



City of Maple Ridge

# **PUBLIC HEARING**

**February 15, 2022**

CITY OF MAPLE RIDGE

PUBLIC HEARING AGENDA

February 15, 2022

7:00 pm

Virtual Online Meeting including Council Chambers

*The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.*

*For virtual public participation register by going to <https://www.mapleridge.ca/640/Council-Meetings> and clicking on the meeting date.*

*This Agenda is also posted on the City's Website at: [www.mapleridge.ca/AgendaCenter](http://www.mapleridge.ca/AgendaCenter)*

- 1) **2020-411-RZ, 21429 121 Avenue**  
Lot C District Lot 245 Group 1 New Westminster District Plan 19628

The subject application is to permit the future subdivision of two lots.

- 1a) **Maple Ridge Zone Amending Bylaw No. 7689-2020**  
To rezone from RS-1 (Single Detached Residential) to R-1 (Single Detached (Low Density) Urban Residential).

- 2) **2019-119-RZ, 12791 232 Street**  
Lot 44 Section 20 Township 12 New Westminster District Plan 30199

The subject application is to permit the future construction of a 2,055 m<sup>2</sup> (22,120 ft<sup>2</sup>) two-storey commercial building.

- 2a) **Maple Ridge Official Community Amending Bylaw No. 7557-2019**  
To redesignate the subject property from *Agricultural* to *Commercial*.
- 2b) **Maple Ridge Zone Amending Bylaw No. 7558-2019**  
To rezone from RS-2 (Single Detached Suburban Residential) to CS-1 (Service Commercial).

- 3) **2019-239-RZ, 12610 228 Street**  
Parcel "A" (Reference Plan 22408) Lot 3 Section 20 Township 12 New Westminster  
District Plan 5430

The subject application is to permit the future subdivision of approximately eight lots over two phases.

- 3a) **Maple Ridge Zone Amending Bylaw No. 7574-2019**  
To rezone from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential).

- 4) **2021-062-RZ, 25927 and 25801 128 Avenue**  
Parcel "A" (Reference Plan 3015) of the South West Quarter Section 25 Township 12 except:  
Parcel "ONE" (Reference Plan 17316) New Westminster Land District; and  
Parcel "ONE" (Reference Plan 17316) of Parcel "A" (Reference Plan 3015) of the South West  
Quarter Section 25 Township 12 New Westminster Land District

The subject application is to permit an Outdoor Commercial Recreation (outdoor paintball and laser tag) use within a defined portion of forested land in the southern part of the subject properties.

- 4a) **Maple Ridge Official Community Amending Bylaw No. 7715-2021**  
To amend Policy 6-64 to include that until Policy 6-60 is satisfied, uses that contribute to employment opportunities and do not require construction of permanent structures or servicing upgrades, may be considered on a case by case basis.

- 4b) **Maple Ridge Zone Amending Bylaw No. 7716-2021**  
To amend Section 502 A-2 Upland Agricultural, 502.2 Permitted Principal Uses to include Outdoor Commercial Recreation, limited to outdoor paintball and laser tag, and non-permanent structures used for play and preparation on the subject properties.

## CITY OF MAPLE RIDGE

### NOTICE OF VIRTUAL ONLINE PUBLIC HEARING

**TAKE NOTICE THAT A PUBLIC HEARING is scheduled for Tuesday, February 15, 2022 at 7:00 p.m.**

This meeting is an online virtual meeting to be hosted in Council Chambers at City Hall, 11995 Haney Place, Maple Ridge.

For virtual online participation, access the link at: [www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) and click on the meeting date to register.

For viewing only, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the February 15, 2022 Public Hearing presentation video;

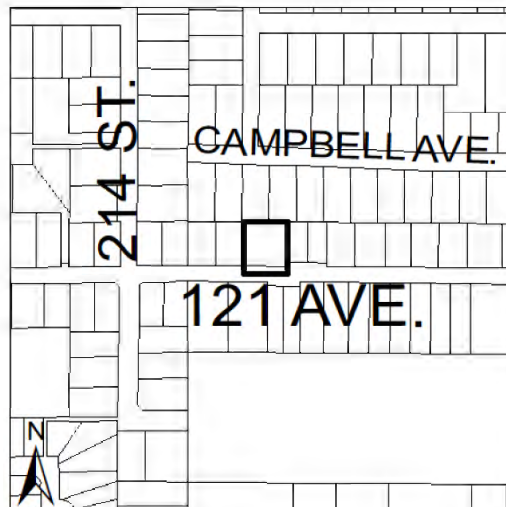
The Public Hearing Agenda and full reports are posted on the City's Website at [www.mapleridge.ca/AgendaCenter](http://www.mapleridge.ca/AgendaCenter) (see: Public Hearing).

This Public Hearing is held in order to consider the following bylaws:

- 1) **2020-411-RZ, 21429 121 Avenue**  
Lot C District Lot 245 Group 1 New Westminster District Plan 19628

The subject application is to permit the future subdivision of two lots.

- 1a) **Maple Ridge Zone Amending Bylaw No. 7689-2020**  
To rezone from RS-1 (Single Detached Residential) to R-1 (Single Detached (Low Density) Urban Residential).



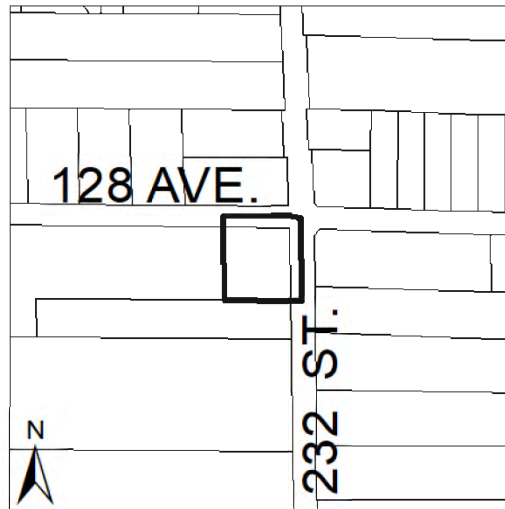


- 2) **2019-119-RZ, 12791 232 Street**  
Lot 44 Section 20 Township 12 New Westminster District Plan 30199

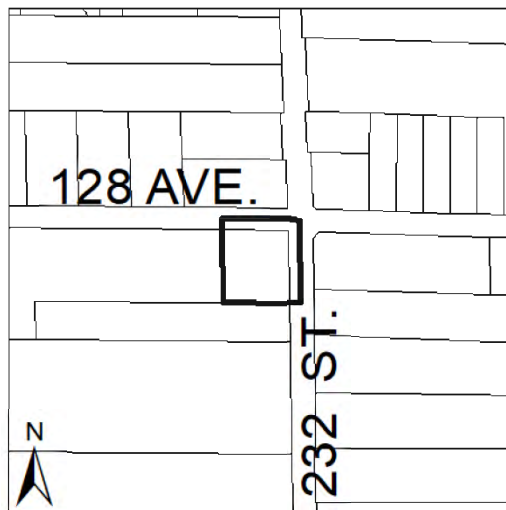
The subject application is to permit the future construction of a 2,055 m<sup>2</sup> (22,120 ft<sup>2</sup>) two-storey commercial building.



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To redesignate the subject property from *Agricultural* to *Commercial*.



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To rezone from RS-2 (Single Detached Suburban Residential) to CS-1 (Service Commercial).



3) **2019-239-RZ, 12610 228 Street**

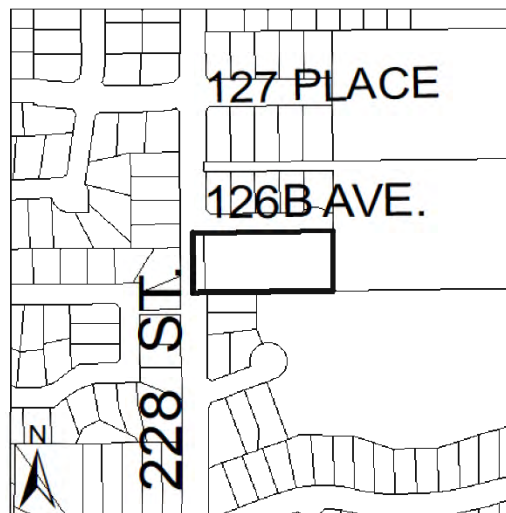
Parcel "A" (Reference Plan 22408) Lot 3 Section 20 Township 12 New Westminster  
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The subject application is to permit the future subdivision of approximately eight lots over two phases.

3a) **Maple Ridge Zone Amending Bylaw No. 7574-2019**

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4)

**2021-062-RZ, 25927 and 25801 128 Avenue**

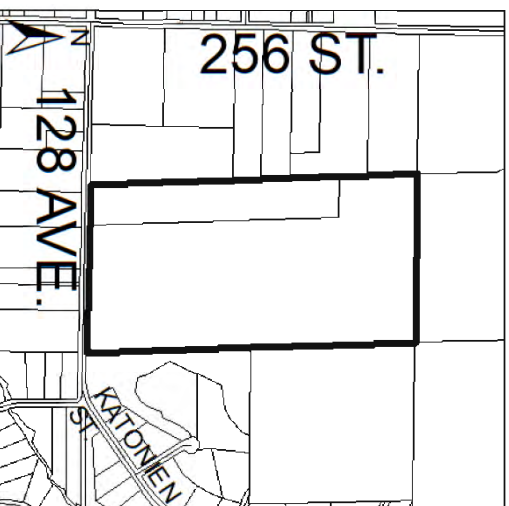
Parcel "A" (Reference Plan 3015) of the South West Quarter Section 25 Township 12 except: Parcel "ONE" (Reference Plan 17316) New Westminster Land District; and Parcel "ONE" (Reference Plan 17316) of Parcel "A" (Reference Plan 3015) of the South West Quarter Section 25 Township 12 New Westminster Land District

The subject application is to permit an Outdoor Commercial Recreation (outdoor paintball and laser tag) use within a defined portion of forested land in the southern part of the subject properties.



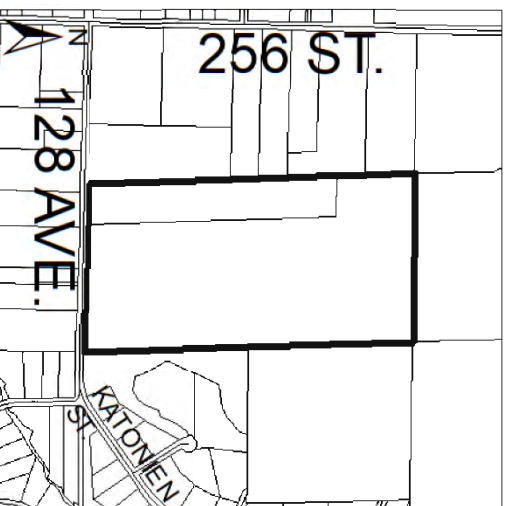
**4a) Maple Ridge Official Community Amending Bylaw No. 7715-2021**

To amend Policy 6-64 to include that until Policy 6-60 is satisfied, uses that contribute to employment opportunities and do not require construction of permanent structures or servicing upgrades, may be considered on a case by case basis.



**4b) Maple Ridge Zone Amending Bylaw No. 7716-2021**

To amend Section 502 A-2 Upland Agricultural, 502.2 Permitted Principal Uses to include Outdoor Commercial Recreation, limited to outdoor paintball and laser tag, and non-permanent structures used for play and preparation on the subject properties.



**AND FURTHER TAKE NOTICE** that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council to be relevant to the matters contained in the bylaws are available for viewing on the City's Land Development Viewer site at:  
<https://gis.mapleridge.ca/LandDevelopmentViewer/LandDevelopmentViewer.html>

It is important to ensure that our democratic processes continue to function and that the work of the City remains transparent for all citizens while mitigating risks posed by COVID-19. This Public Hearing pertaining to the aforesaid bylaws will be conducted virtually using the links set out below.

**ALL PERSONS** who believe themselves affected by the above-mentioned bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws. Please note that all written submissions provided in response to this notice will become part of the public record which includes the submissions being made available for public inspection.

- **For virtual online participation, access the link at:** [www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) **and click on the meeting date to register.** When registering you will be asked to give your name and address, to give Council your proximity to the land that is the subject of the application. We ask that you have your camera on during the Public Hearing;
- **For viewing only,** access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the February 15, 2022 Public Hearing presentation video;
- **To submit correspondence** prior to the Public Hearing, provide written submissions to the Corporate Officer **by 12:00 Noon, Tuesday, February 15, 2022 (quoting file number)** via drop-box at City Hall or by mail to 11995 Haney Place, Maple Ridge, V2X 6A9; or,
- **To email correspondence,** forward written submissions to [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) to the attention of the Corporate Officer, **by 12:00 Noon, Tuesday, February 15, 2022 (quoting file number).**

Dated this 2<sup>nd</sup> day of February, 2022.

Stephanie Nichols  
Corporate Officer

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** Second Reading  
Zone Amending Bylaw No. 7689-2020  
21429 121 Avenue

**MEETING DATE:** January 11, 2022  
**FILE NO:** 2020-411-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property located at 21429 121 Avenue from RS-1 (Single Detached Residential) to R-1 (Single Detached (Low Density) Urban Residential), to permit a future subdivision of two lots. Council granted first reading to Zone Amending Bylaw No. 7689-2020 on January 12, 2021. The subject property is approximately 1,100 m<sup>2</sup> and the minimum lot size for the proposed zone is 371 m<sup>2</sup>.

This application is in compliance with the Official Community Plan.

As per Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program. The CAC rates in Policy 6.31 are currently under review and if approved at an upcoming Council meeting this application may be subject to new rates.

**RECOMMENDATIONS:**

1. That Zone Amending Bylaw No. 7689-2020 be given second reading, and be forwarded to Public Hearing; and further
2. That the following terms and conditions be met prior to final reading:
  - i) Road dedication on 121 Avenue as required;
  - ii) Removal of existing buildings;
  - iii) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site; and
  - iv) That a voluntary contribution, in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions, be provided.

## DISCUSSION:

### 1. Background Context:

Applicant: True Light Building & Development

Legal Description: Lot C District Lot 245 Group 1 New Westminster District Plan 1962

OCP: Existing: Urban Residential  
Proposed: Urban Residential

Within Urban Area Boundary: Yes  
Area Plan: Not Applicable  
OCP Major Corridor: Yes

Zoning: Existing: RS-1 (Single Detached Residential)  
Proposed: R-1 (Single Detached (Low Density) Urban Residential)

#### Surrounding Uses:

North:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
South:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential) and R-1 (Single Detached (Low Density) Urban Residential)
	Designation:	Urban Residential
East:	Use:	Single-Family Residential
	Zone	R-1 (Single Detached (Low Density) Urban Residential)
	Designation:	Urban Residential
West:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential

Existing Use of Property: Single-Family Residential  
Proposed Use of Property: Single-Family Residential  
Site Area: 1,100 m<sup>2</sup> (0.25 acre)  
Access: 121 Avenue  
Servicing: Urban Standard  
Companion Applications: 2020-411-SD

### 2. Project Description:

The subject property is bounded by single family residential lots and 121 Avenue to the south, and is generally flat with hedges as perimeter fencing. The current application proposes to rezone the subject property from RS-1 (Single Detached Residential) to R-1 (Single Detached (Low Density) Urban Residential), in order to create two single family residential lots of approximately 507 m<sup>2</sup> in area, after road dedication of approximately 2.8m (see Appendix A). The two new lots are each approximately 30.5 metres in depth and 16.6 metres wide.

### **3. Planning Analysis:**

#### **i) Official Community Plan:**

The subject property is located at 21429 121 Avenue, and designated *Urban Residential*. 121 Avenue is considered a Collector Road under the City's road classification and is a Major Corridor under the OCP. Characteristics for Major Corridor Residential Infill includes ground-oriented housing forms such as single detached dwellings, garden suites, duplexes, triplexes, fourplexes, courtyard residential developments, townhouses, apartments, or small lot intensive residential, subject to compliance with Major Corridor Residential Infill policies. Neighbouring lots to the south and east are R-1 zoned properties, therefore the proposed R-1 zone fits the neighbourhood context, and is in compliance with the designation (see Appendix B).

#### **ii) Zoning Bylaw:**

The minimum lot size for the proposed R-1 zone is 371 m<sup>2</sup> and requires a minimum width of 12 metres and a minimum lot depth of 24 metres. The applicant is proposing two lots of each approximately 507.4 m<sup>2</sup>, 16.6 metres wide and 30.5 metres deep. (see Appendix C)

#### **iii) Proposed Variances:**

No variances are required for the proposed

#### **iv) Advisory Design Panel:**

As the applicant is proposing a two-lot subdivision, a review by the Advisory Design Panel is not required.

#### **v) Development Information Meeting:**

As fewer than five lots are proposed, no Development Information Meeting is required.

### **4. Interdepartmental Implications:**

#### **i) Engineering Department:**

Road dedication of 2.8 metres from 121 Avenue is required. The proposed development has proven out that the subdivision is technically feasible and will be required to enter into a servicing agreement with the City at the subdivision stage.

## CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7689-2020, and that application 2021-411-RZ be forwarded to Public Hearing.

