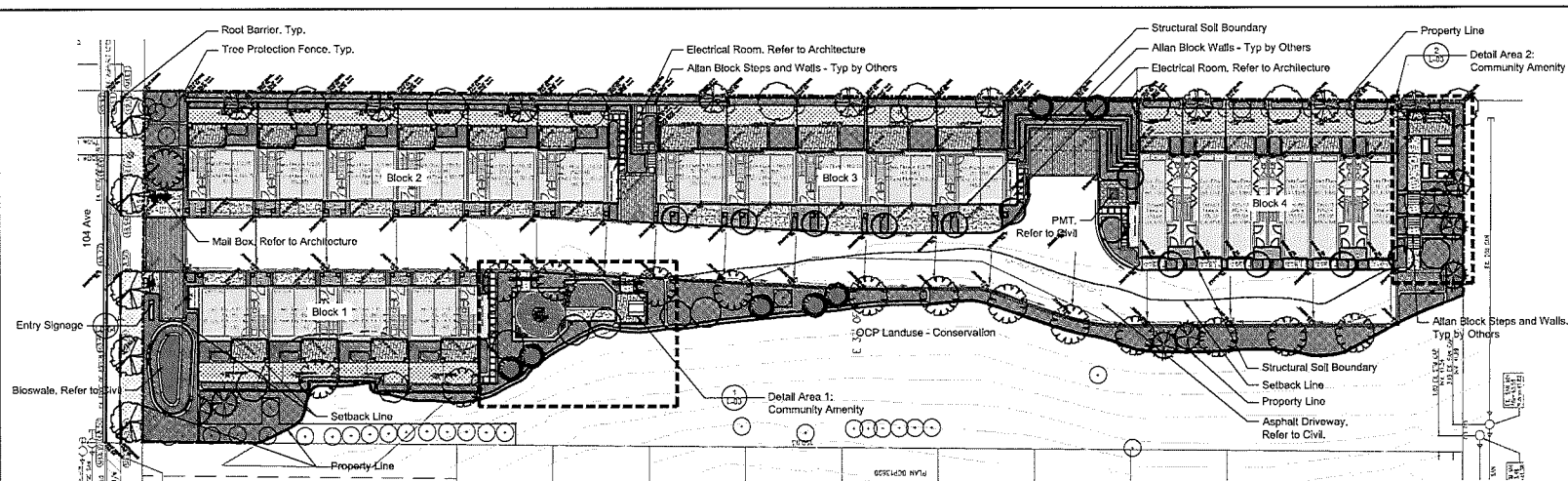
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RESPONSIBILITY FOR ANY DISCREPANCIES SHOWN NOT BE PRICED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE.

Drawing Title:

TREE MANAGEMENT PLAN

VDZ Project #:
DP2019-14

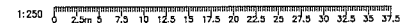
Drawing #: L-02



HARDSCAPE MATERIALS

PLANT SCHEDULE

Note:



No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

24392 104 Avenue

Drawn:	Stamped:
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Approved:	Original:
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Scale:	CONTRACTOR'S Expenditure
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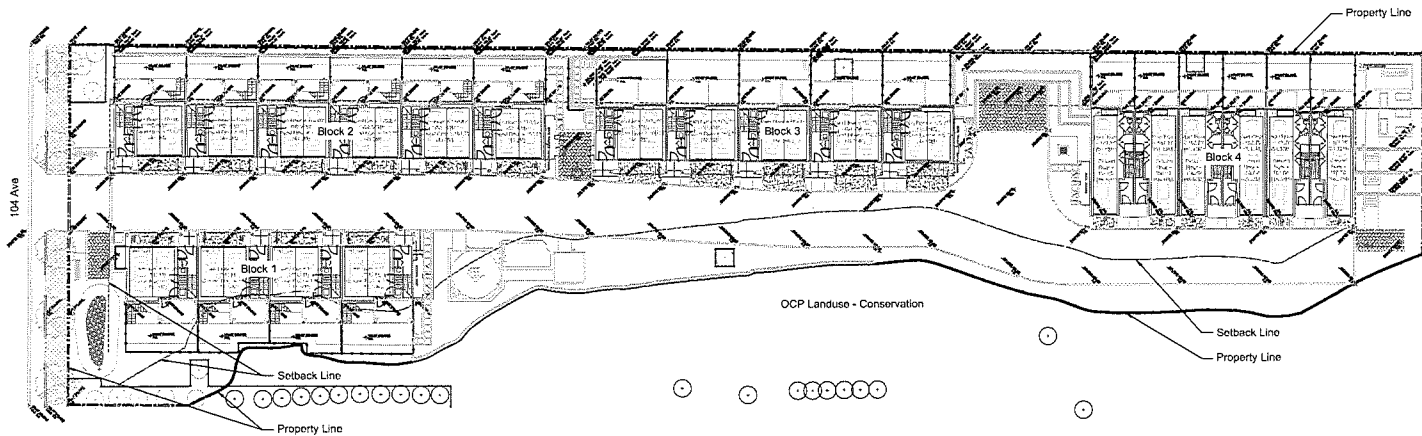
1250 AND ENOIC ACID
PROPERTIES OF 1
BETTERMENT

CONSTRUCTION
FOR TONGROU

Drawing Title:
OVERALL SITE & TREE PLAN

WDZ Project #:
DP2019-14

2: PROJECT DEVELOPMENT TECHNICAL SPECIFICATIONS - FENCING AND ENVIRONMENTAL IMPROVEMENTS



FENCING

KEY	REF.	DESCRIPTION
	1 LD-04	1.8m & 1.2m CEDAR FENCE
	2 L-02	TREE PROTECTION FENCE

1:250 0 2.5m 5 7.5 10 12.5 15 17.5 20 22.5 25 27.5 30 32.5 35 37.5

VDZ+A
FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
102 5181 Church St 102 350 Kingsway
Fort Langley, BC Vancouver, BC
V3W 2A8 V1T 3J1
www.vdz.ca 604-882-0024

No.	By	Description	Date
3	PC	Issued for Consultation	Nov 30, 2020
2	PC	Issued for ADP	Oct 23, 2020
1	PC	Issued for DP	April 05, 2019

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No.	By	Description	Date

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24392 104 Avenue
Maple Ridge BC

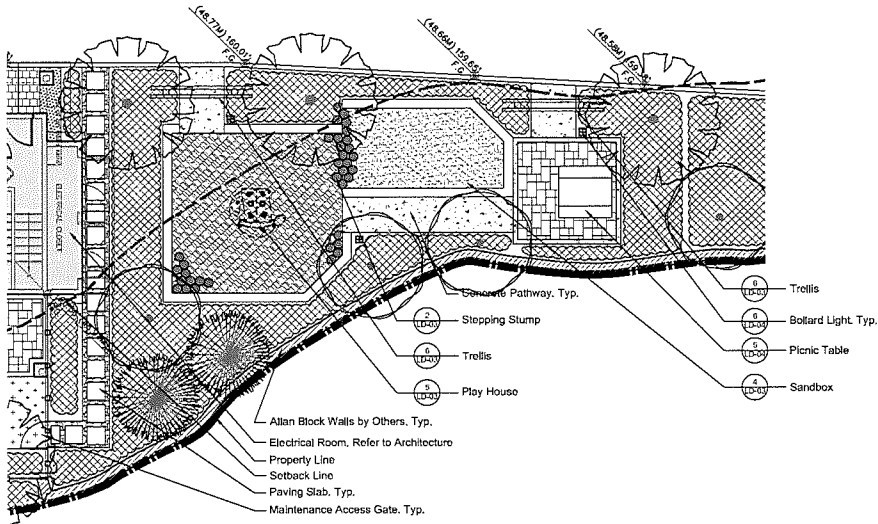
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Approved: DJ	Original Sheet Size: 24"x36"
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Drawing Title:
FENCING PLAN



VDZ Project #:
DP2019-14

Drawing #:
L-03B

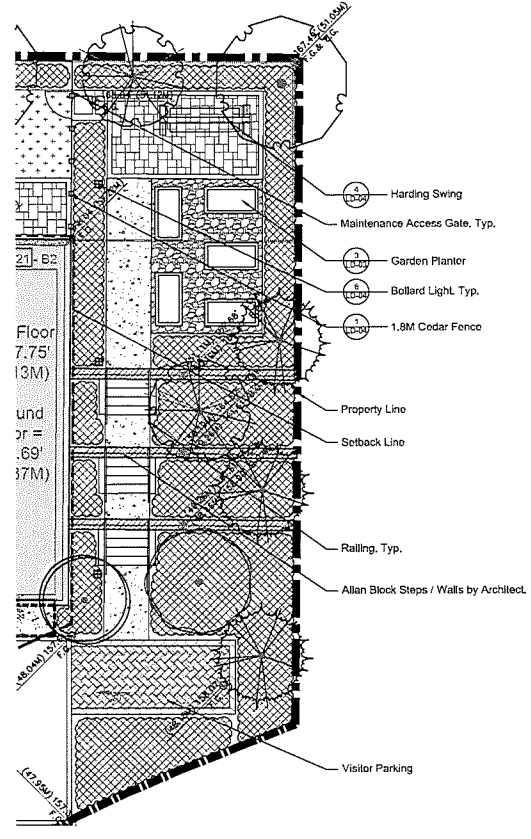


1 DETAIL AREA 1: COMMUNITY AMENITY
Scale 1:75

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE PATHWAY
	4 LD-02	CONCRETE UNIT PAVING PATIOES W/ CONCRETE SAND Type: Versatile Outdoor Series Color: Light Grey Manufacturer: Reckon Concrete
	4 LD-02	CONCRETE UNIT PAVING ENTRY Type: Versatile Color: Brown Manufacturer: Reckon Concrete
	6 LD-02	CONCRETE UNIT PAVING VEHICULAR Type: Versatile Color: Charcoal Manufacturer: Reckon Concrete
	5 LD-02	CONCRETE UNIT PAVING PARKING Type: Versatile Color: Charcoal Manufacturer: Reckon Concrete
	1 LD-03	FIBER SAFETY SURFACE
	4 LD-03	SAND SAFETY SURFACE
	2 LD-02	CRUSHED GRANITE PATHWAY Material: Crushed Granite Color: Grey
		RIVER ROCKS WITH LANDSCAPE FABRIC AND TIMBER EDGE
	3 LD-02	PAVING SLABS

	3 LD-03	GARDEN PLANTER
	6 LD-04	BOLLARD LIGHTING (?)



2 DETAIL AREA 2: COMMUNITY AMENITY
Scale 1:75

No.	By	Description	Date
3	PC	Issued for Coordination	Nov 30, 2020
2	PC	Issued for ADP	Oct 23, 2020
1	PC	Issued for GP	April 05, 2018
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Project:			
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Maple Ridge BC			
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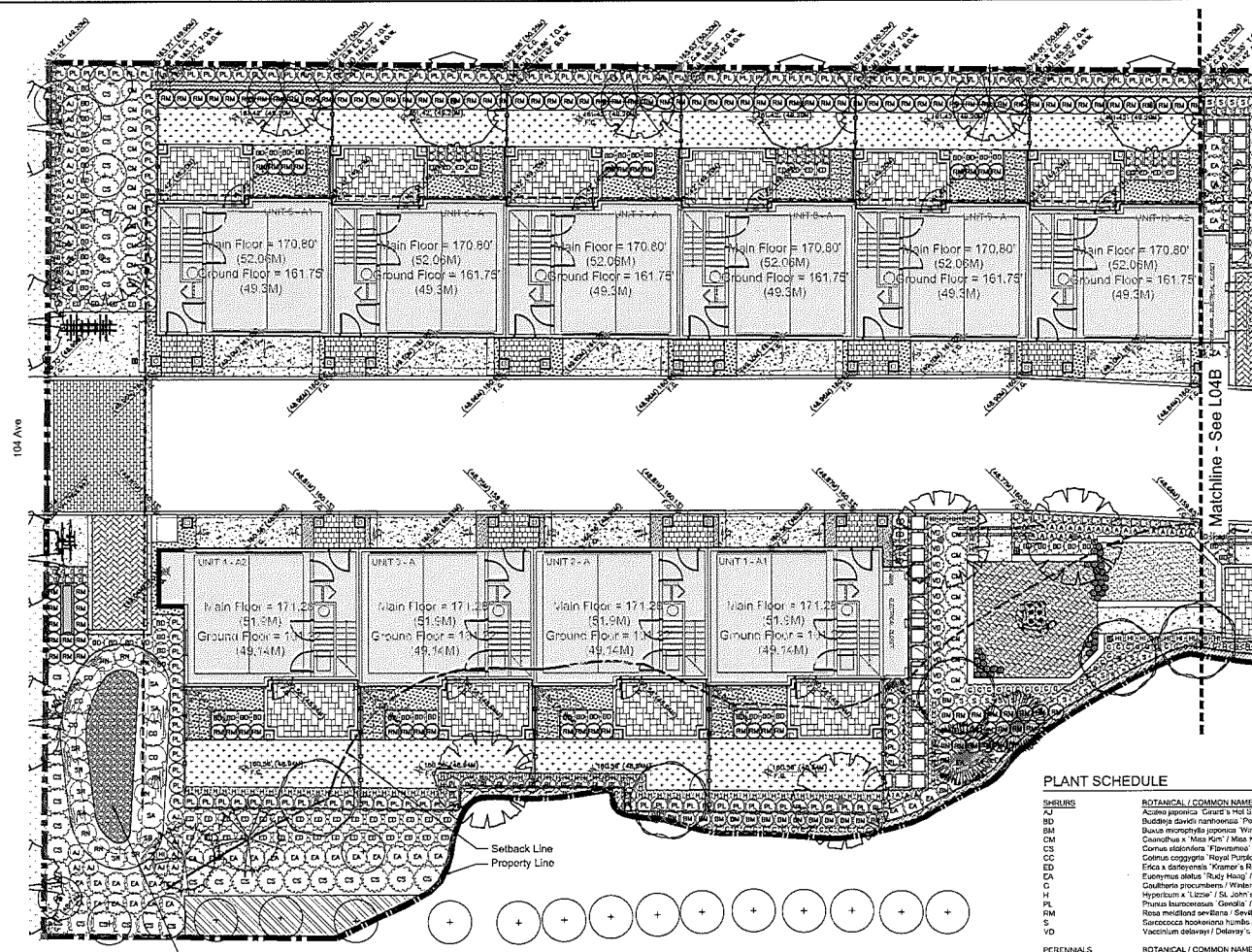


No.	By	Description	Date
3	PC	Issued for Construction	Nov 06, 2020
2	PC	Issued for ADIP	Oct 23, 2020
1	PC	Issued for DP	April 05, 2018

No.	By	Description	Date
1	PC	Issued for Construction	Nov 06, 2020

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Checked:	PC	
Approved:	DJ	Original Sheet Size: 24"x36"

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 CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LOCATIONS AND VERIFY ACCORDING TO THE CONTRACT DOCUMENTS AND THE CIVIL ENGINEER'S SIGNATURE OF THE CIVIL ENGINEER'S FIRM. ALL DIMENSIONS AND LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR AND NOT BE SUBJECT TO THE ENGINEER'S CHECK.