"Original signed by Therese Melser"

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*Prepared by:* **Therese Melser**  
**Planning Technician**

"Original signed by Charles Goddard"

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*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

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*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

"Original approved by Scott Hartman"

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*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – Zone Amending Bylaw No. 7689-2020  
Appendix D – Site Plan





BY:BD

Active Applications (RZ/SD/DP/VP)

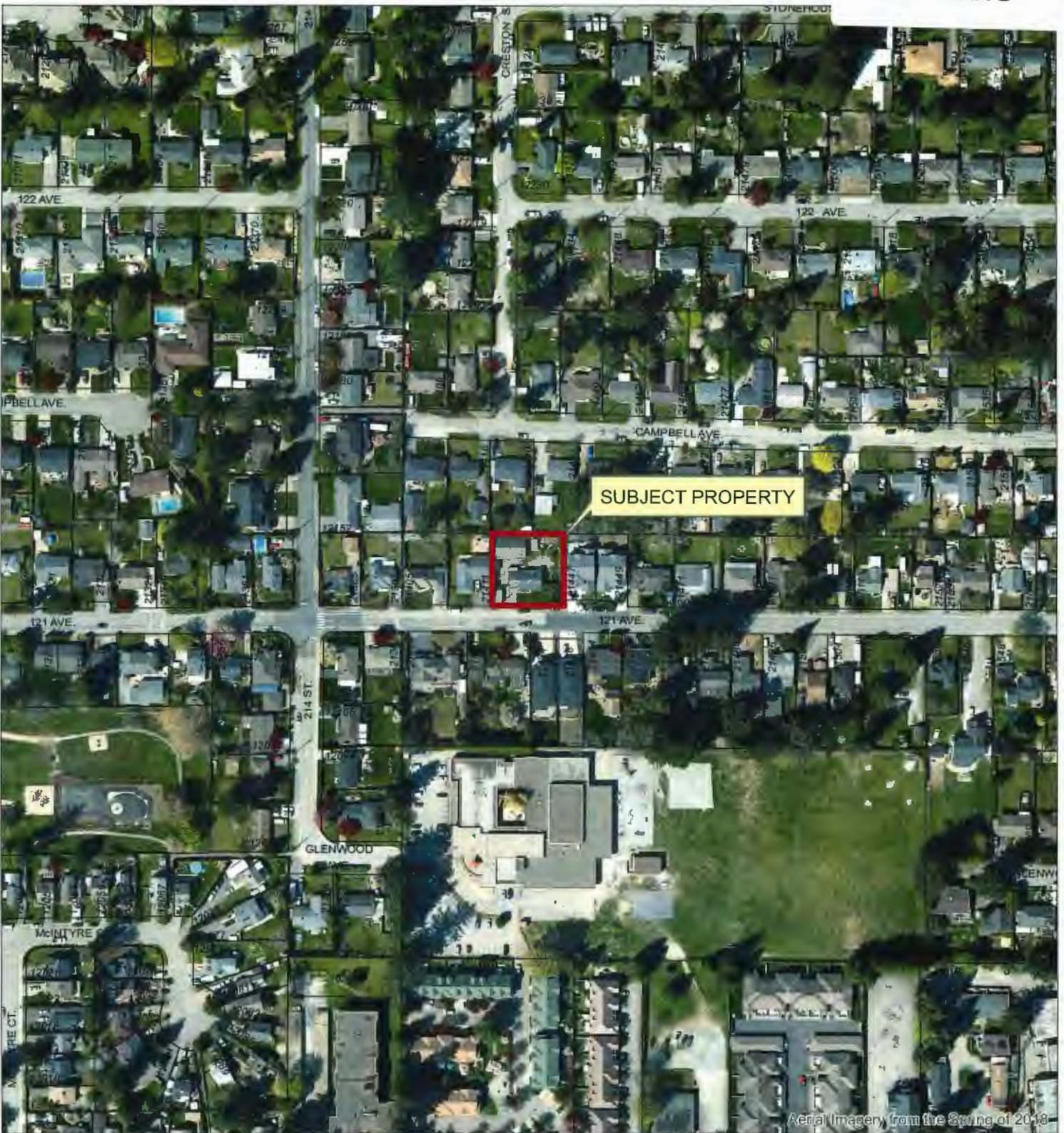


**MAPLE RIDGE**  
British Columbia

PLANNING DEPARTMENT

21429 121 AVENUE  
P.I.D.010-509-739





Scale: 1:2,500

21429 121 AVENUE  
P.I.D.010-509-739

PLANNING DEPARTMENT



MAPLE RIDGE  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2020-411-SD / 2020-411-RZ

DATE: Nov 23, 2020

BY: BD





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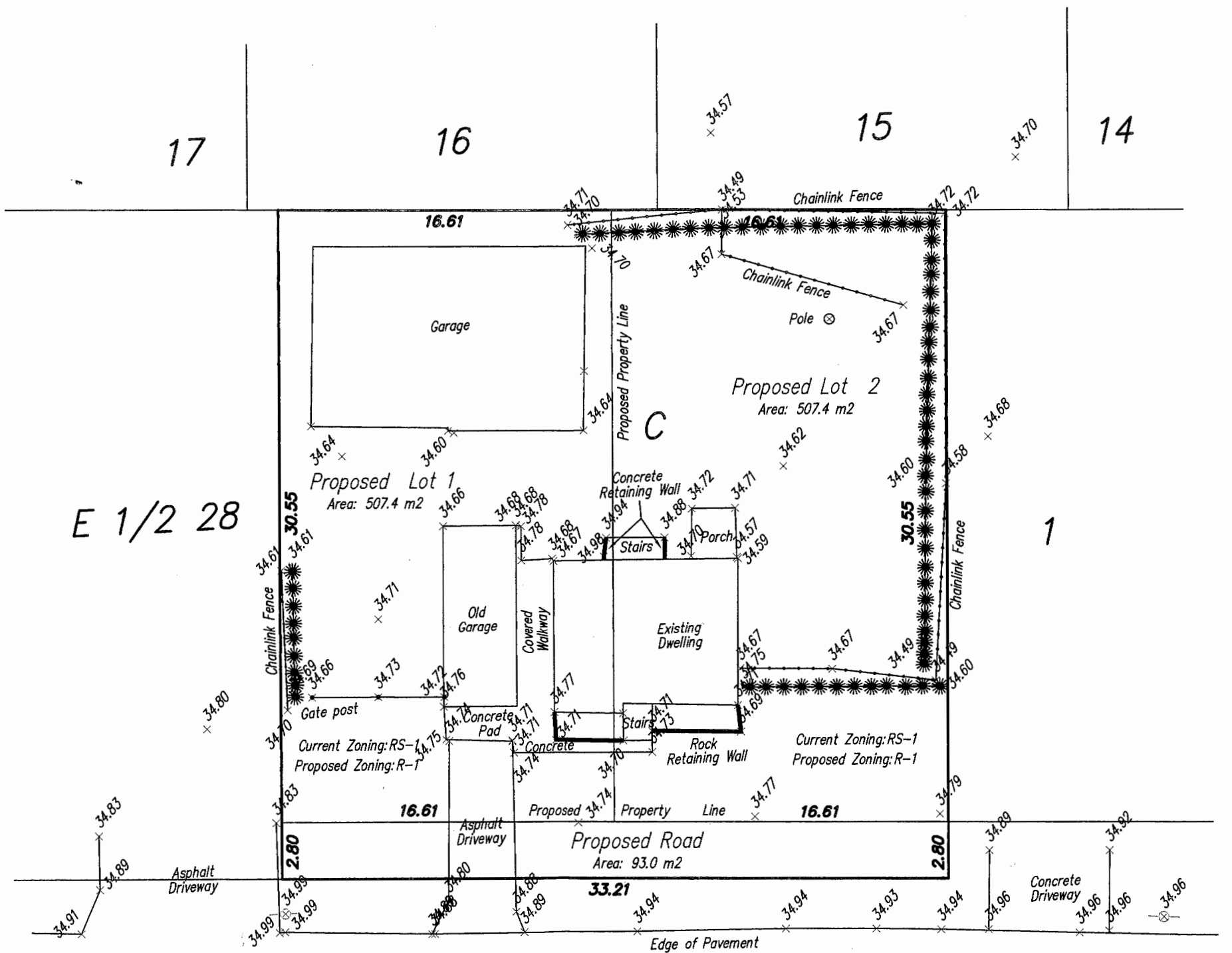
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**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **First and Second Reading**  
**Official Community Plan Amending Bylaw No. 7557-2019**  
**Second Reading**  
**Zone Amending Bylaw No. 7558-2019**  
**12791 232 Street**

**MEETING DATE:** January 18, 2022  
**FILE NO:** 2019-119-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property located at 12791 232 Street, from RS-2 (Single Detached Suburban Residential) to CS-1 (Service Commercial) to permit the future construction of a two-storey commercial building. This application requires an amendment to the OCP to re-designate the land use from *Agricultural* to *Commercial*. Council granted first reading to Zone Amending Bylaw No. 7558-2019 and considered the early consultation requirements for the Official Community Plan (OCP) amendment on July 9, 2019.

The subject property was excluded from the Agricultural Land Reserve (ALR) in 2018, but it is still designated *Agricultural* and is outside of Maple Ridge's Urban Area Boundary and Metro Vancouver's Urban Containment Boundary. An application is required to Metro Vancouver to include the property within the Metro Vancouver Urban Containment Boundary and to be included in the Fraser Sewerage Area. The property is within the Yennadon Study Area, which has been identified in the Commercial and Industrial Strategy as future potential employment lands.

Amendments to the Regional Growth Strategy (RGS) are required as part of the application approval process, to align with regional land use planning and to connect to the sanitary sewer. Metro Vancouver is currently updating the RGS, and has indicated first and second reading of the amending bylaw is anticipated in February 2022, with an approval timeline for the document in late Summer or early Fall. Due to this process, amendments to the RGS by member jurisdictions will be paused until the new RGS is adopted. Through Metro 2050's review and comment process, Council has identified to Metro Vancouver their intention for several forthcoming regional land use amendments. The Yennadon Employment Lands were included in these future amendments, to accommodate a larger industrial land base in the community, including the subject property. Metro Vancouver is generally supportive of this land use by member jurisdictions. Notably, the City of Surrey recently submitted three regional land use amendments including the Campbell Heights Special Study Area, which will provide additional employment lands in the region. To that end, staff will forward the Yennadon Employment Lands land use re-designation to Metro Vancouver following third reading. At this time, staff expect both the subject application and the Yennadon Employment Lands re-designation to be sent to Metro Vancouver at the same time due to the proximity of the lands, the nature of the amendments, and the timing of the applications. Should the joint submission be received by Metro Vancouver during bylaw readings of the RGS, the joint submission will be held until adoption of the RGS. Should the RGS amendments be approved, a subsequent application for inclusion of the area into the Fraser Sewerage Area will be required.

This is a commercial development, therefore the Community Amenity Contribution Program does not apply. To proceed further with this application, additional information is required as outlined below.

## RECOMMENDATIONS:

- 1) That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7557-2019 on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
- 2) That Official Community Plan Amending Bylaw No. 7557-2019 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
- 3) That it be confirmed that Official Community Plan Amending Bylaw No. 7557-2019 is consistent with the Capital Expenditure Plan and Waste Management Plan;
- 4) That Statutory Right-of-Way BK216980 for servicing be discharged from Title;
- 5) That Official Community Plan Amending Bylaw No. 7557-2019 be given first and second readings and be forwarded to Public Hearing;
- 6) That Zone Amending Bylaw No. 7558-2019, as amended, be given second reading, and be forwarded to Public Hearing;
- 7) Subject to third reading to Official Community Plan Amending Bylaw No. 7557-2019, that staff be directed to include the Type 2 Minor Amendments related to 2019-119-RZ in the Yennadon Land Regional Growth Strategy amendment package, that will be forwarded to Metro Vancouver following third reading to Official Community Plan Amending Bylaws No. 7734-2021 and 7735-2021;
- 8) That the following terms and conditions be met prior to final reading:
  - i) Amendment to the Metro Vancouver Urban Containment Boundary;
  - ii) Inclusion of the subject property into the Fraser Sewerage Area. The proposed development must be connected to the municipal Sanitary Sewer. The septic system serving the previous dwelling must be decommissioned and removed, in accordance with Ministry of Health requirements, immediately upon connecting to the municipal Sanitary Sewer;
  - iii) Amendment to Official Community Plan Schedule "B";
  - iv) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - v) Road dedication on 232 Street and 128 Avenue, with a corner truncation, as required;
  - vi) Construction of an equestrian trail along 128 Avenue, as required;
  - vii) Registration of a Reciprocal Cross Access Easement to provide access to the adjacent property to the west once it redevelops;
  - viii) Registration of a Restrictive Covenant for Tree Protection;

- ix) **Registration of a Restrictive Covenant for Stormwater Management; and**
- x) **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.**

**DISCUSSION:**

**a) Background Context:**

Applicant:	K. Atwall
Legal Description:	Lot 44, Section 20, Township 12, New Westminster District Plan 30199
OCP:	
Existing:	Agricultural
Proposed:	Commercial
Zoning:	
Existing:	RS-2 (Single Detached Suburban Residential)
Proposed:	CS-1 (Service Commercial)
Surrounding Uses:	
North:	Use: Single Family Residential
	Zone: RS-2 (Single Detached Suburban Residential)
	Designation: Estate Suburban Residential
South:	Use: Single Family Residential
	Zone: RS-2 (Single Detached Suburban Residential) and RS-3 (Single Detached Rural Residential)
	Designation: Agricultural
East:	Use: Single Family Residential
	Zone: RS-2 (Single Detached Suburban Residential)
	Designation: Agricultural
West:	Use: Single Family Residential and Farm
	Zone: RS-2 (Single Detached Suburban Residential) and RS-3 (Single Detached Rural Residential)
	Designation: Agricultural
Existing Use of Property:	Vacant
Proposed Use of Property:	Commercial
Site Area:	0.4 ha (1.0 acre)
Access:	128 Avenue
Servicing requirement:	Urban Standard

**b) Project Description:**

The subject property, located at 12791 232 Street, is located at the south-west corner of 232 Street and 128 Avenue. The property is flat and vacant, with several trees located along the western and southern property lines (see Appendices A and B). The Douglas Fir tree located in the south-west corner is proposed to be retained. There are single-family homes on large, rural parcels, in all directions, with the exception of a service station located on the north-east corner of the intersection.



The applicant is proposing to re-designate the property from *Agricultural* to *Commercial* (see Appendix C) and to rezone the property from RS-2 (Single Detached Suburban Residential) to CS-1 (Service Commercial) (see Appendix D) to allow for a 2,055 m<sup>2</sup> (22,120 ft<sup>2</sup>) two-storey commercial development (see Appendices E, F, and G).

**c) Planning Analysis:**

**Official Community Plan:**

The subject property is designated *Agricultural* and is located outside of the Urban Area Boundary. The subject property was excluded from the Agricultural Land Reserve (ALR) in 2018, as it was less than 2 acres in size and considered too small to support an agricultural operation on its own, and exclusion would not negatively impact the agricultural viability of the adjacent ALR property to the west. For the proposed development, an OCP amendment will be required to re-designate the property to *Commercial* to allow the proposed CS-1 (Service Commercial) zoning.

This property is located within the Yennadon Lands study area, a 25.4 ha (63 acre) site identified in the Commercial and Industrial Strategy for future employment land uses. OCP Amending Bylaws No. 7734-2021 and No. 7735-2021 to integrate the Yennadon Lands Concept Plan into the OCP were granted first reading on May 11, 2021. Previously, at the June 18, 2019 Council meeting, Council directed that any new applications, or those already in-stream that have not reached third reading, be deferred until any potential OCP amendments are presented at Public Hearing and given third reading, with the exception of applications that propose future employment land uses.

This application proposes future employment land uses; however, the proposed CS-1 (Service Commercial) zone is not anticipated to be a permitted zone under the proposed *Industrial - Employment Park* land use designation for the Yennadon Lands. The re-designation of the Yennadon Lands to *Industrial - Employment Park* is intended to support a new M-7 (Employment Park Industrial) zone, which would be similar to the M-3 (Business Park Industrial) zone, but would tailor the uses to be appropriate for the Employment Park. As this application received first reading on July 9, 2019, it is being considered under the originally proposed CS-1 (Service Commercial) zone and is proposed to be designated as *Commercial* within the Yennadon Lands Concept Plan.

**Regional Growth Strategy:**

In addition to the OCP land use designation and Urban Area Boundary, Metro Vancouver's Regional Growth Strategy (RGS) includes regional land use designations and an Urban Containment Boundary. The subject property has an *Agriculture* regional land use designation, is located outside of the Metro Vancouver Region's Urban Containment Boundary, and partially inside the Region's Fraser Sewerage Area, which delineates properties that are able to connect to the regional sanitary system.

Amendments to the RGS are required as part of the subject application approval process, to both align with regional land use planning and to be included in the Fraser Sewerage Area. The City submitted a request to the Greater Vancouver Sewerage and Drainage District Board for a sanitary connection for the subject property in September 2019 (see Appendix H).

Metro Vancouver is currently updating the RGS, and has indicated first and second reading of the amending bylaw is anticipated in February 2022, with an approval timeline for the document in late Summer or early Fall. Due to this process, amendments to the RGS by member jurisdictions will be paused until the new RGS is adopted. Through Metro 2050's review and comment process, Council has identified to Metro Vancouver their intention for several forthcoming regional land use

amendments. The Yennadon Employment Lands were included in these future amendments, to accommodate a larger industrial land base in the community, including the subject property. Metro Vancouver is generally supportive of this land use by member jurisdictions. Notably, the City of Surrey recently submitted three regional land use amendments including the Campbell Heights Special Study Area, which will provide additional employment lands in the region. To that end, staff will forward the Yennadon Employment Lands land use re-designation to Metro Vancouver following third reading. At this time, staff expect both the subject application and the Yennadon Employment Lands re-designation to be sent to Metro Vancouver at the same time due to the proximity of the lands, the nature of the amendments, and the timing of the applications. Should the joint submission be received by Metro Vancouver during bylaw readings of the RGS, the joint submission will be held until adoption of the RGS. Should the RGS amendments be approved, a subsequent application for inclusion of the area into the Fraser Sewerage Area will be required.

#### **Zoning Bylaw:**

The current application proposes to rezone the subject property from RS-2 (Single Detached Suburban Residential) to CS-1 (Service Commercial) to permit a two-storey commercial development. First reading was granted on July 9, 2019. Zoning Bylaw No. 7558-2019 has been amended to reflect the change from amending the former *Zoning Bylaw No. 3510-1985* to amending the current *Zoning Bylaw No. 7600-2019*.

Any variations from the requirements of the proposed zone will require a Development Variance Permit application, as discussed below.

#### **Off-Street Parking and Loading Bylaw:**

The *Off-Street Parking and Loading Bylaw No. 4350-1990* requires that developments provide 1 stall per 25m<sup>2</sup> gross floor area for commercial retail use, proposed for the first storey, resulting in a required 37 parking stalls. In addition, the office use proposed for the second storey requires 1 stall per 40m<sup>2</sup> gross floor area, resulting in a required 29 parking stalls, for a total required amount of 66 parking stalls. The ultimate site plan including the access easement to the west proposes 61 parking stalls; resulting in a shortage of 5 parking stalls, with nearly 20% of them being for small vehicles. The interim plan requires a turn-around for service vehicles until the neighbouring property to the west redevelops, results in a temporary provision of 58 parking stalls, and a temporary shortage of 8 parking stalls. One space is provided for accessible parking, which is located near the western main entrance to the building. One loading space is also provided along the western side of the building.

Bicycle parking spaces are not required outside of the Town Centre Area, however, the Commercial Development Permit Guidelines state that facilities for cyclist should be considered for all developments. Bicycle racks are proposed near the north-east and north-west corners of the building, allowing for 12 bicycles in total.

#### **Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations (see Appendix E):

- i. A reduced front yard setback from 9.0m (29.5 ft.) to 6.9m (22.6 ft.) to the building face and to 5.6m (18.4 ft.) to the canopy;
- ii. A reduced exterior side yard setback from 7.5m (24.6 ft.) to 6.0m (19.7 ft.) to the canopy;

- iii. An increase in height from 7.5m (24.6 ft.) to 8.5m (27.9 ft.) for screening of the roof mechanical units;
- iv. An interim parking shortfall of 8 parking stalls until the property to the west redevelops, and an ultimate shortfall of 5 parking stalls, plus an increase in small car stalls from the allowed 7 stalls to 12 stalls (10% to 19%); and
- v. To vary the requirement to underground the existing overhead wiring.

Staff support the proposed variances as the setback reductions are minor in nature; the allowed height will likely increase with the Yennadon Lands re-designation; and there is a large amount of parking available onsite that the minor temporary and permanent shortfall is supported in order to provide improved circulation and landscaping onsite. The proposed variances are subject to Council approval and will be the subject of a future report to Council.

#### **Development Permits:**

Pursuant to Section 8.5 of the OCP, a Commercial Development Permit application is currently required to address the proposal's compatibility with adjacent development, and to enhance the unique character of the community. It is anticipated that the Yennadon Lands Design Guidelines, which have been endorsed but not yet adopted, will apply to this area once the OCP amending bylaws have been adopted. The proposal generally complies with the draft Yennadon design guidelines.

#### **Advisory Design Panel:**

The Advisory Design Panel (ADP) reviewed the form and character of the proposed development and the landscaping plans at a meeting held on September 15, 2021.

The ADP concerns have been addressed and are reflected in the current plans. A summary of the resolutions and how the developer addressed the resolutions has been provided (see Appendix J). A detailed description of how these items were incorporated into the final design will be included in a future Commercial Development Permit report to Council.

#### **Development Information Meeting:**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between November 9 and November 19, 2021. The developer received two emails from residents with inquiries on the type of commercial being proposed and concerns around parking in the area. The applicant explained that the uses would be driven by the zone. The proposed development does not meet the *Off-Street Parking and Loading Bylaw* for number of parking stalls; however, staff are supporting the temporary minor shortfall in parking stalls to accommodate a safer turn-around onsite until the property to the west develops, and the permanent minor shortfall in parking to accommodate the access easement to the west.

**d) Interdepartmental Implications:**

**i. Engineering Department:**

The Engineering Department has identified that all the services required in support of this development do not yet exist. It will be necessary for the owner to enter into a Rezoning Servicing Agreement and provide the securities to do the required work in that Agreement. Comments received from the Engineering Department regarding site servicing are as follows:

- The City has not yet received confirmation from Metro Vancouver to permit the required sewer connection. A parallel sanitary sewer main will need to be constructed on 128 Avenue to service the property.
- A storm connection will be required and upgrades to the existing storm on 232 Street and/or downstream infrastructure will need to be reviewed.
- The watermain on 232 Street and 128 Avenue will need to be modelled to confirm available fire flow and determine if this development would trigger any capacity upgrades and/or downstream improvements.
- The three-tier stormwater management plan will need to be approved.
- Concrete curb, gutter, and sidewalk is required along 128 Avenue and 232 Street.
- Decorative streetlights and street trees will be required along 128 Avenue and 232 Street.
- Approximately 3m (9.8 ft.) of road dedication is required along 232 Street, and approximately 2m (6.6 ft.) of road dedication is required along 128 Avenue, plus a corner truncation.
- Funds to convert the overhead hydro servicing to underground in the future will be required and included in the Rezoning Servicing Agreement.
- A horse trail is required along 128 Avenue.

**ii. Building Department:**

The Building Department has reviewed the development application and has provided comments related to Building Code requirements which have been provided to the developer. These comments will be reviewed again at the Building Permit stage.

**e) School District No. 42 Comments:**

A referral was sent to School District No. 42 for the Yennadon Lands re-designation, and the following comments were received:

*"The proposed application would affect the student population for the catchment areas currently served by Yennadon Elementary and Garibaldi Secondary School.*

*Yennadon Elementary has an operating capacity of 628 students. For the 2020-21 school year, the student enrolment at Yennadon Elementary was 657 students (104.6% utilization) including 79 students from out of catchment.*

*Garibaldi Secondary School has an operating capacity of 1050 students. For the 2020-21 school year, the student enrolment at Garibaldi Secondary School was 946 (90% utilization) including 273 students from out of catchment."*

**f) Intergovernmental Issues:**

**Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

**ALTERNATIVE:**

As an alternative to the staff recommendation, Council could defer giving second reading and forwarding the application on to Public Hearing until the Yennadon Lands process is complete.

**CONCLUSION:**

It is recommended that first and second reading be given to OCP Amending Bylaw No. 7557-2019, that second reading be given to Zone Amending Bylaw No. 7558-2019, and that application 2019-119-RZ be forwarded to Public Hearing.

"Original signed by Michelle Baski"

---

*Prepared by:* **Michelle Baski, ASCT, MA**  
**Planner**

"Original signed by Charles Goddard"

---

*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

---

*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

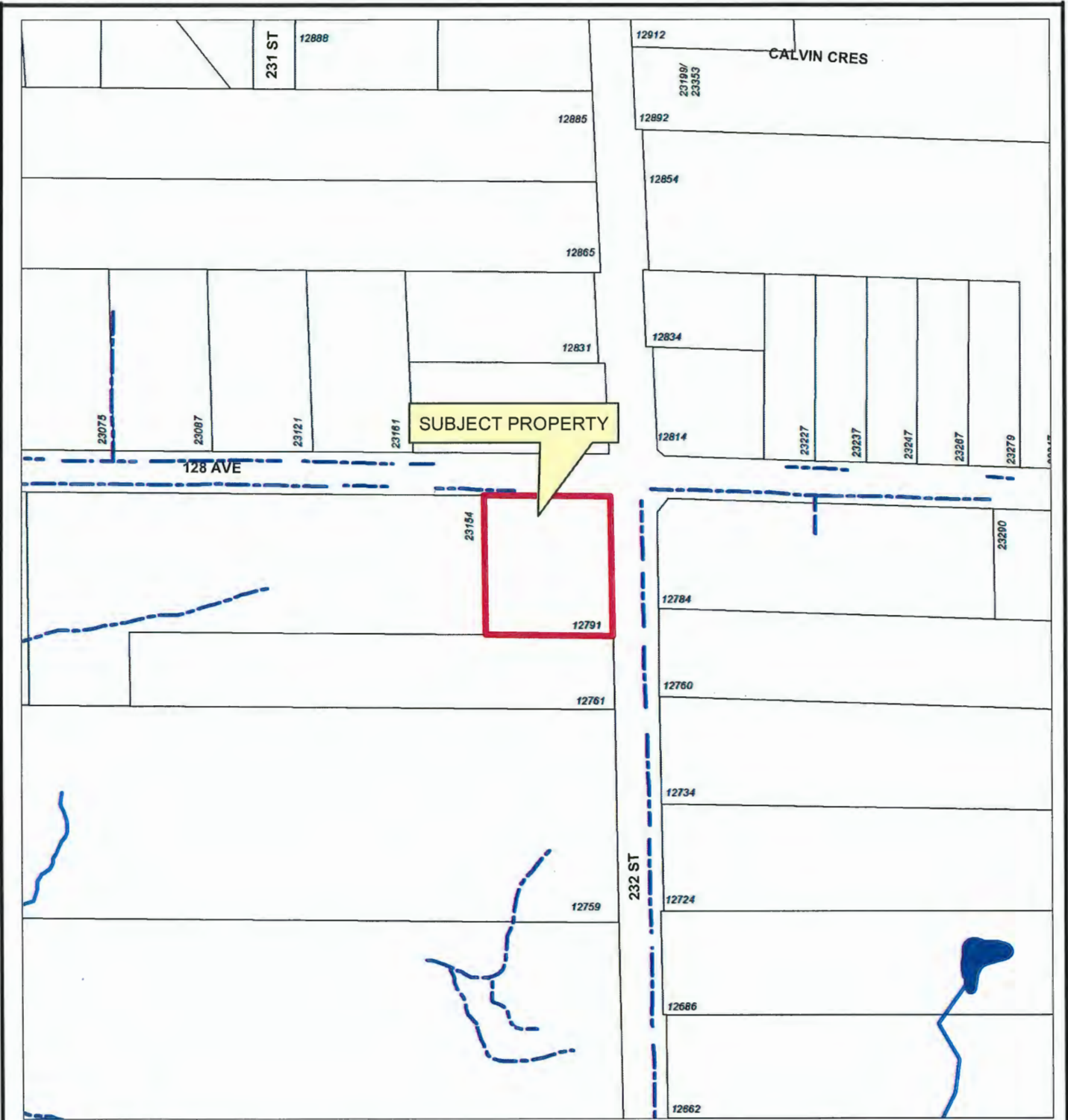
"Original signed by Scott Hartman"

---

*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**


The following appendices are attached hereto:

- Appendix A Subject Map
- Appendix B Ortho Map
- Appendix C OCP Amending Bylaw No. 7557-2019
- Appendix D Zone Amending Bylaw No. 7558-2019
- Appendix E Site Plan
- Appendix F Building Elevations
- Appendix G Landscape Plans
- Appendix H September 2019 Sanitary Service Connection Report
- Appendix I May 2021 Employment Lands Report
- Appendix J ADP Resolutions and Responses



Scale: 1:2,500

**Legend**

- Street Name Labels
-  Stream
-  Ditch Centreline
-  Lake or Reservoir

12791 232 St  
PID 003-269-477

ENGINEERING DEPARTMENT



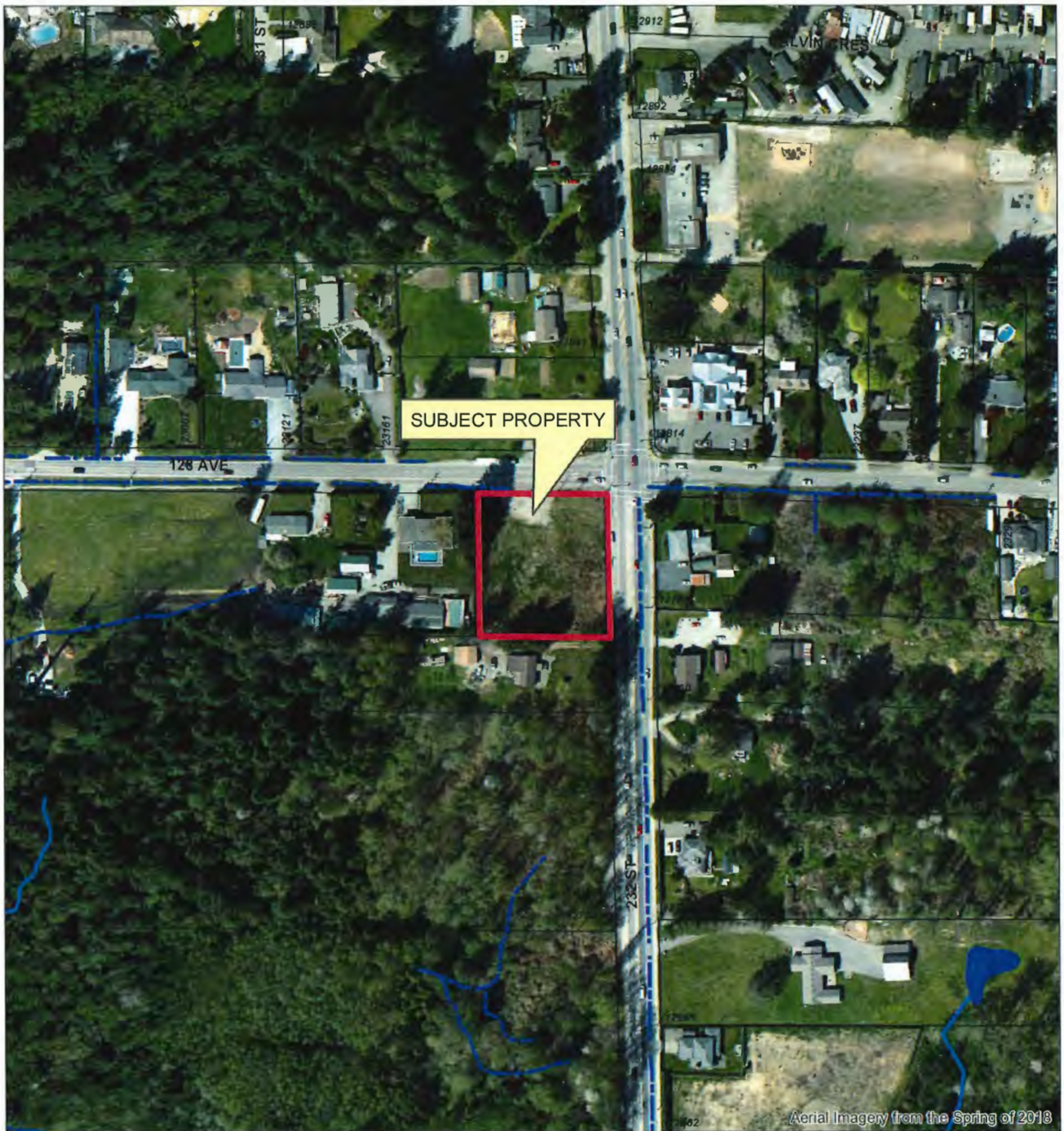
**MAPLE RIDGE**  
British Columbia

**mapleridge.ca**

FILE: 2019-119-RZ  
DATE: Apr 4, 2019

BY: MC

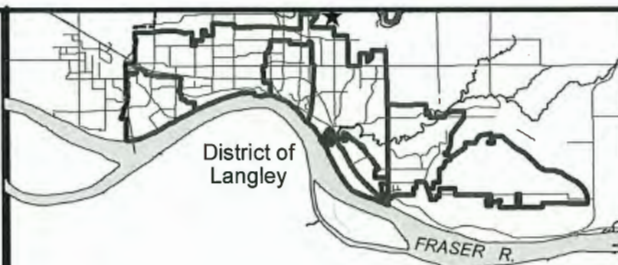




Aerial Imagery from the Spring of 2018



Scale: 1:2,500



12791 232 St  
PID 003-269-477

ENGINEERING DEPARTMENT



MAPLE RIDGE

British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-119-RZ  
DATE: Apr 4, 2019

BY: MC

CORPORATE OFFICER





CORPORATE OFFICER



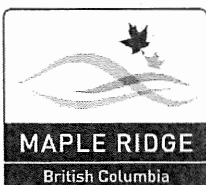
## MAPLE RIDGE ZONE AMENDING

Bylaw No. 7558-2019

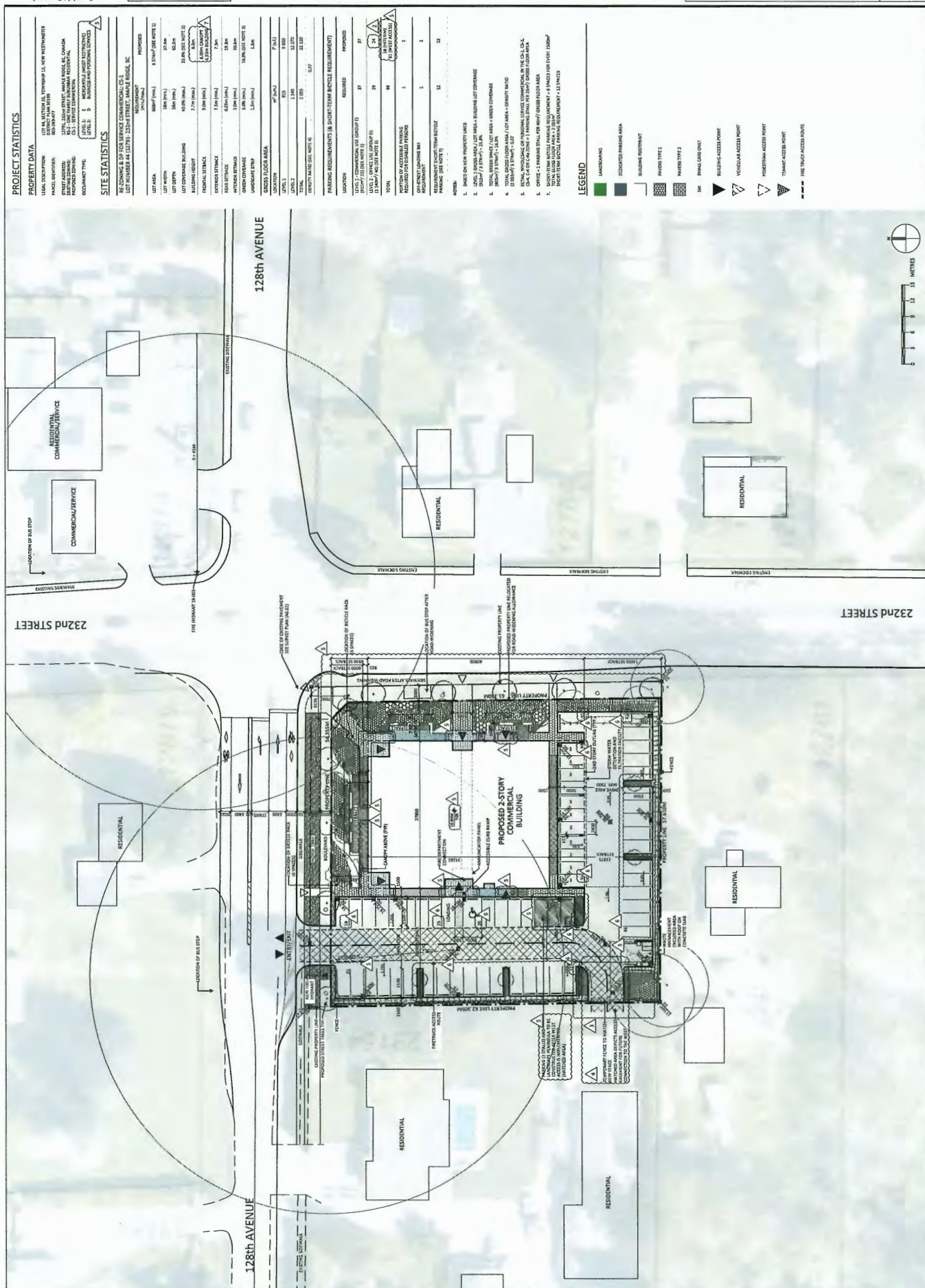
Map No. 1799

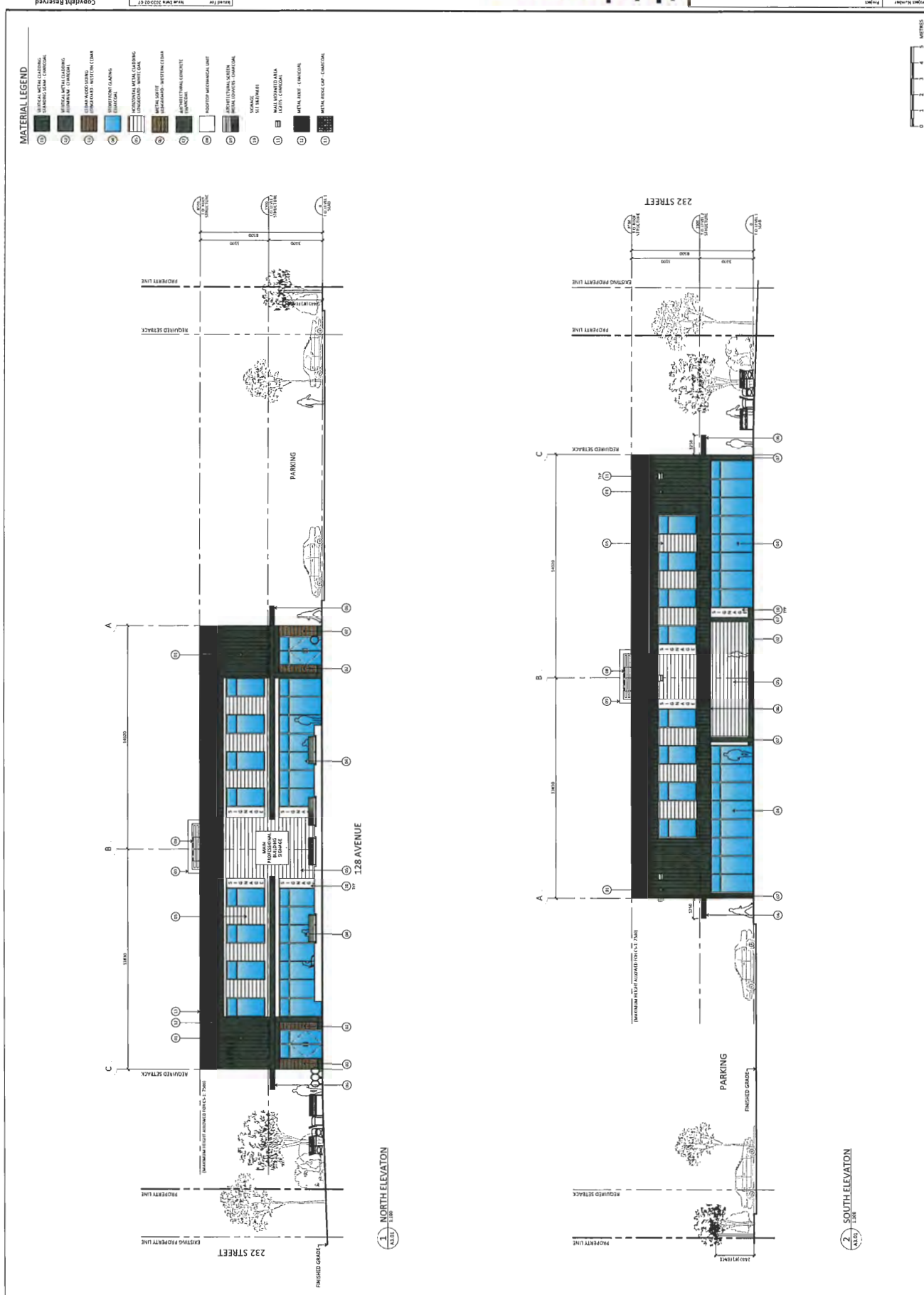
From: RS-2 (One Family Suburban Residential)