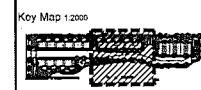


PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
AJ	Kalmia latifolia 'Gaultheria' / Red Hot / Ground's Hot Shrub Acacia	#2	0.75m	104
BD	Buddleia davidii nanophylla 'Purpure Indigo' TM / Petite Indigo Butterfly Bush	#2	0.75m	58
BM	Buxus microphylla japonica 'Winter Green' / Winter Green Boxwood	#2	0.75m	48
CM	Quercus x 'Moss Hill' / Moss Hill Oak	#2	1m	112
CS	Cornus stolonifera 'Flavissima' / Yellowwing Dogwood	#2	1.20m	84
CC	Cornus coccinea 'Royal Purple' / Royal Purple Smoke Tree	#3	1.20m	12
ED	Erica x dardeneana 'Kramer's Red' / Kramer's Red Heather	#2	0.90m	229
DA	Eleagnus alba 'Rudy Haag' / Rudy Haag Burning Bush	#3	1m	59
C	Callitriche procumbens 'Whitegreen'	#1	0.45m	122
H	Hypericum x 'Lizette' / St. John's Wort	#2	0.45m	213
PL	Phlox paniculata 'Garden' / Canada English Laurel	#3	0.75m	305
RM	Rosa meilandensis 'Sevillana Rose'	#2	0.75m	207
S	Santacoccia neopaniculata 'Humbly' / Sweet Box	#2	0.90m	122
VD	Vaccinium delawarei / Delaware's Blueberry	#2	0.75m	34
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
C	Compositae x 'Crème Unleash' / Creme Brulee Tickseed	#1	0.45m	30
H	Hemerocallis x 'Ice Carnival' / Daffodil	#1	0.60m	166
L	Lilium muscat 'Royal Purple' / Royal Purple Liriope	#1	0.45m	222
BIOSWALE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GD	Cornus sericea / Red Twig Dogwood	#3	1.20m	5
RM	Rosa rugosa / Noisette Rose	#3	1m	7
SR	Sambucus racemosa / Red Elderberry	#3	1m	5
SA	Symphoricarpos albus / Common White Snowberry	#3	1.20m	4
FERNS AND CRAIGS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
A	Adiantum species 'Seduction' / Seduction Yarrow	#1	0.45m	53
B	Blechnum spicatum / Deer Fern	#1	0.60m	82
PM	Polystichum munitum / Western Sword Fern	#1	0.75m	15
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Andropogon scoparius / Kinnikinnick	#1	450mm	171
	Cornus canadensis / Bunchberry Dogwood	#1	450mm	69

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

2. PROVIDE A BLOWN UP DETAIL OF THE SETBACK LINE AND PROPERTY LINE. SEE THE CIVIL ENGINEER'S DRAWING FOR THE SETBACK LINE AND PROPERTY LINE.



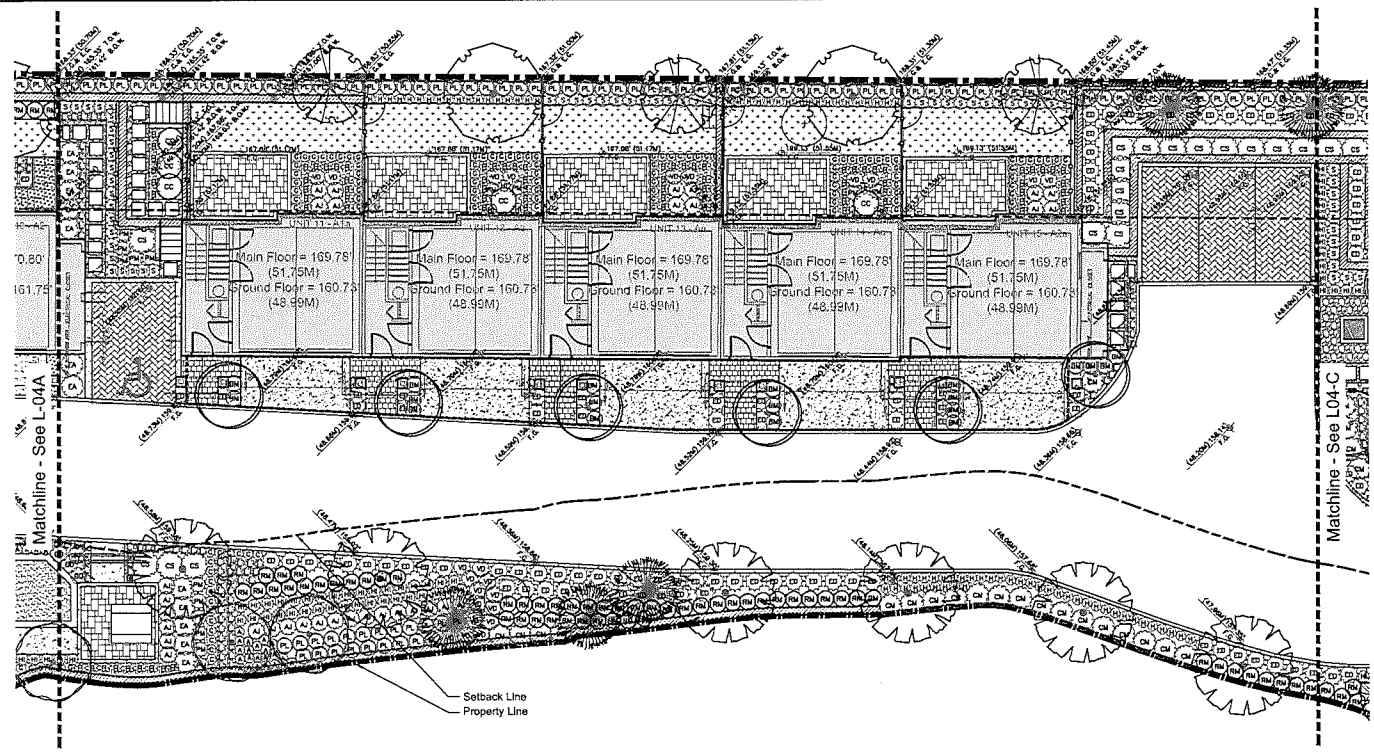
No.	By	Description	Date
1	PC	Issued for ADP	April 05, 2019
2	PC	Issued for ADP	Oct 23, 2020
3	PC	Issued for Construction	Nov 30, 2020

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No.	By	Description	Date
1	PC	Issued for ADP	April 05, 2019
2	PC	Issued for ADP	Oct 23, 2020
3	PC	Issued for Construction	Nov 30, 2020