To: CS-1 (Service Commercial)

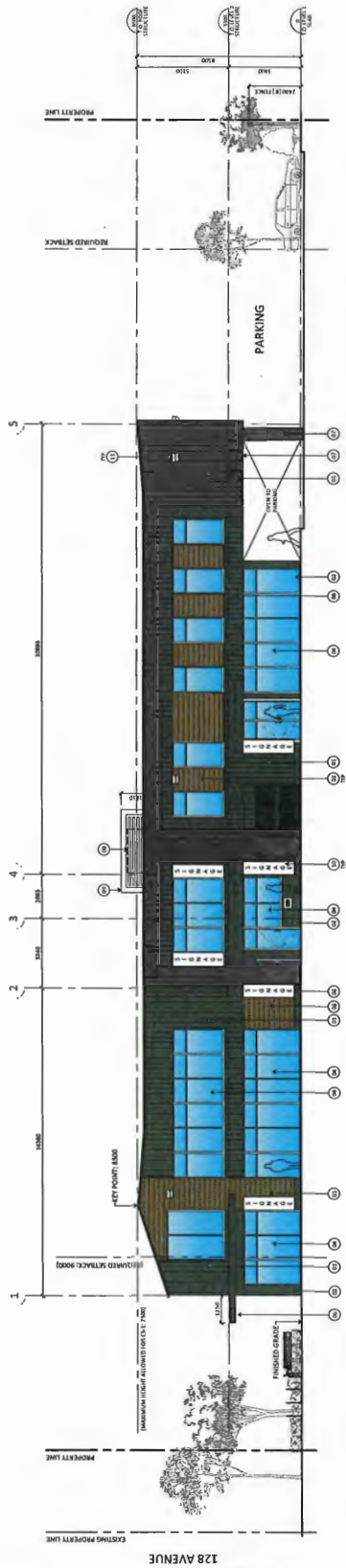


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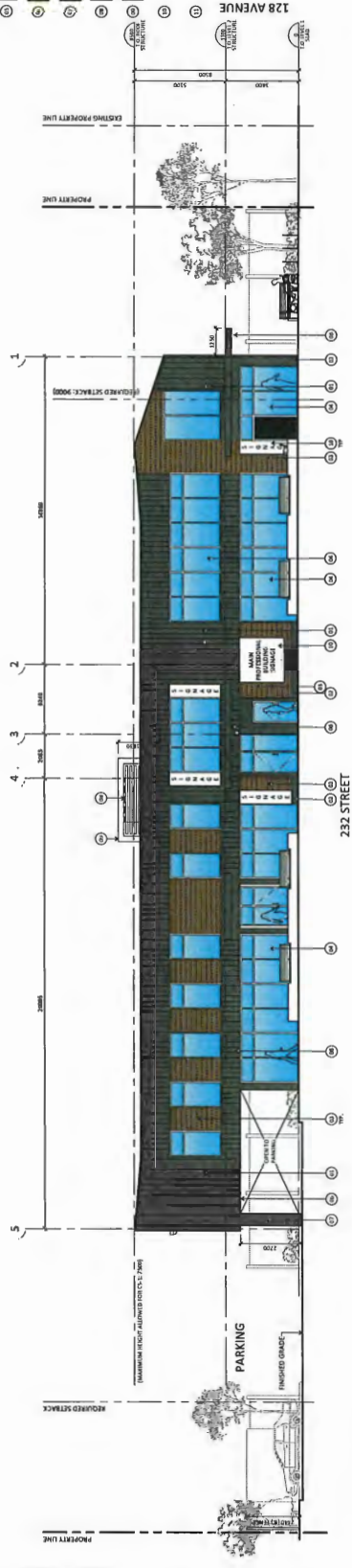








**2 WEST ELEVATION**  
 128 AVENUE

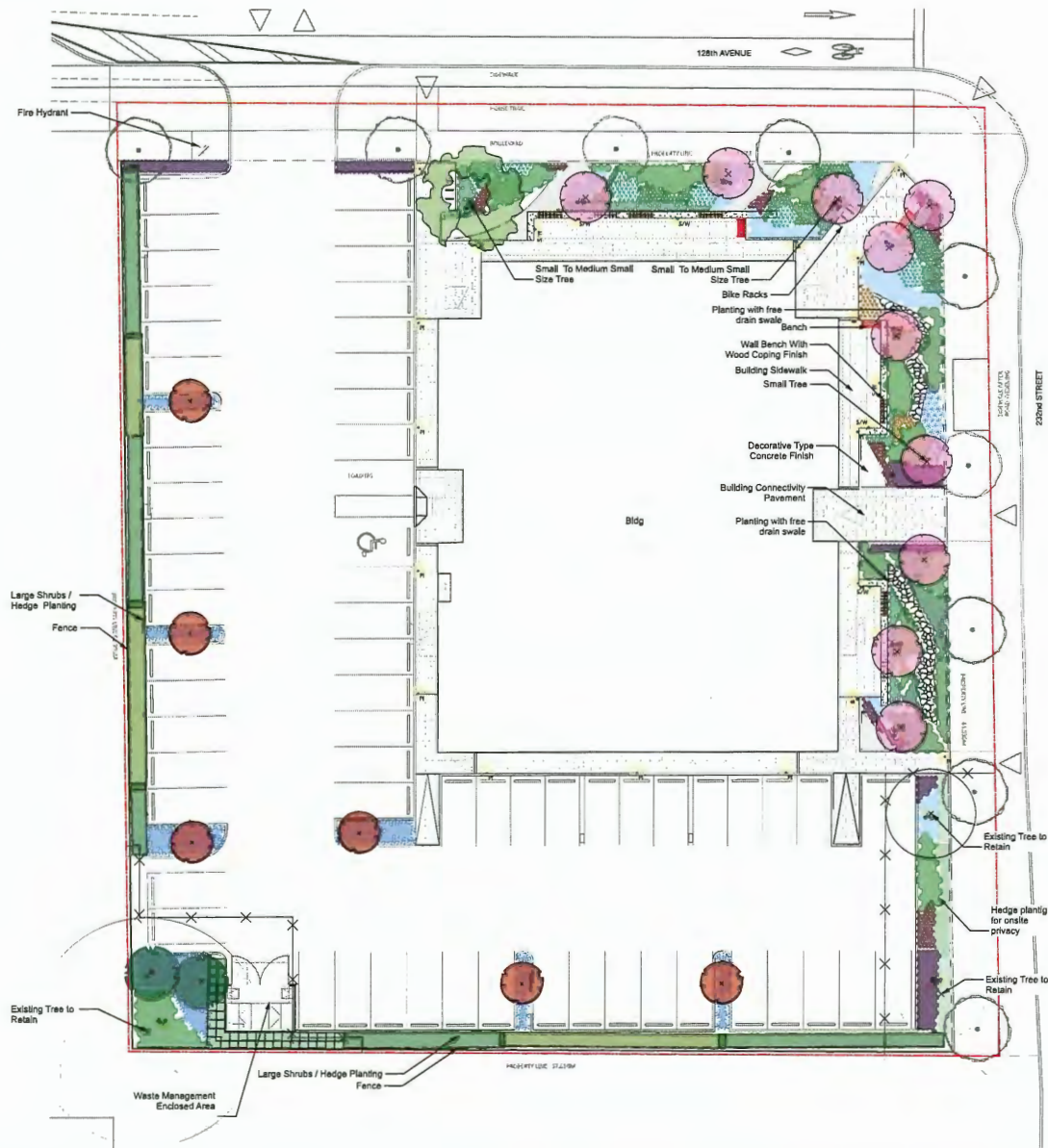


**1 EAST ELEVATION**  
 232 STREET

**MATERIAL LEGEND**

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1 Illustrative plan  
Scale: 1:150

Revision	No.	Date	Revision Notes
A	2020-01-14		Revising and Development Permit Application
B	2020-01-23		Revising and Development Permit Application Update
C	2020-12-03		Revising and Development Permit Application Update

Issue	No.	Date	Issue Notes
A	2019.10.28		ISSUED FOR REVIEW
B	2019.11.29		Issue for DP
C	2021.08.26		Revised for DP
D	2021.10-07		Revised for DP

Professional Seal

**eta** landscape architecture

1885 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H4

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W: www.eta.ca

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Project  
**Maple Ridge**

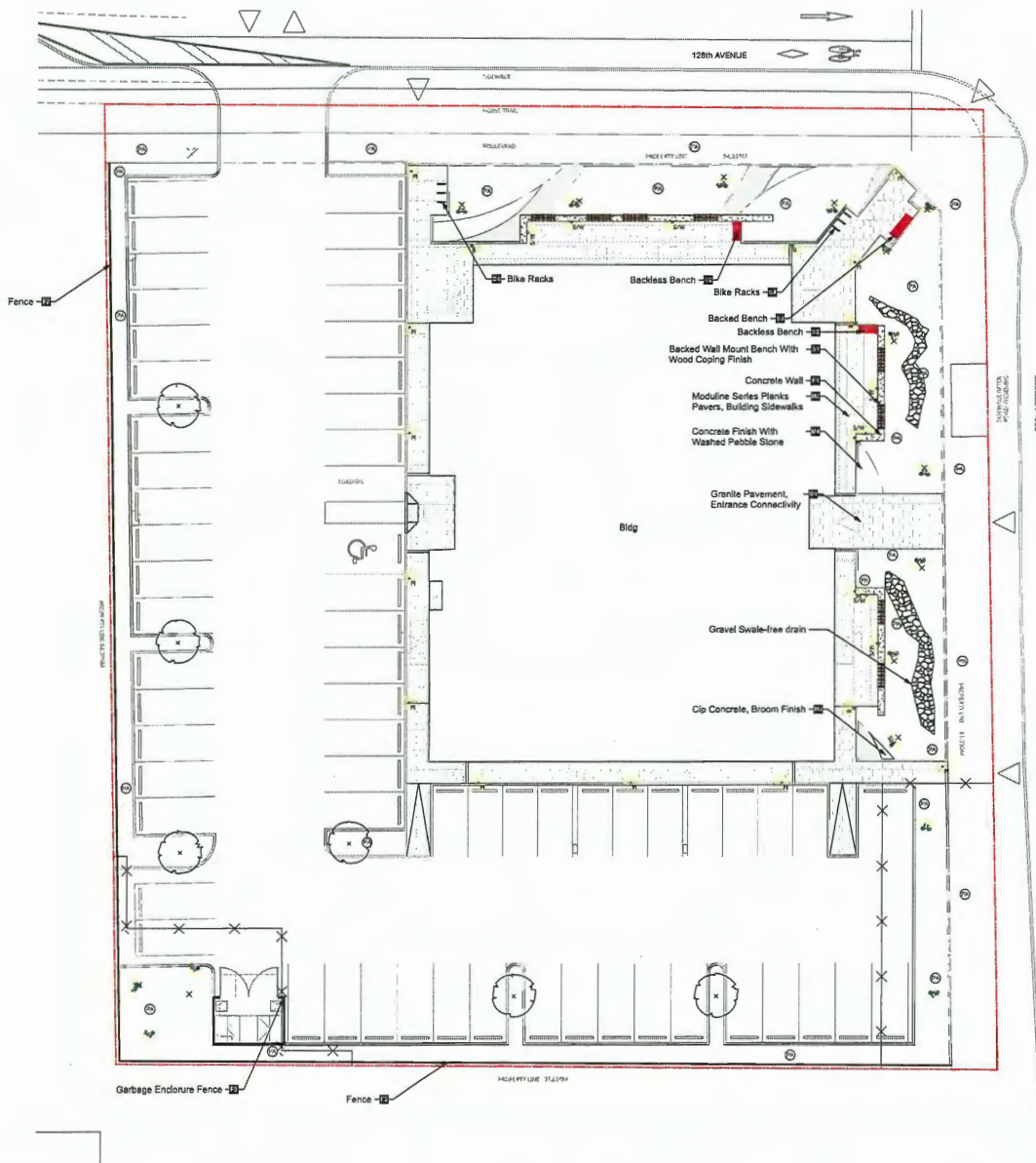
Drawing Title  
**Illustrative Plan**



Legend	
Project Manager	Project
Architect	210208
Client No.	210208
Revision No.	1/150
DT	
Date	2019.08.08
File Name	L0.2
	14







MATERIALS PLAN LEGEND	
	Gravel Pavers: MANUFACTURER: Polycor Supplies; WOODS: Saint Clair River; FINISH: Antique Finish; COLOUR: Gray; DIMENSIONS: 500x500 mm size, 50mm thickness; PATTERN: Running Bond Pattern
	Module Series Plank Pavers: MANUFACTURER: Polycor Supplies; FINISH: Flamed Finish; COLOUR: M2 Gray; DIMENSIONS: 100mmx500mm size, 100 mm thickness; PATTERN: Running Bond
	CIP Concrete, FINISH: Broom Finish, COLOUR: Natural Concrete Gray
	CIP Concrete, FINISH: Washed Pebble stone (dark brown colour) Embedded with Washed Aggregate Finish, COLOUR: Natural Concrete Gray
	Concrete wall: FINISH: Plaster and Paint; COLOUR: Light Gray; DIMENSIONS: 600mm wide x 450mm height
	Natural Stone Edges: FINISH: Sand Blasted Finish, COLOUR: Gray; DIMENSIONS: 150mm wide x 200mm long x 30mm deep; Soldier course Pattern
	360 Degree Pole Light
	180 Degree Bollard Light
	180 Degree Wall Light
	Spike Tree up-Light
	470 Series - 470 Backed wall mount Bench; SUPPLIER: Maglin Site Furniture
	Backless Bench; DIMENSION: 1216mm length; SUPPLIER: Maglin Site Furniture
	Becked Bench; DIMENSION: 1765mm length; SUPPLIER: Maglin Site Furniture
	Bike Racks; DIMENSION: 700mm height, 500mm diam; SUPPLIER: Maglin Site Furniture
	Lighting Area Annotation
	Tree Trunk Location
	Limit of Work



Revision	No.	Date	Revision Notes
A	2020-01-14		Revising and Development Permit Application
B	2020-01-23		Revising and Development Permit Application Update
C	2020-12-03		Revising and Development Permit Application Update

Issue	No.	Date	Issue Notes
B	2018-11-23		Issue for CIP
C	2021-08-20		File-Revised for CIP
D	2021-03-07		File-Revised for CIP

Professional Seal

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Project  
**Maple Ridge**

Drawing Title

**Materials Plan**

Legend

Project Location	Project No.
A-1	21020
Drawn By	Date
DT	1/1/20
Drawn By	Drawn By
DT	DT
Date	Date
2018.06.06	2018.06.06
Page	Page
14	14



## City of Maple Ridge

<b>TO:</b>	His Worship Mayor Michael Morden and Members of Council	<b>MEETING DATE:</b>	September 17, 2019
<b>FROM:</b>	Chief Administrative Officer	<b>FILE NO:</b>	11-5340-01
		<b>MEETING:</b>	COW
<b>SUBJECT:</b>	12791 232 Street – Request for Sanitary Service Connection Outside Urban Containment Boundary		

---

### EXECUTIVE SUMMARY:

The owners of 12791 232 Street are in the preliminary stages of a rezoning permit application to allow for the development of a two storey commercial building. The lot is currently vacant and is zoned RS-2 with an agricultural OCP designation. The previous house on the property did have a sanitary service connection that was disconnected in 2004 with the demolition of the house. The subject property is located outside the Agricultural Land Reserve and Metro Vancouver's Urban Containment Boundary (UCB).

Under current Metro Vancouver regulations, any extension or amendment of sanitary servicing (including on-site changes in use or capacity) to properties outside of the UCB requires approval of the Greater Vancouver Sewerage and Drainage District (GVS&DD) Board. Applications require a municipal Council resolution prior to consideration by the Board, as identified in the Metro Vancouver Implementation Guideline #7.

The additional connection to the sanitary system does not represent a significant change in the sanitary capacity requirement and does not increase the pressure to provide sanitary services for development properties outside of the UCB, as such the application can be supported under Section 2.3.2 of Implementation Guideline #7.

It is recommended that Council support the request to seek approval from Metro Vancouver to provide a sanitary service connection to the property.

### RECOMMENDATION:

That the request to provide a sanitary service connection to 12791 232 Street be supported and forwarded to the Greater Vancouver Sewerage and Drainage District Board for consideration.