Project:	
24392 104 Avenue	
Location:	
24392 104 Avenue Maple Ridge BC	
Drawn:	Stamp:
PC	
Checked:	
PC	
Approved:	Original Sheet Size:
DJ	24"x36"
Scale:	
1:100	



PLANT SCHEDULE				
SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
AJ	Azalea japonica 'Garnet & Hot Shot' / Garnet & Hot Shot Azalea	#2	0.75m	104
BD	Buddleja davidii 'Pinkie Indigo' / Pinkie Indigo Butterfly Bush	#2	0.75m	58
BM	Buxus microphylla 'Winter Gem' / Winter Gem Boxwood	#2	0.75m	48
CM	Cornus x 'Miss Kim' / Miss Kim Lace	#2	1m	112
CS	Cornus stolonifera 'Flowerline' / Flowerline Dogwood	#2	1.2m	64
CC	Cornus coccinea 'Royal Purple' / Royal Purple Cornus Tree	#3	1.2m	12
ED	Erica x 'Gardens of Wales' / Gardens of Wales Heuland	#2	0.9m	229
EA	Eurothymus 'Rudy Haag' / Rudy Haag Burning Bush	#3	1m	59
G	Gaultheria procumbens / Wintergreen	#1	0.45m	122
H	Hesperocallis 'Lucas' / Lucas's Hesperocallis	#2	0.45m	213
PL	Philadelphus 'Garden of Wales' / Garden of Wales Philadelphus	#3	0.75m	308
RM	Rosa 'Mendocino' / Mendocino Rose	#2	0.75m	207
S	Sarcococca hookeriana humilis / Sweet Blue	#2	0.60m	132
VD	Vaccinium delawarei / Delaware's Blueberry	#2	0.75m	34
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
C	Coreopsis x 'Grimm's Blush' / Grimm's Blush Tickseed	#1	0.45m	89
H	Hesperocallis x 'Ice Carnival' / Ice Carnival	#1	0.60m	166
L	Liriodendron muscicola 'Royal Purple' / Royal Purple Liriodendron	#1	0.45m	222
BIOWALLS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
CO	Cornus 'Lanceolata' / Lanceolata Dogwood	#3	1.2m	3
RN	Rosa 'Noble Rose' / Noble Rose	#3	1m	7
SA	Sambucus racemosa 'Red Dragonberry' / Red Dragonberry	#3	1.2m	4
PERNS AND GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
A	Achillea millefolium 'Strawberry Seduction' / Strawberry Seduction Yarrow	#1	0.45m	63
B	Blechnum spicant / Cow Fern	#1	0.60m	89
PM	Polystichum munitum / Western Sword Fern	#1	0.75m	15
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Arctostaphylos uva-ursi / Kalm's Currant	#1	450mm	171
	Cornus canadensis / Bunchberry Dogwood	#1	450mm	69

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

1:100

CONTRACTOR SHALL OBTAIN ALL PERMITS AND DISCRETION TO THE CONTRACTOR. BEFORE PROCEEDING, ALL CHANGES AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO THE DRAWINGS MUST BE IN WRITING. NO REVISIONS TO THE DRAWINGS SHALL BE MADE FOR CONSTRUCTION UNLESS LABELED "FOR TENDER/CONSTRUCTION".

Drawing #

AFFIRMATIVE RESPONSE

2 December 2020

RE: No. 2019-216-RZ ADP Comments

PROJECT NAME: 24392 104 Ave.
 PROJECT NUMBER: 2019-216-RZ
 VDZ: DP2019-14

ATTENTION: Sabina Chand
 Name City of Maple Ridge
 Planning and Development

ATTACHED DOCUMENTS

QUANTITIES	DESCRIPTION	DATE ON TITLEBLOCK
1	Landscape DP drawings	30-11-2020

This letter is in response to comments received for the Advisory Design Panel of this project.

LANDSCAPE COMMENTS:

Item #	COMMENT	RESPONSE
1.	Consider adding tree protection fencing	Done. See Drawing L-03A & L-03B
2.	Consider Coordinating with civil engineer and architect to provide surface drainage to detention pond	Noted.
3.	Consider planting additional trees to the east of the central amenity area	Added. See Drawing L-03A
4.	Consider providing return to retaining wall in north east corner of block 2 to capture grade differential	Noted.
5.	Ensure adequate soil volumes for all trees on site	Structural soil has been provided to ensure adequate soil volumes for tree plantings along the driveway. See Drawing L-03A.
6.	Review fencing plan and details per appropriate picket fencing in internal yards	Fencing detail has been updated. See Detail 1/LD-04

Please let me know if you have any further questions.

Phoenix Chan

Landscape Designer



atelier pacific architecture inc.

January 5/2021

Attention:

Therese Melser

Planning Technician

City of Maple Ridge

11995 Haney Place, Maple Ridge, BC, V2X 6A9

Re: 6.3 ADP November 18/2020 - 2019-216-DP/ 24392 104 Ave Townhome Development

The following is a response to address the Resolution and comments provided after Advisory Design Panel Review on November 18/2020. Please also refer to the attached drawing updates.

Architectural Comments:

- To further celebrate the site entry way, a feature sign wall has been provided. Refer to attached Landscape Plans and Details
- The base and second level dormer of Block 1 have been extended to align the street-facing walls of Blocks 1 and 2. As a result, this both improves the overall street presence and creates further articulation thereby creating a more appropriate pedestrian scale. Parking has been adjusted to suit – as per the attached Architectural Plans and Elevation.
- The exterior material colour palette has been softened to be more in line with the submitted precedent photos.

Landscape Comments:

Refer to attached Memo from VDZ Landscape Architects

Yours very truly,

Brian Shigetomi

Senior Associate

Atelier Pacific Architecture Inc.

E-mail: bshigetomi@atelierpacific.com

Jun 02/2021



atelier pacific architecture inc.

Public Commenting Opportunity

DATE OF PCO: May 19th through 28th, 2021

PROJECT: 24392 - 104th Ave, Maple Ridge BC (#2019-216RZ)

Agenda: Area Resident Comments for Proposed Development

Location: Via e-Mail and Call-in

Attention: Therese Melser
City of Maple Ridge
11995 Haney Place, Maple Ridge, BC V2X 6A9
604-467-7395

Representatives: Makoto Tsukishima, Atelier Pacific Architecture
Brian Shigetomi, Atelier Pacific Architecture

Copy: James Isherwood, Royal LePage
Nadine Strampe, Atelier Pacific Architecture

"Please note that all comment and attendance sheets produced as a result of this Public Comment Opportunity will be provided to the City of Maple Ridge and form part of the public record that is available for viewing by the public upon request."

PROJECT PROFILE

Current Zone	RS-3
Proposed Zone	RM-1
Neighbourhood:	Albion Area
OCP Land Use	Medium Density Residential (Conservation)
Gross Site Area:	1.51 Acres (of currently vacant land)
Net Site Area:	1.11 Acres (accounting for a Western Environmental Protection Area)
Proposed Density (FSR):	0.6
Number of Units:	21 units divided into 4 blocks
Proposed Unit Size:	Between 1,270 to 1,511 sq.feet for a combined total of 28,500 sq.feet)
Proposed Height:	3 stories (35ft)
Construction:	Wood frame
Proposed Parking:	48 including 1 accessible

#350-10851 Shellbridge Way, Richmond , BC V6X 2W9

T 604.662.8689 F 604.662.8655

info@atelierpacific.com | atelierpacific.com

jessie arora architect aibc saa aaa mraic ra oaa maa



COMMENTS - Refer also to attached comment forms and correspondence for specific inquiries. Comments which were found to be similar have been grouped, categorized and summarized herein.

Responses are provided below summary headers and in italics

Item

- 1.0 Site Drainage / Existing Sloped Grading:**
- .1 Concerns presented about the steepness of the existing western slope and the potential negative impacts of new works to this area.**
- i- *The existing western portion of the site has been recognized as having a very steep slope. The intent is to assign this sloped area - which constitutes over 25% of the lot - as a designated 'Environmental Area' (aka 'Conservation Zone' per Landscape Plans) to serve as a "buffer" between the developed eastern portion of the lot and the neighboring lots along 244th St.*
 - ii- *A Geotechnical engineer was also retained to make recommendations about soil stability/bearing, limits to heavy construction traffic and procedures for excavations. As indicated in the provided drawings, proposed development works would be kept outside of the western 'Environmental Area'. Based on these recommendations, the proposed location/layout of works (including buildings, rear yard decks and access road) were deemed "feasible and appropriate" and not expected to negatively impact the slopes.*
- .2 Instances of existing fencing and overgrowth is reported to be encroaching on neighboring land. Clarification requested on how this will be managed and by whom.**
- i- *As per discussions between the city and current owner, the intention is that the incumbent Strata Corporation would be responsible for maintenance/protection of their own property which includes said 'Environmental Area.'*
- .3 Management of rainwater draining down the slope**
- i- *A Stormwater Management Plan was developed - implementing various strategies to limit the amount of rainwater draining down the slope, such as:*
 - *Sloping exterior grades away from the western sloped area.*
 - *Providing a robust storm storage system to directly feed all roof drainage and site catch basin water directly to the city stormwater system.*
 - *Designing a Bio-filtration Rain garden*



1.2 Environmental Impact / Tree Protection:

.1 Clarification on scope of tree removal and retention

- i- *As part of our Application, an arborist was brought on to review the condition of all existing trees and they have identified those which potentially pose a safety hazard, including select trees within the along the west property line and within the 'Environmental Area'. It was recommended that such hazards be removed, however virtually all other existing trees in this 'Environmental Area' be retained, such as rows of healthy cedars and spruces by the northwest corner. Furthermore, a tree preservation strategy has been proposed to increase the total number of trees provided across the entire site as indicated in the application.*
- ii- *Within the eastern developed portion of land, trees would be removed where new proposed works occur (i.e. - at building/yard footprints, roadworks etc.) and where otherwise the Arborist deemed them unfeasible to preserve. Refer also to submitted Landscape drawings.*

.2 Concerns of negative environmental effects due to tree removal & construction activity

- i- *The City of Maple Ridge has in place a Watercourse Protection Bylaw which regulates matters relating to pollution, obstructing or impeding the flow of waterways and similar bodies. Part of the requirements include implementing Erosion and Sediment Control measures prior to start of construction.*
- ii- *In an effort to minimize negative impacts on surrounding natural conditions, the proposed development will follow these measures and construction procedures as well as observing Arborist's Recommendations for protection of existing tree bulbs and their surroundings.*

1.3 Developability / Impact on Park Land:

.1 Residents report being informed by other parties that there were limits to the extent which the subject property could be developed.

- i- *Note that as per our comments above, the westerly sloped portion of the site will be retained for Environmental considerations and we are not proposing any development within this area.*
- ii- *The proposed development is designed based on the applicable Regulatory Bylaws with additional considerations to the City's greater 'Official Community Plan'. We are unaware of any other agreements or restrictions mandated by the City or other governing bodies which limits development of this lot outside of this application and Regulatory requirements.*



.2 Concerns over potential encroachment into - or development of - adjacent Park Lands.

- i- *This application does not propose any encroachments onto adjacent Public Park lands or sports facilities as these are owned/operated by Authorities Having Jurisdiction. Note that works occurring in the future on either this, or neighboring sites (if any) are outside of this scope. We recommend the Maple Ridge Planning Department be contacted for any inquiries on City works.*

1.4 Privacy / Safety:

.1 Concerns over the proximity and visibility between new buildings and the western P.L.

- i- *The westerly 'Environmental Area' lies between the proposed buildings and the properties along 244th St. Within this area, virtually all of the existing trees will remain. The building closest to the northwest corner will be positioned behind a row of existing tall cedars and spruces lining that portion of the lot. In addition to these trees, a variety of new trees which will be added at the top of the bank and around the site perimeter - intended to provide a "buffer" for maintaining privacy between the subject lot and neighboring lots.*

.2 Clarity on safeguard measures proposed between the subject lot and neighboring lots.

- i- *To promote overall safety for those within the site and neighboring it, the developed portion of land will be separated from its surroundings by a mix of retaining walls, fences, curbs and new landscaping along both the east property line and along the top of the western bank. This includes a landscaped community area which will provide both a visual and physical barrier to help deter people/vehicles/bicycles etc. from falling into the steeply sloped zone.*

1.5 Density Planning / Vehicular Impact:

.1 Concerns over the proposed density in relation to the subject lot and neighborhood.

- i- *Project siting was reviewed in relation to the City's Official Community Plan (OCP) for the Albion Area. As per this OCP, the "Albion Area Plan strives to balance new residential development, the protection of environmentally sensitive areas, and the provision of a range of housing styles to meet diverse housing needs." As such, multiple consultants were retained to review aspects such as site layout, construction methodology and access strategy with these considerations in mind.*



atelier pacific architecture inc.

- ii- *This application was made under one of the OCP's Land Use designations: 'Medium Density Residential' and includes a Zoning of RM-1. The proposed density (measured in floor area ratio per the summary above) is appropriate for this zone.*

.2 Concerns on potential impacts to neighborhood traffic and street parking conditions.

- i- *Overall parking capacity meets and exceeds the City's Parking Bylaw requirements, and includes extra capacity provided for visitors. This both serves the needs of the development and encourages parking on-site rather than on the street. Furthermore, bicycle racks will be provided near the front of the site to promote residents and visitors of the property to utilize alternate forms of transportation.*

End of PCO Comments

Per: Makoto Tsukishima
Atelier Pacific Architecture Inc

TO: His Worship Mayor Michael Morden
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: **Second Reading**
Zone Amending Bylaw No. 7701-2021
11089 240 Street, 11101 239 Street and 11094 Buckerfield Drive

MEETING DATE: September 21, 2021
FILE NO: 2020-409-RZ
MEETING: C o W

EXECUTIVE SUMMARY:

An application has been received to rezone the three subject properties, located at 11089 240 Street, 11101 239 Street and 11094 Buckerfield Drive, from RS-3 (Single Detached Rural Residential), R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential) to R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential), to permit a future subdivision of approximately 19 single-family lots.

The minimum lot size for the R-1 (Single Detached (Low Density) Urban Residential) zone is 371m² and the minimum lot size for the R-2 (Single Detached (Medium Density) Urban Residential) zone is 315m². All of the 19 lots being proposed in this subdivision meet the required minimum lot size of *Zoning Bylaw No. 7600-2019*, as amended.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program. The applicant will be requested to pay \$5,100.00 per lot, for an estimated amount of \$96,900.00 based on the proposed 19 lots.