### DISCUSSION:

#### a) Background Context:

The property at 12791 232 Street is currently vacant but the owners are in the preliminary stages of a rezoning permit application to allow for the development of a two storey commercial building. The lot is zoned RS-2 with an agricultural OCP designation. The subject property is located outside the Agricultural Land Reserve and Metro Vancouver's Urban Containment Boundary (UCB). The previous house on the property did have a sanitary service connection that was disconnected in 2004 with the demolition of the house.

Under the current Metro Vancouver regulations any extension or amendment of sanitary servicing (including on-site changes in use or capacity) to properties outside of the UCB requires approval of the Metro Vancouver GVS&DD Board. Applications require a municipal Council resolution prior to consideration by the Board, as identified in the Metro Vancouver Implementation Guideline #7.

It is not anticipated that the redevelopment of this property to a commercial use will represent a significant change in the sanitary capacity requirement and does not increase the pressure to provide sanitary services for development properties outside of the UCB and as such the application can be supported under Section 2.3.2 of Implementation Guideline #7.

**b) Desired Outcome:**


That Metro Vancouver approve the property owner's request for a sanitary service connection to the regional collection system. The service connection shall be sized to accommodate a capacity no greater than necessary to service the proposed use.


**c) Alternatives:**


Not supporting the request would prevent the applicant from connecting to the regional collection system which would limit or prevent the redevelopment of this property to a commercial use due to the requirement to accommodate an on-site septic system.

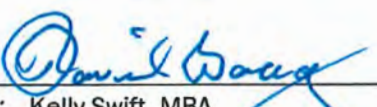
**CONCLUSION:**

The application to seek Metro Vancouver approval to connect to the regional sewer system is consistent with Section 2.3.2 of Metro Vancouver's Implementation Guideline #7, represents a minimal increase to the sanitary flows and does not result in any decrease in the service levels of the existing sanitary sewer system. As such it is recommended that Council support the request and that the application be forwarded to Metro Vancouver for consideration and approval.

  
Submitted by: Mike Canning, PEng.  
Manager of Infrastructure Development

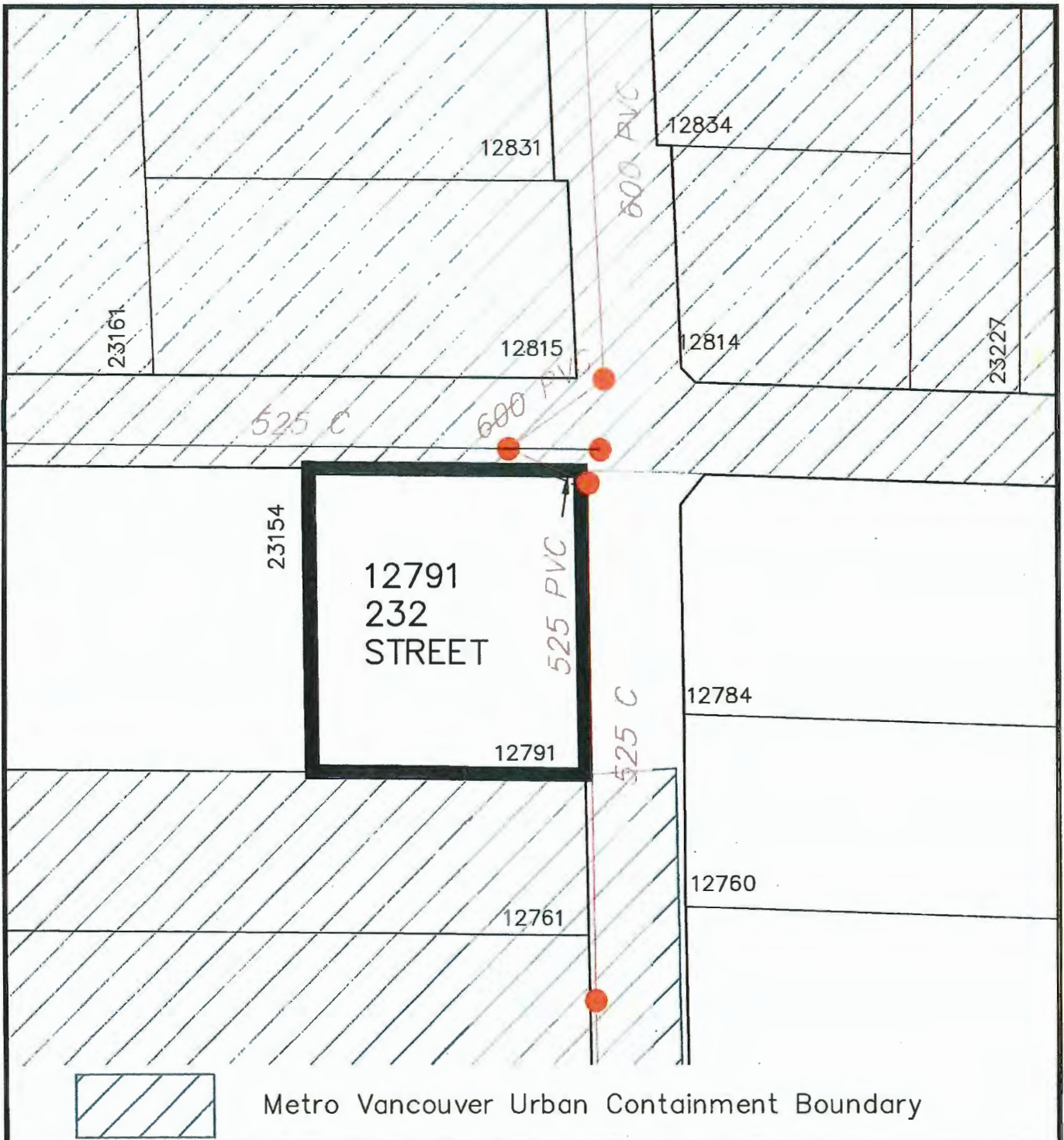
  
Reviewed by: Purvez Irani, PEng., PTOE  
Acting Municipal Engineer

  
Approved by: David Pollock, PEng.  
General Manager Engineering Services

  
Concurrence: Kelly Swift, MBA  
PAR Acting Chief Administrative Officer

Attachments:  
(A) Map





SCALE:  
N. T. S.



**CITY OF MAPLE RIDGE  
ENGINEERING  
DEPARTMENT**

**EXTENSION  
SANITARY  
12791 232 STREET**

DATE:

Sep 2019

FILE/DWG No

SK0426



## City of Maple Ridge

**TO:** His Worship Mayor Michael Morden  
 and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** Employment Lands: Re-designation of the Yennadon Lands to Industrial  
 (Employment Park Category)  
 Official Community Plan Amending Bylaw No. 7734-2021 (Policy); and  
 Official Community Plan Amending Bylaw No. 7735-2021 (Land Use Designation)  
 First Reading

**MEETING DATE:** May 4, 2021  
**FILE NO:** 2016-195-CP  
**MEETING:** C o W

**EXECUTIVE SUMMARY:**

At the December 8, 2020 Council Workshop meeting, Council endorsed "Concept 2 – Neighbourhood Innovations Village" for an employment future for the Yennadon Lands. At that meeting, Council directed staff to prepare an Official Community Plan Amending Bylaw in alignment with "Concept 2".

This report presents Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A) and Bylaw No. 7735-2021 (Appendix B), to allow re-designation of the Yennadon Lands for an employment future. Should Council direct, Official Community Plan Amending Bylaw No. 7734-2021 (Policy) and Bylaw No. 7735-2021 (Land Use Designation) may be forwarded to an upcoming Council Meeting for consideration of first reading.

**RECOMMENDATION:**

1. That in respect of Section 475 of the Local Government Act, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:
  - i. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
  - ii. The Board of any Regional District that is adjacent to the area covered by the plan;
  - iii. The Council of any municipality that is adjacent to the area covered by the plan;
  - iv. First Nations;
  - v. Boards of Education, Greater Boards and Improvement District Boards, and
  - vi. The Provincial and Federal Governments and their agencies;

In that regard it is recommended that no additional consultation be required in respect of this matter beyond the referral process, and early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public, Metro Vancouver and the Agricultural Land Commission to comment.

2. That Official Community Plan Policy Amending Bylaw No. 7734-2021 and Official Community Plan Amending Land Use Designation Bylaw No. 7735-2021 be given first reading.



## **1.0 CONTEXT:**

### **1.1 The Yennadon Lands (128<sup>th</sup> Avenue and 232<sup>nd</sup> Street)**

The Yennadon Lands are comprised of 13 properties. They range in size from 0.5 ha (1.5 acres) to 4 ha (10 acres). The total land area is 25.4 hectares (63 acres). The subject properties are located outside of and adjacent to the City's Urban Area Boundary, but are largely within the Region's Urban Containment Boundary (see Appendix C for a map of the area).



The existing uses on the lands range from single-family use to vacant underutilized lands, according to BC Assessment data. The properties abut urban single-family development on the west and south boundaries; Agricultural Land Reserve to the east and north, and suburban single family lots on the north side of 128<sup>th</sup> Avenue. A historic commercial node, as well as Yennadon Elementary School, are located within 200-400 m of the subject properties.

Currently, the subject properties are designated Agricultural in the OCP and are zoned RS-3 (One Family Rural Residential) and RS-2 (One Family Suburban Residential). All of the properties, except one property located near the northeast corner of the area, are located outside the Agricultural Land Reserve. The majority of these properties are designated General Urban in the Regional Growth Strategy.

### **1.2 Suitability of the Yennadon Lands for an Employment Future**

The Yennadon Lands were identified as a potential location for future employment uses in the City's Commercial & Industrial Strategy, with the Strategy recommending that planning for the additional supply of employment land should begin now in order to best satisfy future demand in an increasingly competitive region. This area aligns with the intent of the current Official Community Plan policies for inclusion as employment lands, as the lands are generally flat, have access to an arterial and collector roadway, and servicing runs adjacent to the properties.

It is noted in the Commercial & Industrial Strategy that a mixed employment campus-style business park could be a suitable form of development in this area. The Strategy recommends development with a key focus on restricting heights, while also encouraging building forms and uses that are in keeping with the surrounding residential context. It was originally noted that the Yennadon Lands could eventually serve the needs of the technology sector, light manufacturing companies, and professional offices, all of which offer a high employment density.

### **1.3 Work To Date**

At the May 10, 2016 Council meeting, staff were directed to initiate a process to re-designate 13 subject properties, generally located at 128<sup>th</sup> Avenue and 232<sup>nd</sup> Street, towards an employment land use designation. The direction was in keeping with the City's Commercial & Industrial Strategy: 2012-2042, which could facilitate the creation of a unique opportunity for a campus-style business park in the future.

On April 16, 2019 staff provided Council with a general update on an Employment Lands Process underway in the City of Maple Ridge, which included a focus on the suitability of the Yennadon Lands for future employment purposes. At that meeting, the Yennadon Lands were referred back to staff to meet with the landowners to assess their future interest in the lands.



A Landowners Workshop was held at Yennadon Elementary School on June 6, 2019 from 6 – 8pm. Twelve letters were sent out to the landowners, representing all 13 properties, inviting them to attend. At the Workshop, 18 people attended, representing 11 of the properties.

On June 18, 2019, staff provided a verbal update to Council on the outcomes of the June 6, 2019 Workshop with Yennadon Landowners, namely that there were strong levels of support for an employment future – although some expressed interest only in the OCP amendment and not in redeveloping their properties in the short term.

At the June 18, 2019 Council Workshop meeting, Council directed: 1) staff to undertake an employment land use re-designation process and consultation strategy for the Yennadon Lands; and 2) that any new applications, or those already in-stream that have not reached third reading, be deferred until any potential OCP amendments are presented at Public Hearing and given third reading, with the exception of applications that propose future employment land uses.

At the March 31, 2020 Council Workshop meeting, staff provided an update on the Yennadon Lands Re-designation process, including the proposed community engagement process that was postponed due to the pandemic. At that meeting, Council directed that the previously endorsed Yennadon Lands process be revised and that staff work with the consultant to prepare some preliminary land use concepts for Council to review prior to proceeding with public consultation.

At the July 14, 2020 Council Workshop meeting, staff in collaboration with a consultant, presented three preliminary land use concepts for Council to review. The three preliminary Concepts were informed by the outcomes of the site analysis, on transportation/access, site servicing, environmental features, stormwater management, and parks/trails/recreation requirements for future development within the area. At that meeting, Council directed staff to move forward with a public consultation process, taking into account the public health orders in effect at the time.

Through October 2020, staff in collaboration with the consultant conducted a consultation process that consisted of a Landowners Workshop, a Virtual Public Open House, and a Community Survey. The December 8, 2020 Council Workshop report goes through what was heard from the various consultation activities and outlined possible next steps for Council to consider in the pursuit of additional employment land opportunities for Maple Ridge. The re-designation of the Yennadon Lands to an employment future will garner opposition and community comment.

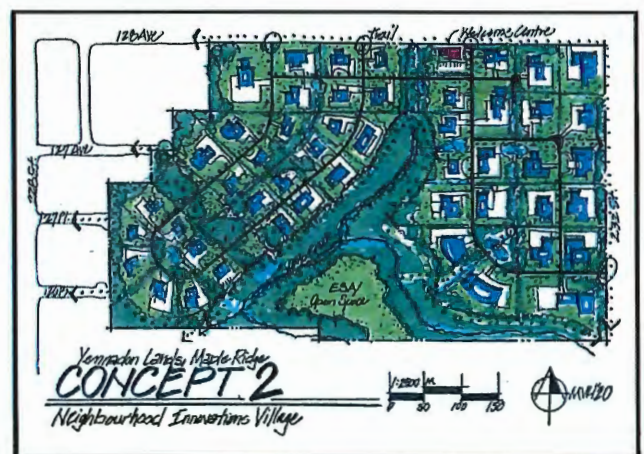
At the December 8, 2020 Council workshop meeting, Council endorsed “Concept #2 – Neighbourhood Innovations Village” and directed staff to move forward with an Official Community Plan Amending Bylaw.

#### 1.4 Concept #2 – Neighbourhood Innovations Village

Concept #2 illustrates an exclusive employment development concept with an eco-business emphasis that conserves green space and trees, reflective of the identified protected resources. With this concept, the new properties are aligned with existing property subdivisions where possible.

This concept illustrates a green buffer from the existing residential homes on the west edge and shows a looped street with smaller business lots and a nature park that connects to the adjoining west community.

For Concept #2, all of the developable land is for employment use.



## 1.5 Yennadon Lands Process in 2021

With increasing interest in the Yennadon Lands Re-designation process, staff have been fielding questions from interested community members, relevant professionals and landowners since the end of 2019. An e-mail distribution list has been established for interested community members to register for regular updates throughout the process. Additionally, regular updates are provided on the project website.

Additionally, staff have provided regular updates to the Community Development and Enterprise Services (CDES) Committee on the Yennadon Lands Concept Plan and progress in preparing OCP policies and development permit guidelines for the Employment Park. Presentations occurred on January 11, 2021 and on March 22, 2021.

## 2.0 DISCUSSION:

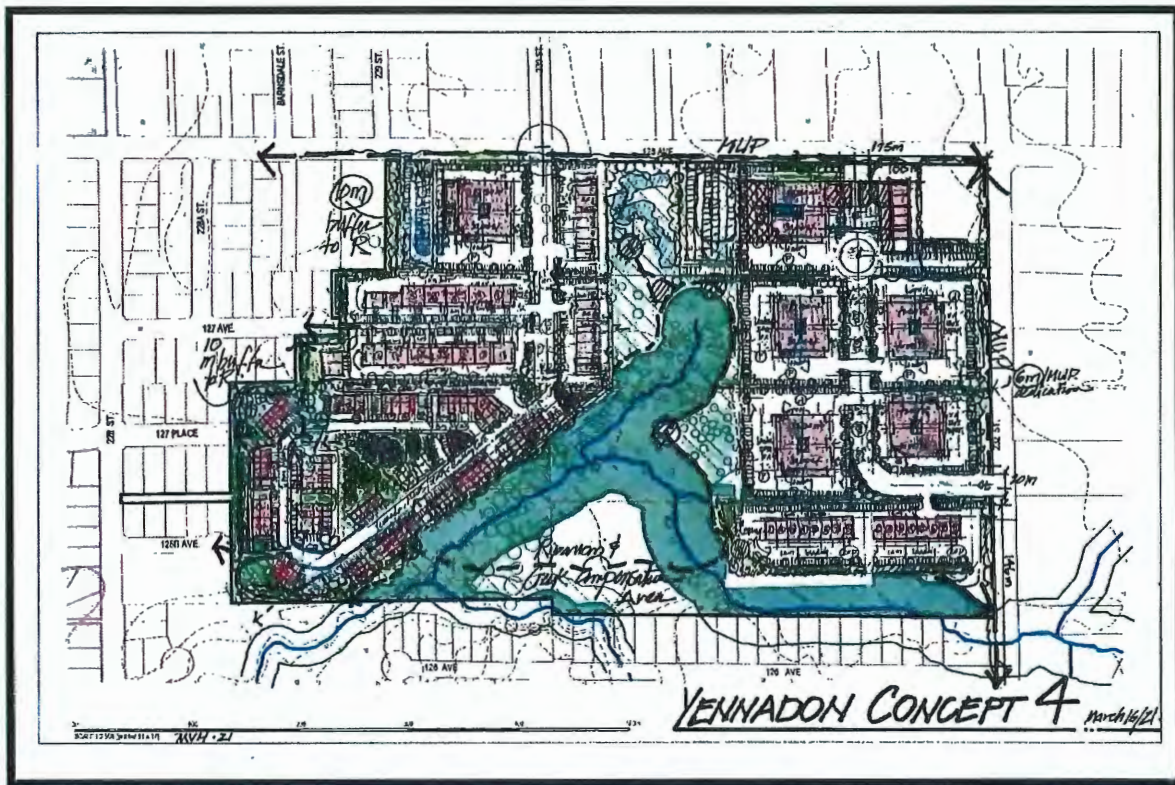
### 2.1 Yennadon Lands Concept Plan Overview

The concept endorsed by Council at the end of 2020 provided for a 100% employment future for the developable areas of the Yennadon Lands. Based on Council comments, as well as what was heard from the community during the public consultation process, the following elements have been integrated into the policy work, design guidelines, or the land use schedule map associated with the re-designation of the Yennadon Lands towards an employment future:

- **Suitable Mix of Employment Uses:** The employment area will need to have an appropriate mix and size of employment uses to generate suitable levels of job creation, while still affording a sensitive transition to the surrounding residential uses.
- **Neighbourhood Business Scale and Character:** The design of the employment area will be limited to business activities inside the building to eliminate nuisance noise, odour, and other negative impacts. The building form will be more of a residential height and massing in the western area with generous landscape retention and reduced parking if possible. The eastern area may have larger and more conventional light industrial buildings.
- **Innovative Mixed Uses:** The development of this site may include a mix of employment uses (including consideration for work/live units and co-working space, particularly in the western area). Work/live uses will be limited to the west portion of the site.
- **Environmental Sensitivity:** Coho Creek will be protected and enhanced with the appropriate setbacks and a progressive stormwater management system on site.
- **Trail Network:** A comprehensive trail network will connect to the adjoining communities and provide a rich amenity for both the businesses and residents to enjoy, promoting a healthy walking/biking culture.
- **Resilience and Adaptability:** This employment neighbourhood will be designed and planned so that there is diversity and choice of business parcels and units that may adapt and consolidate or expand over time.
- **Climate-Change Responsive:** The infrastructure and servicing will be designed for increased storm flows and special events, so the neighbourhood has the ability to weather through extreme climatic conditions with additional precautionary measures, including floodways and dry pond areas for emergency stormwater storage.