The Parks Department has agreed to accept cash-in-lieu for parkland dedication proposed for this rezoning and it is recommended that Council require the developer to pay to the City an amount that equals 5% of the market value of the land required for parkland purposes, as determined by an independent appraisal.

RECOMMENDATIONS:

- 1) That Zone Amending Bylaw No. 7701-2021 be given second reading and be forwarded to Public Hearing;
- 2) That Council require, as a condition of subdivision approval, the developer to pay to the City an amount that equals 5% of the market value of the land, as determined by an independent appraisal, in lieu of parkland dedication in accordance with Section 510 of the *Local Government Act*; and,
- 3) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;

2.0

- ii) Road dedication on Buckerfield Drive and Harris Drive as required;
- iii) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
- iv) Registration of a Restrictive Covenant for slope protection on proposed Lots 1 and 2;
- v) Registration of a Restrictive Covenant for Stormwater Management;
- vi) Discharge of Restrictive Covenant for No Build Area for future subdivision and servicing on the property located at 11101 239 Street;
- vii) Discharge of Statutory Right-of-Way for temporary turnaround over the property located at 11089 240 Street;
- viii) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site; and
- ix) That a voluntary contribution, in the amount of \$ \$5,100.00 per lot be provided in keeping with the Council Policy with regard to Community Amenity Contributions.

DISCUSSION:

1) Background Context:

Applicant: Morningstar Communities Ltd.

Legal Descriptions: Lot 3 District Lot 404 Group 1 New Westminster District Plan BCP46902
 Lot 62 District Lot 404 Group 1 New Westminster District Plan EPP32520
 Lot A District Lot 404 Group 1 New Westminster District Plan EPP48959

OCP:

Existing: Urban Residential
 Proposed: Urban Residential

Within Urban Area Boundary: Yes
 OCP Major Corridor: Yes

Zoning:

Existing: RS-3 (Single Detached Rural Residential), R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential)
 Proposed: R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential)

Surrounding Uses:

North:	Use:	Single Family Residential and Street Townhouse Residential
	Zone:	R-2 (Single Detached (Medium Density) Urban Residential) and RST (Street Townhouse Residential)
	Designation:	Urban Residential and Conservation
South:	Use:	Agricultural
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Urban Residential
East:	Use:	Single-Family Residential and Townhouse Residential
	Zone:	R-3 (Single Detached (Intensive) Urban Residential), RM-1 (Low Density Townhouse Residential) and RS-3 (Single Detached Rural Residential)
	Designation:	Medium Density Residential, Low/Medium Density Residential and Conservation
West:	Use:	Single-Family Residential
	Zone:	R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential)
	Designation:	Urban Residential and Conservation

Existing Use of Property: Vacant lots and Single-Family Residential
Proposed Use of Property: Single-Family Residential
Site Area: 4.5 ha (11.1 acres)
Access: Buckerfield Drive, Harris Drive and 239 Street
Servicing requirement: Urban Standard
Previous Applications: 2011-084-RZ/DP/SD

2) Background:

The subject properties are located at 11089 240 Street, 11101 239 Street and 11094 Buckerfield Drive and total approximately 4.5 hectares (11.1 acres) in size (see Appendices A and B). There are existing homes on 11089 240 Street and on 11101 239 Street, while the property at 11094 Buckerfield Drive is currently a vacant lot. All three lots are currently zoned for single-family use. Rainbow Creek runs to the north of the property at 11101 239 Street. The subject properties slope down to the south-east towards 240 Street.

The main lot being subdivided is at 11089 240 Street on which the majority of the 19 lots will be created, along with a large remainder area which is not being rezoned at this time.

The small lot at 11101 239 Street is a remnant R-1/R-2 split-zoned lot that was created as part of Subdivision Application 2011-084-SD. At the time of subdivision, a no-build covenant was placed on a portion of the parcel until such time as future subdivision. The subject lot is also adjacent to Rainbow Creek, which was previously addressed as part of Watercourse Protection Development Permit 2011-084-DP.

The other small lot at 11094 Buckerfield Drive is a remnant R-2 zoned lot that was created as part of Subdivision Application No. 2014-109-SD. At the time of subdivision, a no-build covenant was placed over the entire lot, until such time as future subdivision.

3) Project Description:

The applicant is proposing to rezone the three subject properties, located at 11089 240 Street, 11101 239 Street and 11094 Buckerfield Drive, from RS-3 (Single Detached Rural Residential), R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential) to R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential), to permit a future subdivision of approximately 19 single-family lots.

The applicant is proposing to retain the existing farm house on the larger property located at 11089 240 Street, as this house will continue to be used for the foreseeable future. Retaining the existing house will necessitate a variance to the front yard setback. This variance will be described further in this report and will require a future report to Council.

The development of this new subdivision will result in the completion of the road pattern established by previous developments, by connecting three roads that currently dead-end: Buckerfield Drive, Harris Drive and 239 Street (see Appendix C).

4) Planning Analysis:

i) Official Community Plan:

The Official Community Plan (OCP) designates the subject properties as *Urban Residential*, and development of the properties are subject to the Major Corridor Residential policies of the OCP along 240 Street, and Neighbourhood Residential Infill policies along Buckerfield Drive and Harris Drive. These policies require that development be compatible with the surrounding neighbourhood, with particular attention given to site design, setbacks and lot configuration with the existing pattern of development in the area.

The R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential) lots will match the existing lots in the immediate area that are also zoned R-1 and R-2. This new development will match the character of the surrounding neighbourhood and will help to complete the existing development pattern by connecting Buckerfield Drive and Harris Drive with 239 Street. Therefore, the proposed rezoning to R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential) zones along Buckerfield Drive and Harris Drive, complies with the *Urban Residential Neighbourhood Residential* designation and infill policies.

ii) Zoning Bylaw:

The proposal is to rezone the three subject properties to approximately 19 single-family lots (see Appendix D). The lots will be rezoned accordingly:

- Fifteen R-1 (Single Detached (Low Density) Urban Residential);
- Three R-2 (Single Detached (Medium Density) Urban Residential) lots; and
- One RS-3 (Single Detached Rural Residential).

The minimum lot size for the current R-1 (Single Detached (Low Density) Urban Residential) zone is 371m², while the minimum lot size for the R-2 (Single Detached (Medium Density) Urban Residential) zone is 315m² and the minimum lot size for the RS-3 (Single Detached Rural Residential) zone is 0.8 hectares (1.0 acre). All of the 19 lots being proposed in this subdivision meet the required minimums of *Zoning Bylaw No. 7600-2019*, as amended.

iii) **Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations (see Appendix C):

- *Maple Ridge Zoning Bylaw No. 7600-2019, Part 4, Section 611.7 1. a): To vary the minimum setbacks for buildings and structures for single detached residential from the front lot line from 7.5m to 3.26m.*

The requested variances to the RS-3 (Single Detached Rural Residential) zone will be the subject of a future Council report.

iv) **Development Permits:**

The property at 11101 239 Street was the subject of a previous Watercourse Protection Development Permit under Development Permit 2011-084-DP. No further Development Permit application will be required for this project.

v) **Advisory Design Panel:**

As the proposed development is for single family development, a Form and Character Development Permit is not required and the Advisory Design Panel does not need to review the project.

vi) **Development Information Meeting (Public Comment Opportunity):**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between July 5 and July 15, 2021. The developer received a total of 14 responses, six responses were in support, five responses were neutral and three responses were against. A summary of the residents' concerns and the applicant's responses is attached to this report (see Appendix E).

vii) **Parkland Requirement:**

As there are more than two additional lots proposed to be created, the developer will be required to comply with the park dedication requirements of Section 510 of the *Local Government Act* prior to subdivision approval.