The intent is to create a complete neighbourhood, within the existing residential area, where residents and business owners can live, work and play within a five to ten-minute walk or bicycle ride of their residence. This employment area should be uniquely smaller scaled to fit with the surrounding neighbourhood, offering the potential for a variety of smaller scaled buildings with limited building heights and sizes. There may be the possibility for work/live units in the west sector (see Concept Image below; full size in Appendix D).



The natural environmental area of the site will be conserved, as the Coho Creek Conservation Area, with the required 30 metre setback areas to buildings and trails along its edges. The employment area will be linked by trails and natural open spaces, which in turn will be connected to the adjoining communities.

A natural interconnected pathway and trail system is recommended for the site that connects to the surrounding neighbourhoods. The trails should be slightly elevated to avoid flooding and may require elevated boardwalk sections in some of the riparian areas near the stream or in particularly low wet areas.

A gravel horse trail runs along the south side of 128th Avenue adjoining the site. There are no formal trails through the site. There are plans for a comprehensive bike lane and walking path for both 128th Avenue and 232nd Street in the future that will incorporate bike lanes and a sidewalk/trail network.

## 2.2 Yennadon Lands Land Use Designation & OCP Policies

In order to implement the Yennadon Lands Concept Plan, Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A, Schedule 1) introduces a new category to the existing Industrial land use designation into the Official Community Plan. Some of the existing policies of Chapter 6 Employment have been updated, where appropriate, but the majority of Official Community Plan Policy Amending Bylaw No. 7734-2021 (Policy) is proposed to integrate the Industrial Land Use Employment Park Category policies into Chapter 6 of the Official Community Plan.

The Industrial (Employment Park Category) is intended to help create a more “complete community” by providing a range of employment opportunities where local residents and future business owners can live, work and play within a five to ten minute walk or bicycle ride of their residence.

In the past, industrial and commercial areas have not always been good neighbours as they have brought consequences such as noise, visual impacts, and undesirable traffic to local areas. Therefore, the design of the employment area will be limited to business activities inside the building to eliminate nuisance noise, odour, and other negative impacts. Development will be directed in a sensitive and scaled manner so that the Employment Park is compatible with the adjoining residential neighbourhood.

The complete set of policies is included in Official Community Plan Amending Bylaw No. 7734-2021 (Policy), which is attached as Schedule 1 to Appendix A.

### **2.3 Yennadon Lands Employment Park Development Permit Guidelines**

In conjunction with the Industrial Land Use (Employment Park Category) policies, specific Development Permit Guidelines (Appendix A, Schedule 2) have been developed for the Yennadon Lands Employment Park, which is proposed for integration into Chapter 8, Development Permit Areas, of the Official Community Plan. The intent of these guidelines is to shape the form of development to reflect Council and community comments, while remaining flexible and open to a range of uses.

The Development Permit Guidelines go through general design guidelines, such as site planning essentials, as well as specifics pertaining to site planning, landscaping, access and parking, as well as building design and massing.

The complete set of Development Permit Guidelines is included in Official Community Plan Amending Bylaw No. 7734-2021 (Policy), which is attached as Schedule 2 to Appendix A.

### **2.4 Yennadon Lands Employment Park Official Community Plan Land Use Map**

It is intended, with Official Community Plan Amending Bylaw No. 7735-2021 (Appendix B), the Official Community Plan ‘Schedule B’ Land Use Map and ‘Schedule C’ Natural Features Map will be amended to reflect the change in land use and designation. The Yennadon Lands Employment Park designation is proposed to change from ‘Agricultural’ to ‘Industrial’ and ‘Conservation’ as identified in Schedule 2 of Appendix B.

### **2.5 Yennadon Lands Employment Park and the City of Maple Ridge Zoning Bylaw**

The implementation of the Yennadon Lands Concept Plan takes place in conjunction with the City’s Zoning Bylaw. In this case, the proposed use of the Yennadon Lands will come with a new or modified zone – M-7 Employment Park Industrial. The proposed M-7 Zone generally follows the M-3 Business Park Industrial Zone, currently in effect (i.e. lot coverage of 60%, floor area ratio of approximately 75%, building setbacks, etc), but will tailor the permitted uses to be appropriate for the Employment Park. These proposed amendments to the City’s Zoning Bylaw will accompany the Second Reading Report. Should a development application proceed in advance of the OCP amendment process, the zone amendments would come forward at that time.

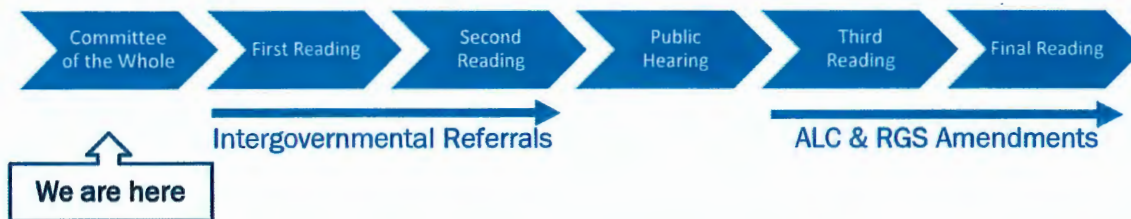
Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A) includes amendments to the zoning matrix, which identifies which zones are permitted under each land use designation in Appendix C of the Official Community Plan. This form of matrix has been updated to reflect the new land use category proposed for this area.



## 2.6 Next Steps

Based on Council comments at the December 8, 2020 Council Workshop, staff prepared Official Community Plan Amending Bylaw No. 7734-2021 (Policy) (Appendix A) and Bylaw No. 7735-2021 (Land Use Designation) (Appendix B) to re-designate the Yennadon Lands for an employment future. These draft Bylaws are proposed for First Reading at an upcoming Council meeting.

Figure 2 - OCP Amending Bylaw Process



At this time, development applications that propose employment land uses are able to come before Council. With an endorsed Yennadon Lands Concept Plan, development applications are able to proceed through the development application process, providing they align with the endorsed concept and Official Community Plan Amending Bylaw No. 7734-2021 (Policy) and Bylaw No. 7735-2021 (Land Use Designation). When that occurs, through these site-specific development applications, additional studies typically found through the municipal rezoning process may take place. Such studies may include geotechnical assessments, ground-water impact assessments, servicing and infrastructure studies, agricultural impact assessments, environmental impact assessments (where development may encroach into some Environmentally Sensitive Areas), as well as significant tree and habitat balance assessments. Development applicants will be required to rezone (to the proposed new M-7 Employment Park Industrial zone discussed in Section 2.5 above) and obtain a development permit to regulate the form and character of new buildings.

In respect of Section 475 of the *Local Government Act*, should Official Community Plan Amending Bylaw No. 7734-2021 (Policy) and Bylaw No. 7735-2021 (Land Use Designation) receive first reading, staff will submit referrals to the following agencies regarding the proposed re-designation of the Yennadon Lands: Metro Vancouver, School District No. 42, local First Nations, Ministry of Environment, and the Agricultural Land Commission. For details regarding the ALC and RGS Amendments, please refer to Sections 5.1 and 5.2 below.

## 3.0 STRATEGIC ALIGNMENT

Implementing strategic plans related to local infrastructure and the economy, including the City's commercial and industrial land base, is a Council priority as established under its Growth pillar of the 2019-2022 City of Maple Ridge Strategic Plan.

## 4.0 POLICY IMPLICATIONS

The proposed land use re-designation of the Yennadon Lands to an employment future is supported through the recommendations of the Commercial & Industrial Strategy and the existing industrial policies in the OCP. OCP policies 6-41 and 6-42 speak to identifying additional employment lands within the City and set out compatibility criteria used to determine feasibility of new employment land. Specifically, the subject properties align with the intent of the current OCP policies for inclusion as employment lands, as the lands are generally flat, have access to an arterial and collector roadways, and development servicing is located adjacent to the properties.

## **5.0 INTERGOVERNMENTAL IMPLICATIONS**

### **5.1 Metro Vancouver**

The Regional Growth Strategy (RGS), titled "Metro Vancouver 2040: Shaping Our Future", manages growth by establishing growth boundaries throughout the region. The Yennadon Lands are largely located within the Region's Urban Containment Boundary, and are largely located outside of the Region's Fraser Sewerage Area, which delineates properties that are able to connect to the regional sanitary system (see Appendix C for the Region's Urban Containment Boundary). An application by the City, to the Greater Vancouver Sewerage & Drainage District Board, is required to achieve regional approval to include the Yennadon Lands within the Fraser Sewerage Area for more intensive employment activities to take place at this site. The intent is to support urban level servicing and an application to the Board will be considered through this process.

Staff note that the potential for an adjustment to the City's Urban Area Boundary was contemplated during the previous Regional Growth Strategy review in 2006 and the lands were therefore, designated as General Urban by the Region (i.e. the majority of the Yennadon Lands are within the Region's Urban Containment Boundary). However, two properties in the northeast corner of the Yennadon Lands are outside of the Region's Urban Containment Boundary. These properties will require a land use designation change at the Metro Vancouver level, as well as an adjustment to the Urban Containment Boundary to permit employment uses.

As Metro Vancouver is undertaking a review of the Regional Growth Strategy, Metro Vancouver staff have requested that minor amendments to the Regional Plan be held until the regional planning process has been complete. As such, the current development application at 12791 232<sup>nd</sup> Street (at first reading) is not encouraged to proceed with a minor amendment to the Regional Plan in advance of the Yennadon Lands Re-designation Process.

Council-endorsement of a Yennadon Lands Concept Plan will be used as the spring-board for these future conversations, as Metro Vancouver has indicated support for the City's intent to provide additional employment lands in the region.

### **5.2 Agricultural Land Commission**

In 2004, the Agricultural Land Commission (ALC) permitted 12 of the 13 Yennadon Land properties to be removed from the Agricultural Land Reserve. This was a voluntary process, so only those property owners that chose to participate went through the exclusion process. As such, one property in the northeast corner (23154 128<sup>th</sup> Avenue) of the Yennadon Lands area will need to go through the ALC exclusion process to permit employment uses on that site. In accordance with the latest provincial changes in Bill 15, the current owner will have to request the City to make this exclusion application on their behalf.

## **6.0 INTERDEPARTMENTAL IMPLICATIONS**

Community Planning staff have been working collaboratively with our Development & Environment colleagues as well as with Engineering, Parks, Recreation & Culture, Building and Economic Development staff, on the pursuit of employment opportunities on the Yennadon Lands. It is anticipated that these departments will continue to be involved throughout the Yennadon Lands Employment Park Re-designation process. Additionally, staff from the Communications Department will continue to provide support with community outreach and communication initiatives.

## 7.0 FINANCIAL IMPLICATIONS

The ongoing pursuit of employment lands, specifically with the Yennadon Lands Employment Park, is included in the Planning Department 2021 Work Program.

### CONCLUSION:

The Yennadon Lands were identified as a potential location for future employment uses in the City's Commercial & Industrial Strategy. This area aligns with the intent of the current Official Community Plan policies for inclusion as employment lands, as the lands are generally flat, have access to an arterial and collector roadway, and servicing runs adjacent to the properties. As such, staff initiated a public consultation process to explore community comment on three preliminary land use concepts. The outcomes of the public consultation process were presented to Council at the December 8, 2020 Council Workshop. At that meeting, Council directed staff to prepare an Official Community Plan Amending Bylaw to re-designate the Yennadon Lands.

This report includes Official Community Plan Amending Bylaw No. 7734-2021 (Policy) (Appendix A) and Bylaw No. 7735-2021 (Land Use Designation) (Appendix B), which proposes to re-designate the Yennadon Lands for an Employment Park. Should Council direct, Official Community Plan Amending Bylaw No. 7734-2021 and Bylaw No. 7735-2021 would be forwarded to an upcoming Council Meeting for consideration of first reading.

*"Original signed by Amanda Grochowich"*

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*Prepared by:* **Amanda Grochowich, MCIP, RPP**  
**Planner 2**

*"Original signed by Chuck Goddard"*

---

*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

*"Original signed by Christine Carter"*

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*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM, Planning & Development Services**

*"Original signed by Al Horsman"*

---

*Concurrence:* **Al Horsman**  
**Chief Administrative Officer**

- Appendix A:      Official Community Plan – Schedule A – Amending Bylaw No. 7734-2021  
                            Schedule 1 – Chapter 6, 6.4.2 Employment Parks  
                            Schedule 2 – Chapter 8, Yennadon Lands Employment Park Development Permit Area Guidelines
- Appendix B:      Official Community Plan – Schedule B – Amending Bylaw No. 7735-2021  
                            Schedule 1 & 2 – Urban Area Boundary and Land Use Maps
- Appendix C:      Urban Area Boundary and Urban Containment Boundary Map
- Appendix D:      Yennadon Lands Concept Image (Illustration Only)

**CITY OF MAPLE RIDGE**

**BYLAW NO.7734-2021**

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

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**WHEREAS** Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

**AND WHEREAS** it is deemed desirable to amend Schedule "A" to the Official Community Plan;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Policy Amending Bylaw No.7734-2021."
2. That the Table of Contents is amended by inserting 6.4.2 Employment Park after 6.4.1 Industrial Lands and renumbering the following sections accordingly.
3. That Chapter 6 Employment, 6.4 Industrial Opportunities, 6.4.1 Industrial Lands, Policy 6-44 is amended by deleting the policy and replacing with the following:

6 – 44 The Industrial land use designation is a key component of achieving a compact community. Within the Industrial designation, there are 3 industrial categories, the components of which are highlighted in this chapter:

- a) Business Park Industrial – lands that are located in the Maple Meadows Industrial Park and Albion Industrial Area. The Business Parks provide for a range of industrial uses and services, with an emphasis on landscaping and design.
  - b) Employment Park Industrial – lands that are located in the Yennadon Lands Employment Park. Employment Park Industrial provides for a range of employment uses close to where people live while reducing possible negative impacts on existing surrounding neighbourhoods.
  - c) General Industrial – lands that are located throughout the community and provide for a range of services and general industrial uses.
4. That Chapter 6 Employment is amended by inserting 6.4.2 Employment Park, a copy of which is attached hereto and forms a part of this bylaw as Schedule 1, following 6.4.1 Industrial Lands and renumbering the remaining sections, policies, and associated policy references accordingly.
  5. That Chapter 8 Development Permit Area Guidelines be amended by inserting the following after "Ground-Oriented Residential Infill" on the Title Page:

◆ Yennadon Lands Employment Park



6. That Chapter 8 Development Permit Area Guidelines, Section 8.2 Application and Intent be amended by inserting the following after 8.2 (9):

10. Yennadon Lands Employment Park pursuant to Section 488 of the Local Government Act to establish guidelines for the form and character of intensive light industrial use and for the protection of natural features and ecologically significant land.

7. That Chapter 8 Development Permit Area Guidelines is amended by inserting the Yennadon Lands Employment Park Development Permit Area Guidelines, a copy of which is attached hereto and forms a part of this bylaw as Schedule 2, following after Section 8.14 Ground Oriented Residential Infill Development Permit Guidelines.
8. That Appendix C Zoning Matrix, Industrial Designations\* be amended by inserting the following between "General Industrial Category" and "Business Park Category":

<b>Employment Park Category</b> (Subject to policies in Section 6.4.2)	M-7 Employment Park Industrial
---	--------------------------------

9. That Appendix C Zoning Matrix, Industrial Designations\*, Business Park Category be amended by removing the reference to 'Section 6.4.2' and replacing it with 'Section 6.4.3' and that the following be added after "M-3 Business Park".

M-7 Employment Park Industrial

10. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

**READ** a first time the            day of            202X.

**READ** a second time the            day of            202X.

**PUBLIC HEARING** held the            day of            , 202X.

**READ** a third time the            day of            , 202X.

**ADOPTED**, the            day of            , 202X.

---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**

## 6.4.2 EMPLOYMENT PARK

### ISSUES

- The City's Commercial & Industrial Strategy recommends planning for the additional supply of employment land in order to best satisfy future demand in an increasingly competitive region.
- The Yennadon Lands are identified as a potential location for future employment use in the City's Commercial & Industrial Strategy. The impetus in identifying the Yennadon Lands for employment use was largely due to the lands being generally flat and underutilized, with the potential for urban level servicing, and located on arterial and collector roadways.

### OBJECTIVE

- The aim of an Employment Park is to create a more "complete community" by providing a range of employment opportunities where local residents and future business owners can live, work and play within a five to ten minute walk or bicycle ride of their residence.
- In the past, industrial and commercial areas have not always been good neighbours as they have brought consequences such as noise, visual impacts, and undesirable traffic to local areas. Therefore, the design of the employment area will be limited to business activities inside the building to eliminate nuisance noise, odour, and other negative impacts.
- The Yennadon Lands Employment Park is 25.4 hectares (63 acres) in the north central part of the City of Maple Ridge. It is located on the south edge of 128 Avenue and the west edge of 232 Avenue. As it is bordered by residential land uses on the south and west edges, the Commercial & Industrial Strategy recommends development with a key focus on restricting heights, while also encouraging building forms and uses that are in keeping with the surrounding residential context.

### POLICIES

**6 - 51** Maple Ridge will designate Employment Parks in areas where there is an opportunity to increase job densities. The intent for high density Employment Parks is to encourage the right type and size of employment facilities that will help increase job opportunities close to home, as new and mature local businesses to locate closer to where their employees live.

**6 – 52** Maple Ridge will direct development in a sensitive and scaled manner so that the Employment Park is compatible with the adjoining residential neighbourhood.

**6 – 53** An Employment Park will have an appropriate mix and size of employment uses to generate suitable levels of job creation, while still affording a sensitive transition to the surrounding uses.

**6 – 54** Maple Ridge will designate the Yennadon Lands, generally located south of 128th Ave and west of 232nd Street, for an Employment Park use. The Yennadon Lands serve growing industries, that include the technology sector, light manufacturing companies, and professional offices, all of which offer a high employment density,

**6 – 55** Maple Ridge will consider an Employment Park development for the Yennadon Lands noting that:

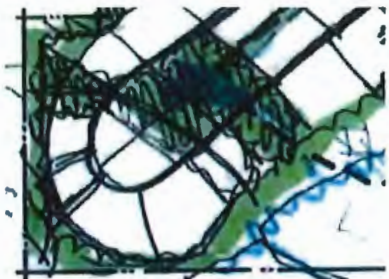
- a )The eastern portion of the Yennadon Lands Employment Park may have larger and more conventional light industrial buildings;
- b) The western portion of the Yennadon Lands Employment Park will have a building form that is similar to that of a single-detached residential dwelling height and massing with generous landscape retention and reduced parking, where possible;
- c) Development must align with the Yennadon Lands Employment Park Development Permit Area Guidelines found in Chapter 8 of the City's Official Community Plan.