It is recommended that Council require the developer to pay to the City an amount that equals the market value of 5% of the land required for parkland purposes. The amount payable to the City in lieu of park dedication must be derived by an independent appraisal at the developer's expense. Council consideration of the cash-in-lieu amount will be the subject of a future Council report.

5) Environmental Implications:

The property at 1101 239 Street was the subject of a previous Watercourse Protection Development Permit under Development Permit 2011-084-DP. No further Development Permit application will be required for this project.

6) Interdepartmental Implications:

i) Engineering Department:

The Engineering Department will require the developer to construct a temporary pedestrian facility along the 240 Street frontage as a condition of rezoning. Because of this work, a Rezoning Servicing Agreement will be required. The extension of the sanitary, storm and water main to the new proposed lots will be required as a condition of the subdivision. A crosswalk may be required at the 110 Avenue/240 Street intersection, which will need to be reviewed by the applicant's traffic professional.

ii) Parks, Recreation and Culture Department:

The Parks Planning and Development Section has reviewed the development application and supports accepting 5% cash-in-lieu for the parkland dedication requirement.

iii) Fire Department:

The Fire Department has no issues in moving this project forward.

iv) Building Department:

The Building Department has reviewed the development application and will require a Slope Protection covenant on Lots 1 and 2. A Geotechnical and Stormwater covenant will also be required to be registered on title. Previous covenants to be discharged as required.

7) School District No. 42 Comments:

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 on April 15, 2021 and the School District responded on April 19, 2021, with the following information:

"The proposed application would affect the student population for the catchment areas currently served by Blue Mountain Elementary and Garibaldi Secondary School.

Blue Mountain Elementary has an operating capacity of 291 students. For the 2020-21 school year the student enrolment at Blue Mountain Elementary is 305 students (105% utilization) including 93 students from out of catchment.

Garibaldi Secondary School has an operating capacity of 1050 students. For the 2020-21 school year the student enrolment at Garibaldi Secondary School is 946 students (90% utilization) including 273 students from out of catchment."

CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7701-2021 and that application 2020-409-RZ be forwarded to Public Hearing.

It is further recommended that Council require, as a condition of subdivision approval, the developer to pay to the City an amount that equals 5% of the market value of the land, as determined by an independent appraisal, in lieu of parkland dedication.

"Original signed by Rene Tardif"

Prepared by: **Rene Tardif, BA, M.PL**
Planner 1

"Original signed by Chuck Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Chuck Goddard"

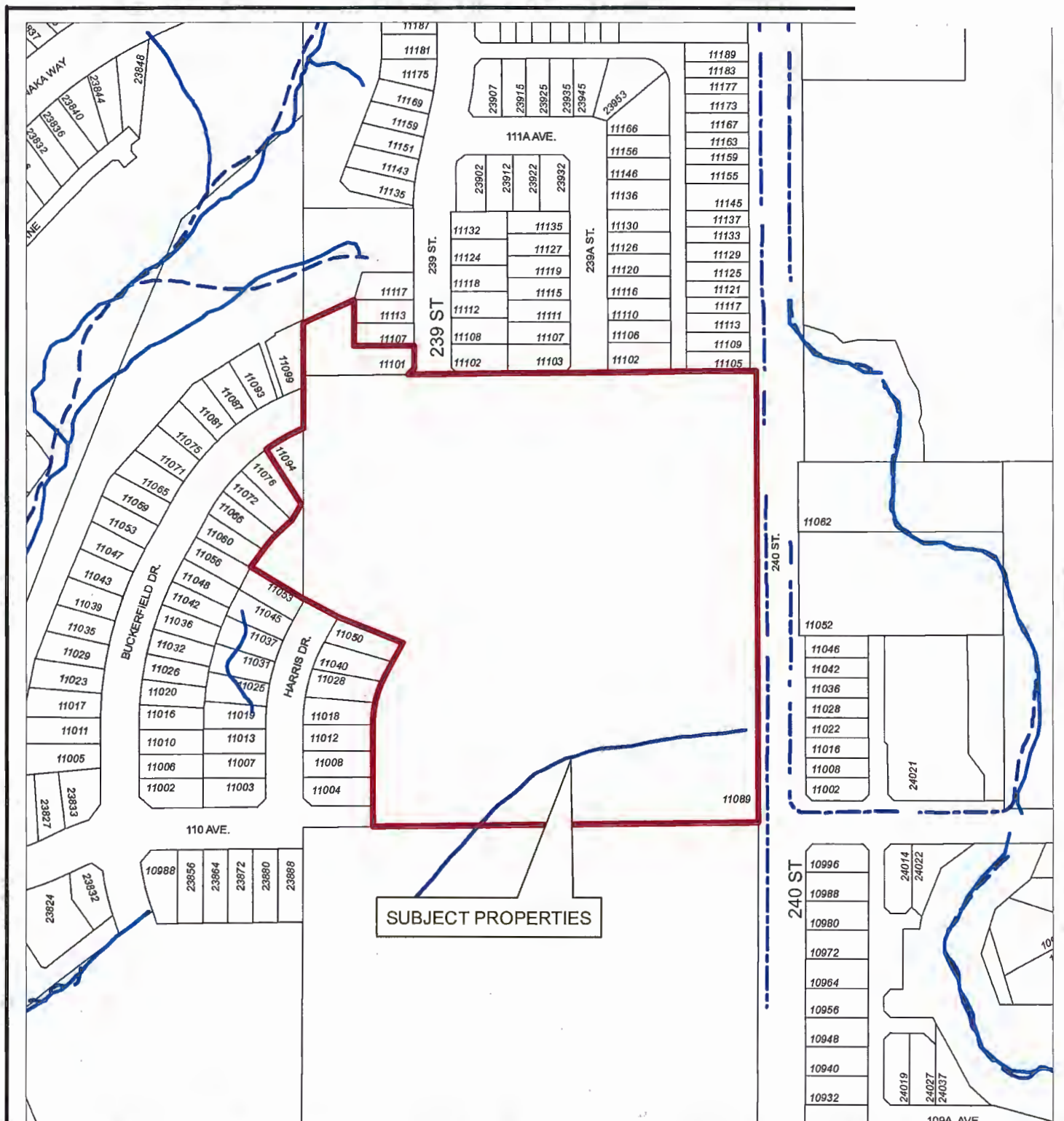
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Al Horsman"

Concurrence: **Al Horsman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Subdivision Plan
Appendix D – Zone Amending Bylaw No. 7701-2021
Appendix E – Development Information Meeting Summary



SUBJECT PROPERTIES



Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Indefinite Creek

11089 240 ST, 11101 239 ST,
11904 BUCKERFIELD DR.