YENNADON LANDS EMPLOYMENT PARK

# ***DESIGN GUIDELINES***

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**MAPLE RIDGE**  
British Columbia

*Draft: v3 February 26, 2021*

## **ACKNOWLEDGEMENTS**

*The City of Maple Ridge would like to sincerely thank the following contributors who helped shape these design guidelines to help ensure that what is planned and developed for the Yennadon Lands Employment Park is sensitive to the adjoining residential neighbourhoods and the natural environment.*

### **Mayor and Council**

*Mayor M. Morden and Councillors  
Judy Dueck, Kiersten Duncan, Chelsea Meadus, Gordy Robson, Ryan Svendsen, and Ahmed Yousef,  
for their leadership*

### **Planning and Development Services staff**

*Christine Carter, General Manager Planning & Development Services  
Charles Goddard, Director of Planning  
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Amanda Grochowich, Planner and Project Manager  
Rod Stott, Environmental Planner  
Mike Pym, Environmental Planner*

### **Engineering Services staff**

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Rachel Ollenberger, Manager of Infrastructure Development  
Mark Halpin, Manager of Transportation*

### **Parks and Recreation Services staff**

*Chad Neufeld, Manager of Parks Planning and Development*

### **Economic Development staff**

*Wendy Dupley, Director of Economic Development*

***The thirteen property owners of the Yennadon Lands Employment Park lands  
and  
and the residents of the Yennadon area, and other Maple Ridge community residents  
who helped shape these design guidelines***

---

*These design guidelines were completed by the  
**City of Maple Ridge**  
in association with  
**Michael von Hausen, FCIP, CSLA, LEED AP**  
**MVH Urban Planning & Design Inc.***

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## Design Guidelines Guide

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### Overview

These guidelines are specific to the Yennadon Lands Employment Park. They are unique in that they direct development in a neighbourhood sensitive and scaled manner so that the Employment Park is compatible with the adjoining residential neighbourhood. In the past, industrial and commercial areas have not always been good neighbours as they have brought consequences such as noise, visual impacts, and undesirable traffic to local areas. The City of Maple Ridge wants to prevent those negative consequences as much as possible.

In the case of the Yennadon Lands Employment Park, the intention is to bring the right type and size of employment facilities into the neighbourhood, so it increases job opportunities close to home and provides opportunities for new and mature businesses to locate closer to where their employees live. This approach will help residents drive less, walk and bike more, and reduce the overall greenhouse gas footprint that longer commutes create.

At the same time, as reducing commuting and providing space for businesses to grow, the City wants to provide pathways and trails, as well as other natural areas and tree conservation with any contemplated development in this new Employment Park. The scale, character and size of the buildings will also be carefully reviewed to ensure they fit into the valued west coast character of the neighbourhood. Sensitive site planning, landscape buffers, and screening will help these businesses integrate better with the surrounding established residential communities. Finally, access and traffic will be limited to the arterial roads in the area so that local streets are not impacted by the development to the extent possible.

### Purpose

Property owners, developers, and consultants including architects, landscape architects and engineers will use these guidelines and the associated design review checklist to shape their development permit applications. City of Maple Ridge staff will measure the development permit applications submissions against the guidelines and checklist to suggest potential improvements. In the end, the City of Maple Ridge wants to make the development review and approvals process as clear and self-evident as possible to help reduce unnecessary delays and assure quality design. Most importantly, the City wants to create an outstanding and sought-after Yennadon Lands Employment Park: a local neighbourhood-sensitive employment area that all residents and businesses can be proud of as a progressive alternative to longer commutes.

### How to Use These Guidelines

1. A Development Permit Application will be completed that conforms to the City of Maple Ridge *Zoning Bylaw* requirements and other design standards, regulations, and bylaws including but not limited to the *Tree Protection and Management Bylaw*, *Natural Features Development Permit Application* and the *Watercourse Protection Development Permit Application*.
2. The three sections that follow include:
  - a. Section 2.0 - Employment Park Design Concept and Principles describes the approved overall site development concept and the accompanying principles that guide development;
  - b. Section 3 contains the specific Design Guidelines that apply to individual development parcels; and
  - c. Section 4 is a summary Design Review Checklist to ensure that applicants have covered all the guidelines adequately.
3. Following staff review, amendments will be required to the Development Permit Application as conditions for approval with the intention of improving the quality of site planning and design.



## **1.0 Design Administration and Framework Policies**

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### **1.1 Intent and Use**

- 1.1.1 These guidelines and associated guideline checklist will be used to guide design and development of the Yennadon Lands Employment Park. They will be used by the City of Maple Ridge to review and evaluate Development Permit Applications.
- 1.1.2 Applicants will respond to each guideline and checklist item that applies to their specific site in the context of the entire development area (see Appendix A: Design Review Checklist).

### **1.2 Administration and Interpretation**

- 1.2.1 The use of the term "City" shall mean "The City of Maple Ridge."
- 1.2.2 Where there is conflict with other bylaws, policies, or Area Plans adopted by the City, those bylaws, policies, or Area Plans will have priority over these guidelines.
- 1.2.3 Where a descriptive section, illustration, or photograph accompanies a guideline, it is provided for information purposes only to enhance the understanding of the guideline.
- 1.2.4 Where "shall" is used in the guideline, the guideline is considered mandatory.
- 1.2.5 Where "should" is used in a guideline, the intent is that the guideline is strongly encouraged, but can be varied where unique or unforeseen circumstances provide for courses of action that would satisfy or generally be seen as equivalent to the intent of the guideline.
- 1.2.6 Where the guideline requires submission of studies, analysis, or other information, the City of Maple Ridge shall determine the exact requirements and timing of the studies, analysis, or information.
- 1.2.7 Bylaws, policies, and regulations will be cross-referenced where possible in these guidelines, but it is up to the applicant to ensure that they comply with all applicable bylaws, policies, and regulations in accordance with the City of Maple Ridge's requirements whether or not they are mentioned in these guidelines.

### **1.3 Development Permit Area Application**

- 1.3.1 In accordance with Section 488 of the *Local Government Act* RSBC 2015, the City of Maple Ridge is permitted to designate Development Permit Areas to create special requirements for certain forms of development, including the form and character of intensive residential, commercial, industrial or multi-family residential development, and for the protection of natural features and ecologically significant land.
- 1.3.2 A Development Permit Area is intended to address special development circumstances, and if a property is within a Development Permit Area, certain types of development activity cannot proceed without a Development Permit being issued by Council.
- 1.3.3 An Industrial Development Permit is required for all new development within the urban area on lands designated industrial on Schedule B of the Official Community Plan other than in those circumstances indicated in in Section 8.4 Development Permit Exemptions. The following form and character guidelines apply to industrial development on this unique neighbourhood site but are not necessarily appropriate for general industrial uses.

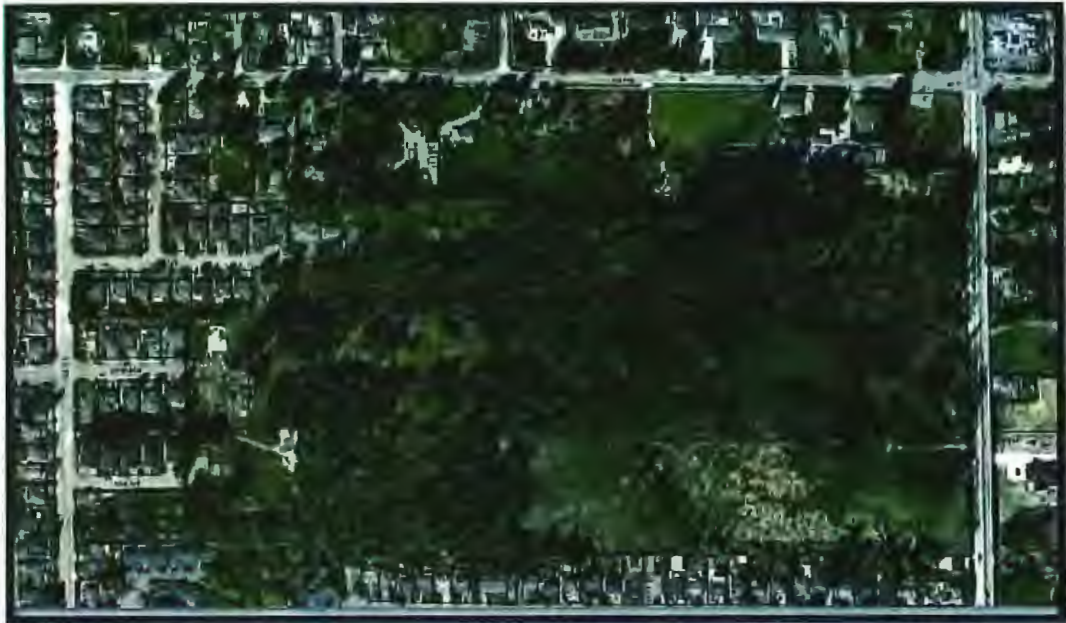
## 1.4 Site Location, Size and Characteristics

- 1.4.1 The Yennadon Lands Employment Park is 25.4 hectares (63 acres) in the north central part of the City of Maple Ridge. It is located on the south edge of 128 Avenue and the west edge of 232 Avenue. It is bordered by residential land uses on the south and west edges. Thirteen properties make up the Employment Area. The properties range in size from 0.5 hectares (1.50 acres) up to 4 hectares (10.0 acres).
- 1.4.2 The west side of the site has newer urban residential homes on standard lots. On the southwest edge of the site, set back from Coho Creek, are clusters of townhomes. Along the south side of the site are older urban residential lots adjoining the south edge of Coho Creek. East of the site along 232 Street are large lot homes built on the Agricultural Land Reserve. North of the site on 128 Avenue are older estate lot homes. On the northeast corner of 232 Street and 128 Avenue is a Petro Canada Service Station and associated commercial uses. The Yennadon Elementary School is also located in behind the Service Station northeast of 128 Avenue and 232 Street.
- 1.4.3 The northern and western edges of the site have current large lot residential uses. One small farm is located in the northeast corner of the site. The balance of the site is vacant, treed, or open fields with Coho Creek and its tributaries running through the south and central part of the site. The open parts of the site have views north to the Golden Ears mountain peaks but much of the potential views are obscured by the existing forested area. The site is relatively flat but is punctuated by mounds and lower wet areas.

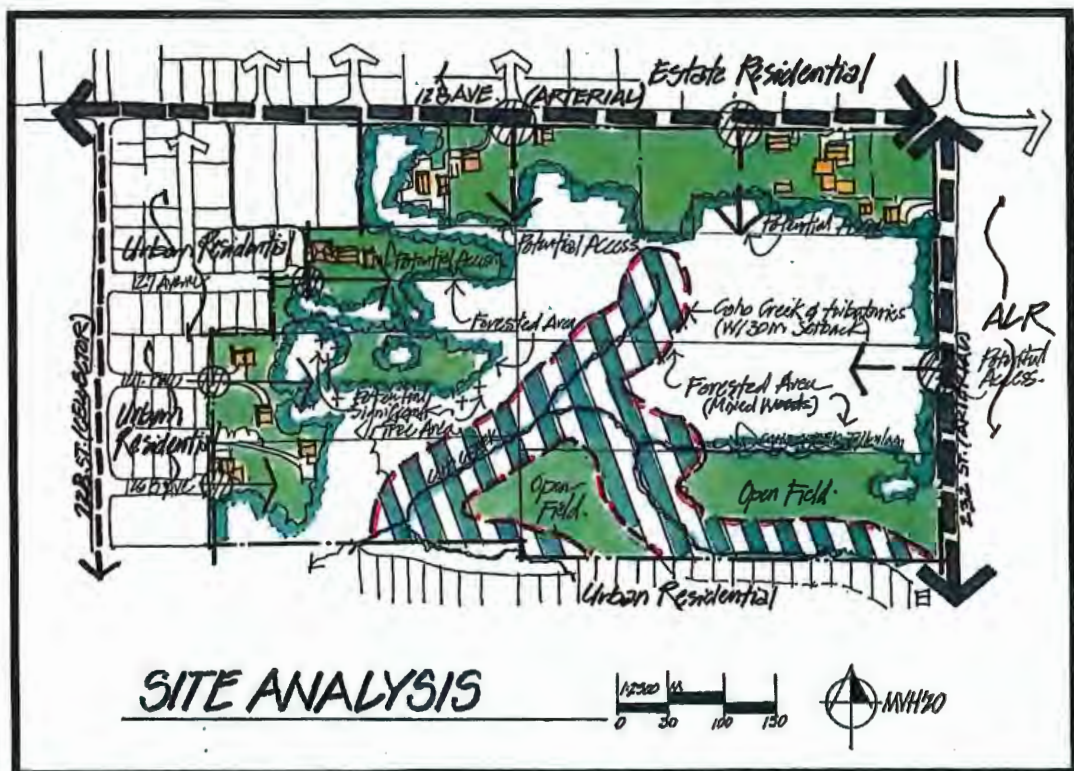
## 1.5 Tree Bylaw, Natural Features, and Watercourse Protection Development Permits

- 1.5.1 The majority of the site is covered with dense mixed forest of deciduous and coniferous trees. There are a few clusters of what appear to be significant Western Red Cedar and Hemlock tree stands near the west edge of the site. There could also be further specimens, but a detailed tree inventory and management plan would be required to confirm their value and condition. The *Tree Protection and Management Bylaw* will apply to the tree retention, removal, and replacement requirements on each development site.
- 1.5.2 Pursuant to Section 8.10 of the *Official Community Plan*, a *Natural Features Development Permit* application would be required for all development and subdivision to ensure the protection, restoration, and enhancement of this natural environment. Coho Creek and its tributaries run east to west and northeast to southwest through the site in the south and central part of the site.
- 1.5.3 Coho Creek is fish-bearing and therefore requires a 30-meter setback and a 15-meter setback along the one eastern tributary on the site. The Creek also acts as a wildlife corridor through the site and connects east and west and north to south as part of a larger watershed area. This conservation area is estimated to be 5 hectares (13 acres), reducing the gross development area to approximately 20 hectares (50 acres) or 80% of the gross land area.





Orthographic photo of site and adjoining uses



Summary site analysis and core Coho Creek Conservation Area

- 1.5.4 In accordance with Section 8.9 of the *Official Community Plan*, a *Watercourse Protection Development Permit* application is required for all development and building within 50 meters of the Creek's top of bank. Re-designation to a "Conservation" land use designation within the Official Community Plan is recommended.

There is a remnant central "island" of land in the south-central area of the site that may be considered for the east tributary stream compensation and a reduced setback to 22.5 meters for the balance of Coho Creek. A further environmental study is required to confirm the merit and feasibility of the various creek management and compensation options.

## 1.6 Access and Transportation

- 1.6.1 128 Avenue connects to the Golden Ears bridge to the west and 232 Street connects south to Dewdney Trunk Road. Each of these roads will provide limited access to the site and no direct single-site access. Further road-widening dedication and improvements will be required as a condition of development and appropriate road standards for interior roads.

## 1.7 Trails, Open space, Parks and Recreation

- 1.7.1 A gravel horse trail runs along the south side of 128 Avenue adjoining the site. There are no formal trails through the site. However, there are some informal trails by some property owners on the west edge. There are plans for a comprehensive bike lane and walking path for both 128 Avenue and 232 Street in the future that will incorporate bike lanes and a sidewalk/trail network.



*A gravel horse trail is located along the south side of 128 Avenue*



- 1.7.2 A natural interconnected pathway and trail system is shown on the concept plan for the site that connects to the surrounding neighbourhoods. The trails should be slightly elevated to avoid flooding and may require elevated boardwalk sections in some of the riparian areas near the stream or in particularly low wet areas. In addition, at least two to three pedestrian bridges will be required to span Coho Creek. These bridges should be designed and constructed so that they create minimum disturbance in the riparian areas.



*Informal trails exist on the west edge of the site adjoining the residential area*

## **1.8 Stormwater Management**

- 1.8.1 Coho Creek will be the major recipient of stormwater runoff on the site. As a fish-bearing water course, any stormwater flow should be filtered and scrubbed via biofiltration and detention pond system in the proposed development.
- 1.8.2 Since the business park will generally have larger lots than urban residential development, there is an opportunity for more significant lot biofiltration areas and bio-swales to convey the stormwater and clean it on site and in transit to Coho Creek. Similarly, if clustered residential development is considered on the west edge of the site, this form of development would permit potential larger areas for stormwater detention and biofiltration before entering Coho Creek.
- 1.8.3 Further study will be required on an overall and site by site basis to ensure that the stormwater system on the site will be properly designed to minimize impacts on Coho Creek's health and capacity. Any development would need to demonstrate compliance with the City's stormwater management requirements following the three tier on-site source controls using Provincial and Metro Vancouver design standards. Stormwater management strategies need to be coordinated with geotechnical recommendations, environmental protection areas, and tree retention plans.