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2020-409-RZ
DATE: Nov 19, 2020

BY: BD



Scale: 1:2,500

Legend

- Stream
- - - Ditch Centreline
- - - Indefinite Creek

11089 240 ST, 11101 239 ST,
11904 BUCKERFIELD DR.

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2020-409-RZ
DATE: Nov 19, 2020

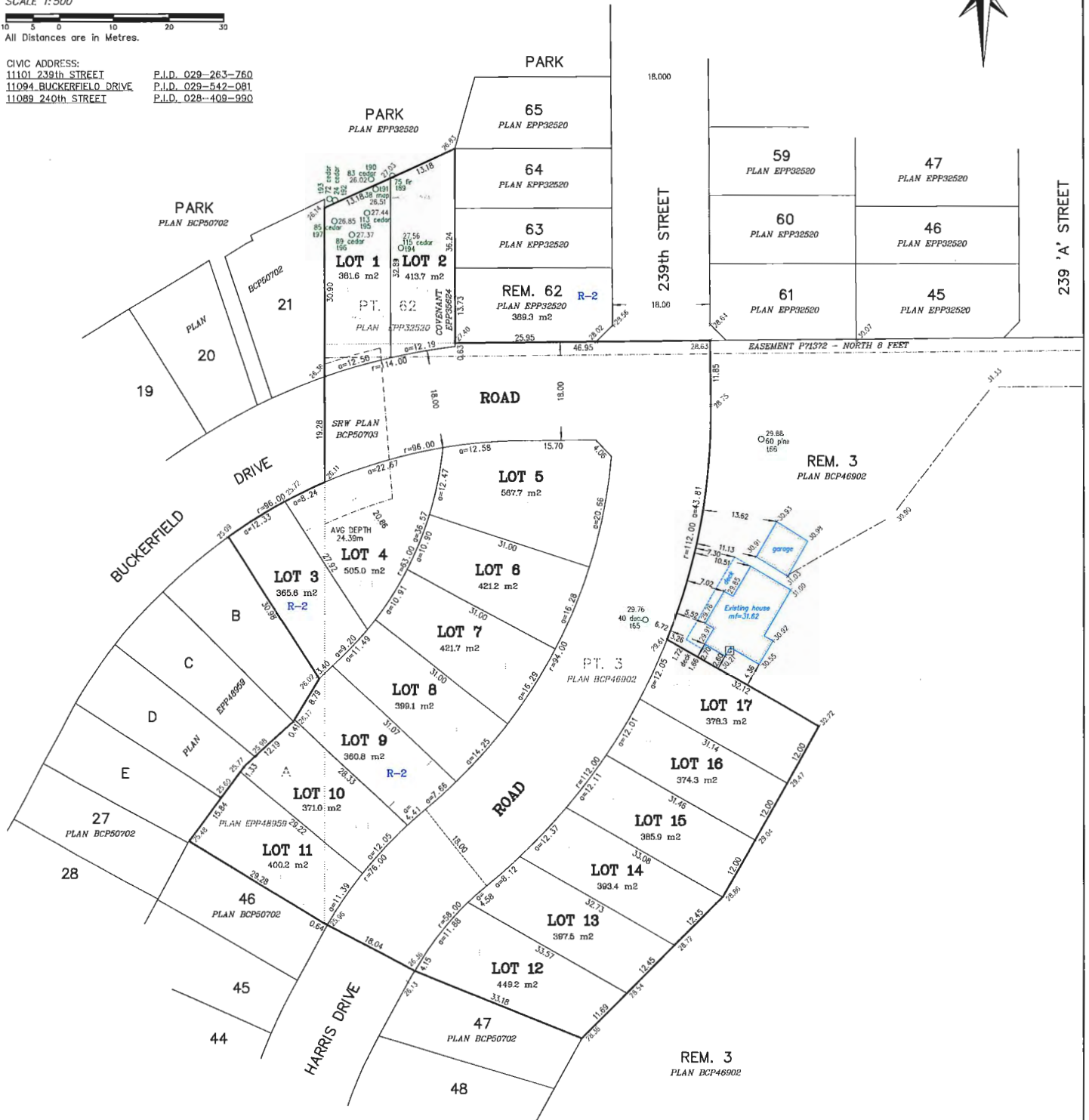
BY: BD

**PRELIMINARY PLAN OF SUBDIVISION OF:
PART OF LOT 62, PLAN EPP32520;
LOT A, PLAN EPP48959 AND OF
PART OF LOT 3, PLAN BCP46902 ALL OF
DISTRICT LOT 404, GROUP 2, N.W.D.**

SCALE 1:500

10 5 0 10 20 30
All Distances are in Metres.

CIVIC ADDRESS:
11101 239th STREET P.I.D. 029-263-760
11094 BUCKERFIELD DRIVE P.I.D. 029-542-081
11089 240th STREET P.I.D. 028-409-990



CORPORATE OFFICER



580 – 8621 201 Street
 Langley, BC V2Y 0G9
 Head Office: 604-521-0038
 Fax: 604-521-0078
 www.mstarhomes.com

August 24, 2021

Planning Department
 City of Maple Ridge
 11995 Hancey Place, Maple Ridge

Attention: Rene Tardif

Re: 2020-409-RZ – Subdivision Application:
1089 240 Street, 11101 239 Street, and 11094 Buckerfield Drive, Maple Ridge

Summary of PCO Concerns & Responses:

Participant 2: Request for stop signs for traffic calming purposes at the proposed 3-way intersection.

Response: Relayed his concern to the City and noted that the City will ultimately be the ones making this decision as guided by transportation and engineering guidelines set by the province. We will follow-up with this owner as soon as a decision regarding this matter has been made.

Participant 6: Concerned about weeds growing on adjacent property that is a part of the subdivision which are impacting their property.

Response: We sent our landscaper (GLE) to remove weeds per their request.

Participant 6: Concerned about existing drainage issues and the removal of a temporary French drain used on the lot adjacent to them which is a part of the proposed subdivision

Response: We recognized that water pools on existing farmland where the proposed subdivision will be developed and noted that the French drain will be removed, but drainage should improve once a permanent stormwater management plan is implemented which meets the City's 3 tier principals.

Participant 6: Concerned about increased street parking upon the completion of the subdivision

Response: There will be additional frontage created in our development which will provide for more on-street parking, and each home will have 4 on lot private parking spaces (two in the garage and two in the driveway).

Participant 6: Concerned about construction traffic during the build out of the project.

Response: The City determines the flow of construction traffic during detailed design, as part of the traffic management plan. We also have internal policies in place to ensure that trucks and machinery move efficiently with as little disruption to the neighbourhood as possible.

Participant 7: General concerns about development, such as connecting existing roads that presently dead-end, removal of greenspace, increase in traffic & noise during and after construction, damage to existing houses caused by construction-related activities (ground-shaking), and overall changes to the neighbourhood feel.

Response: We acknowledged that development may not be ideal of everyone, but we will address any concerns raised by neighbours during the construction process in a timely manner. Our development completes two adjacent developments by connecting 3 dead-end roads, which were always intended to connect, so there is limited flexibility in changing the road patterns set by previous developments.

Participant 8 & 9: Both owners expressed concerns about weeds and shrubs becoming overgrown where 239 Street dead-ends, as it is often used for parking.

Response: We have arranged for our landscaper (GLE) to clean up this area later this month.