## 2.0 Employment Area Development Concept and Principles

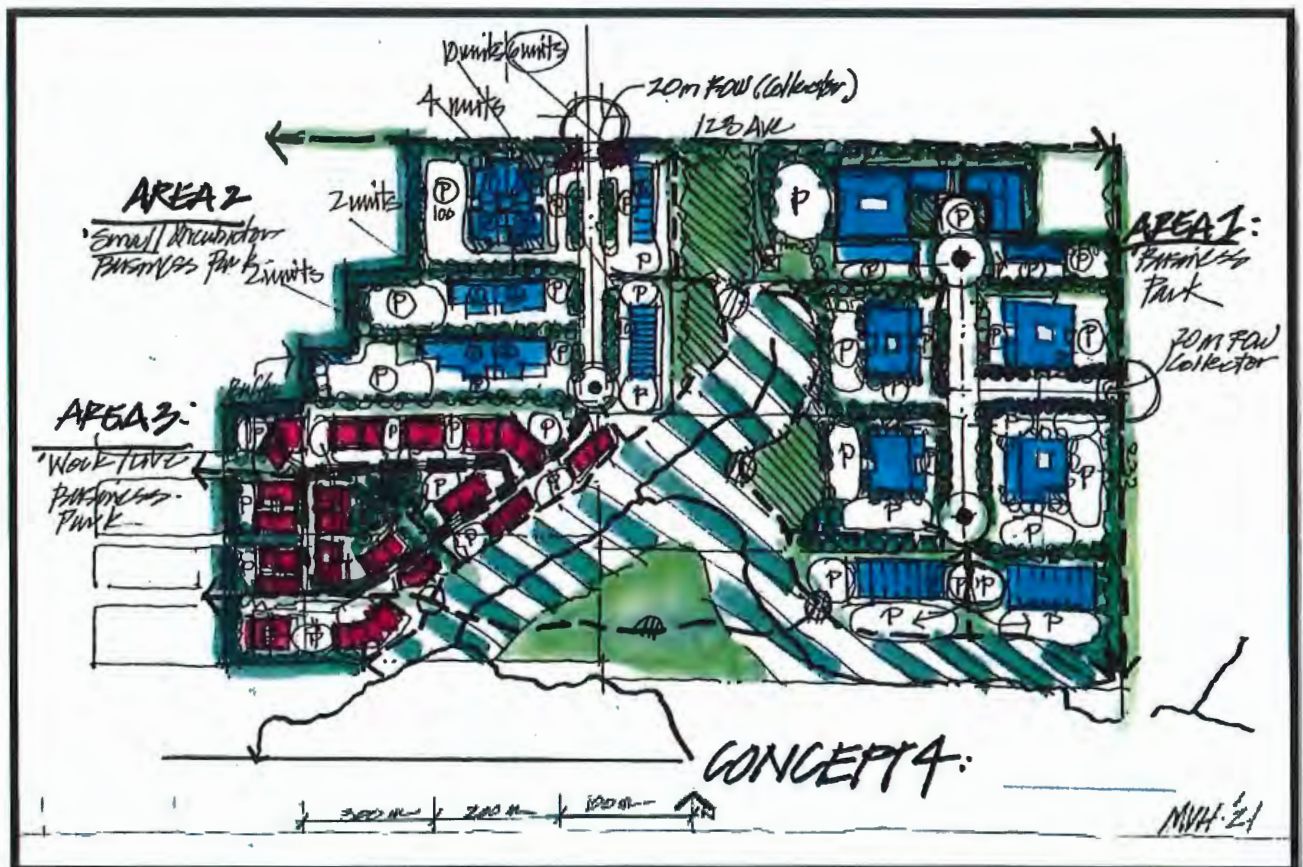
### 2.1 Employment Area Development Concept

#### 2.1.1 Complete Yennadon Lands Vision: Live, Work, and Play with Nature

The intent is to create a complete neighbourhood where residents and business owners can live, work and play within a five to ten-minute walk or bicycle ride of their residence. This employment area should be uniquely smaller scaled to fit with the surrounding neighbourhood, offering the potential for a variety of smaller scaled buildings with limited building heights and sizes. Residential uses will be limited to potential work/live units in the west sector (see Development Concept Plan below).

#### 2.1.2 Nature and Eco-Industrial Network Potential: The natural environmental area of the site will be conserved as the Coho Creek Conservation Area with the required 30 metre setback areas to buildings and trails along its edges. The employment area will be linked by trails and natural open spaces, which in turn will be connected to the adjoining communities. Businesses are also encouraged to form an Eco-industrial Network to minimize waste and optimize the "circular economy" where waste becomes a potential raw material for another local business. (see Eco-Industrial Park Handbook:

<https://openknowledge.worldbank.org/handle/10986/31456> and article; <https://link.springer.com/article/10.1007/s10098-016-1224-x> ).



Yennadon Lands Employment Park Development Concept

## 2.2 Guiding Principles

- 2.2.1 **Suitable Mix of Employment Uses:** The employment area will need to have an appropriate mix and size of employment uses to generate suitable levels of job creation while still affording a sensitive transition to the surrounding residential uses.
- 2.2.2 **Neighbourhood Business Scale and Character:** The design of the employment area will be limited to business activities inside the building to eliminate nuisance noise, odour, and other negative impacts. The building form will be more of a residential height and massing in the western area with generous landscape retention and reduced parking if possible. The eastern area may have larger and more conventional light industrial buildings.
- 2.2.3 **Innovative Mixed Uses:** The development of this site may include a mix of employment uses (including consideration for work/live units and co-working space, especially in the western area). Work/live uses will be limited to the west portion of the site.
- 2.2.4 **Environmental Sensitivity:** Coho Creek will be protected and enhanced with the appropriate setbacks and a progressive stormwater management system on site.
- 2.2.5 **Trail Network:** A comprehensive trail network will connect to the adjoining communities and provide a rich amenity for both the businesses and residents to enjoy, promoting a healthy and walking/biking culture.
- 2.2.6 **Resilience and Adaptability:** This employment neighbourhood will be designed and planned so that there is diversity and choice of business parcels and units so they can adopt and consolidate or expand over time.
- 2.2.7 **Climate-Change Responsive:** The infrastructure and servicing will be designed for increased storm flows and special events, so the neighbourhood has the ability to weather through extreme climatic conditions with additional precautionary measures, including floodways and dry pond areas for emergency stormwater storage.

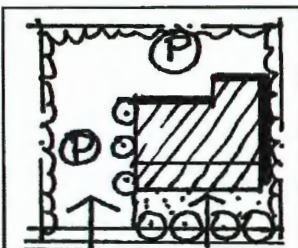
The intention is that each of the businesses will be part of a greater community that engenders environmental stewardship, economic prosperity, and social responsibility as core to their values.



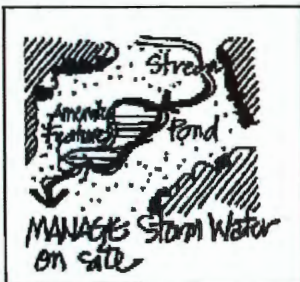
### 3.0 Design Guidelines

#### 3.1 General Guidelines: Site Planning Essentials

The following are requirements for each Development Permit Application:



Parking to the side and rear of the building; visitor parking may be in front.



##### 3.1.1 Minimize site disturbance and enhance natural features

The site is sensitive to any alterations of the landscape, especially those areas adjoining Coho Creek. There shall be no disturbance within the stream setback area. Other areas with significant trees will be retained where possible and enhanced with native planting.

##### 3.1.2 Locate building and parking to minimize impact on natural areas

Buildings and required parking shall be located outside the stream setback area. Additional parking or storage areas can be completed with pervious surfaces and surface storage to permit temporary retention, subsurface water recharge and reduce off-site erosion. Any trails or pathways should be located outside the stream setback area.

##### 3.1.3 Locate buildings close to the streets with pedestrian access

Since this area is intended to be pedestrian friendly and residential scale on the west portion of the site, buildings will be required to meet the minimum setback requirements unless visitor parking is proposed in the front yard setback. Direct pedestrian pathway access from the street and parking to the building will be required.

##### 3.1.4 Create adequate building weather protection and passive solar gain

Rain is a matter of fact in the Vancouver Region. Broad overhangs and other methods to protect the building and pedestrians shall be required as part of a genuine west coast approach to design of the buildings and landscape.

##### 3.1.5 Locate main employee parking to the side and rear of the site

Only visitor parking will be permitted in the front yard area. Other parking is required to be located in side yards or rear yards.

##### 3.1.6 Locate storage, service and loading to the side and rear of the site

Storage, service and loading are required to be located to the sides or rear of the property to minimize potential conflicts with visitors and pedestrians as well as reduce undesirable visual impacts.

##### 3.1.7 Manage stormwater on site

Rainwater management will be important so that Coho Creek will receive unpolluted water and nurture the local fish population. No excess runoff will be permitted from any site and will be retained on site in the event of a storm or other rain event in accordance with City of Maple Ridge engineering and environmental standards.

##### 3.1.8 Create a landscaped strip at the front, rear and side of site

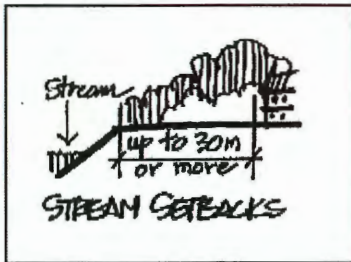
To buffer the visual intrusion of larger buildings, storage, and parking, a landscape strip will be required along the front yard, side yards and rear yard. The specifications for planting, width, and fencing are included in the Specific Guidelines that follow.



## 3.2 Specific Guidelines and Standards

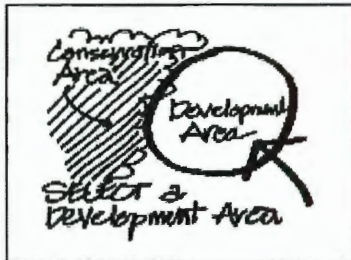
These guidelines generally follow Part 803, *M3 Business Park Industrial Zone* requirements within the City of Maple Ridge *Zoning Bylaw 7600-2019* and may be more specific in some cases to attain the Yennadon Lands Employment Park Development Concept and Guiding Principles (Sections 2.1 and 2.2 of this document).

### 3.2.1 Overall Site Planning



- 3.2.1.1 The minimum development setback from Coho Creek is 30 metres. No buildings, improvements, or site disturbance are permitted in this setback area. The development setback area will be defined by the measurement from the top of bank of Coho Creek and require *Natural Features and Watercourse Protection Development Permits*.

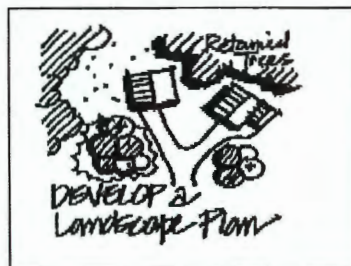
- 3.2.1.2 The undeveloped portion of the lot shall have all erosion and sediment control mitigation measures in place and be in compliance with the *Maple Ridge Watercourse Protection Bylaw No. 6410-2006*, or as amended.



- 3.2.1.3 Developments are encouraged to incorporate Low Impact Development (LID) techniques into site planning. Applicants should consider employing techniques such as rain gardens, vegetated swales, separation of impervious surfaces, installing below surface infiltration beds and tree box filters, and redirecting water from drainpipes into vegetated areas.

- 3.2.1.4 All landscaping areas shall meet or exceed the Metro Vancouver Regional District Stormwater Source Control Design Guidelines 2012, or as amended.

### 3.2.2 Overall Landscape Plan



- 3.2.2.1 A registered British Columbia Landscape Architect shall develop a Landscape Plan for each parcel.

- 3.2.2.2 The landscape plan is to retain and enhance the natural settings as much as possible with no disturbance to the natural areas to be conserved outside the building sites. Landscape elements should follow an informal design and be understated.

- 3.2.2.3 Landscaping on site shall provide definition to pedestrian corridors; adequate screening between sites; soften the transition between adjacent uses; and create interesting views and focal points in and to other parts of the overall employment area including the central natural area.

- 3.2.2.4 Landscape design shall extend and complement the central natural area of the site and complement the adjoining residential development with natural plantings, accent planting, and specimen planting, where appropriate.



- 3.2.2.5 The scale and location of plant material shall complement and be consistent with the scale and massing of the building(s) and the street trees.





*Landscape for energy efficiency and conservation*

- 3.2.2.6 The Landscape Plan shall include vegetation and trees to be retained and protected during construction by distinct fencing (Section 3.2.4).
- 3.2.2.7 Site grading and excavation should retain topsoil on site and create the least site disturbance where possible.
- 3.2.2.8 All final site grading must match adjoining, undisturbed natural grades and should be integrated with the stormwater master plan.
- 3.2.2.9 The Landscape Plan should consider energy efficiency and conservation in the selection and placement of plants including the following:
  - 3.2.2.9.1 Providing shade in the summer and light in the winter to the buildings through deciduous tree planting;
  - 3.2.2.9.2 Allowing daylight to active building frontages;
  - 3.2.2.9.3 Permitting natural drainage and ground-water recharge through the placement of planting and planting beds; and
  - 3.2.2.9.4 Redirecting rainwater from rooftop runoff into vegetated areas or rain barrels for later irrigation use.

### 3.2.3 Landscape Strips and Screens



*3.0 metre landscape strip in the front yard and exterior side lot*



*3.0 metre landscape screen in the side and rear yards*

- 3.2.3.1 A landscape strip is required at the property line along the street front and exterior side lot. Visitor parking is permitted in the front yard only in addition to pedestrian access to the building.
- 3.2.3.2 A recommended selection of native trees, shrubs and groundcovers are recommended to cover at least 75 percent of the ground in this landscape strip area. The balance is recommended to be natural grasses or no-pesticide lawn grasses. Low shrubs (planted at 1.0 metre minimum on centre and trees at a maximum 7 metres on centre) should be planted to screen parked cars but allow visual access to the building for safety purposes.
- 3.2.3.3 All planting on the property shall be native, water-conserving, herbaceous and/or woody plant species suitable for the City of Maple Ridge.
- 3.2.3.4 A metre landscape screen is required in the side and rear yards and along any lot line edge where a trail is required. These buffer/screen strips shall be planted with native evergreen species and are to be continuous and solid adjoining residential uses. These plants shall be planted at a maximum of 5.0 metres on centre and be a minimum 2.0 metres height at planting.

### 3.2.4 Tree retention and replacement

- 3.2.4.1 A tree survey is required by a certified arborist to determine recommendations for tree retention, removal and management.
- 3.2.4.2 A tree management plan should be developed as part of the required Landscape Plan to minimize disturbance on the site and reduce associated development costs. If the tree plan is coordinated with storm water management, site grading, road layout, and building layout, site development costs should be reduced.





- 3.2.4.3 Groups of trees should be retained to protect against potential isolated tree hazard situations. Associated vegetation at the base of trees should be retained to minimize disturbance of existing soil conditions.
- 3.2.4.4 Trees on adjacent property must not be cut, pruned or have roots severed or disturbed during construction. Large tree roots encroaching on construction areas shall be left intact up to the foundation. Fill or any other material shall be kept well clear of existing trees. Foreign materials and substances should be prevented from entering or leaching into soils and definitely not be stored or placed in the tree protection areas. At the same time, root systems of retained trees shall be protected from compaction and grade changes.
- 3.2.4.5 All trees identified for preservation shall be protected during construction unless other demonstrated that they are a safety hazard or require removal to accommodate an approved building or structure in accordance with the *Tree Protection and Management Bylaw No. 7133-2015*.

### 3.2.5 Fencing



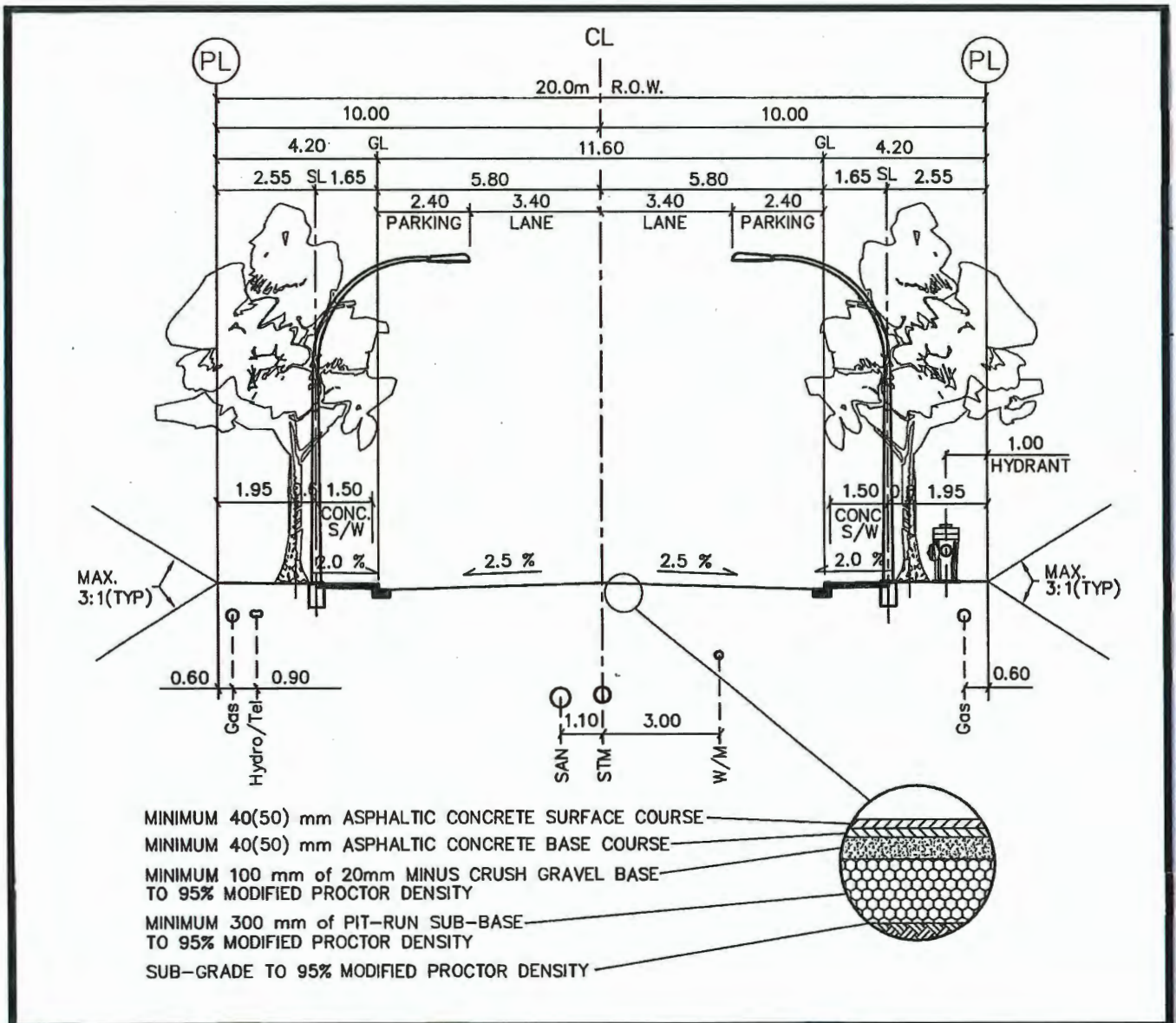
Chain-link fencing integrated with evergreen hedge

- 3.2.5.1 No fencing is permitted in the front yard and external side yard areas, except treatments like low decorative wood rail fencing as part of a coordinated landscape plan to a maximum of 1.2 metres.
- 3.2.5.2 Fencing is limited the internal side yards and rear yard areas and shall not exceed 3.6 metres.
- 3.2.5.3 Fencing adjoining residential areas shall either be constructed with materials consistent with fenced generally used in the residential neighbourhood or can be chain-link fencing if complemented by a solid evergreen hedge on the outside of the fence.
- 3.2.5.4 Any fencing will meet the requirements of *Section 403 – Visual Clearances at Intersections of the Zoning Bylaw*.



### 3.2.6 Street design standards and pedestrian connections

- 3.2.6.1 A 20-metre street right-of-way will provide to a pavement width for larger vehicles and their required wider turning radii, as well as street "pocket" parking on both sides of the street. In addition, a 1.5-metre-wide curbside sidewalk will be provided on both sides of the street with a tree planting strip (see Figure 1 below).



**Figure 1: COLLECTOR STREET Cross-Section**

City of Maple Ridge standard street cross-section permitting space for parking "pockets" on both sides of the street. This street right-of-way provides a curbside sidewalk and an area for street tree planting and lighting.



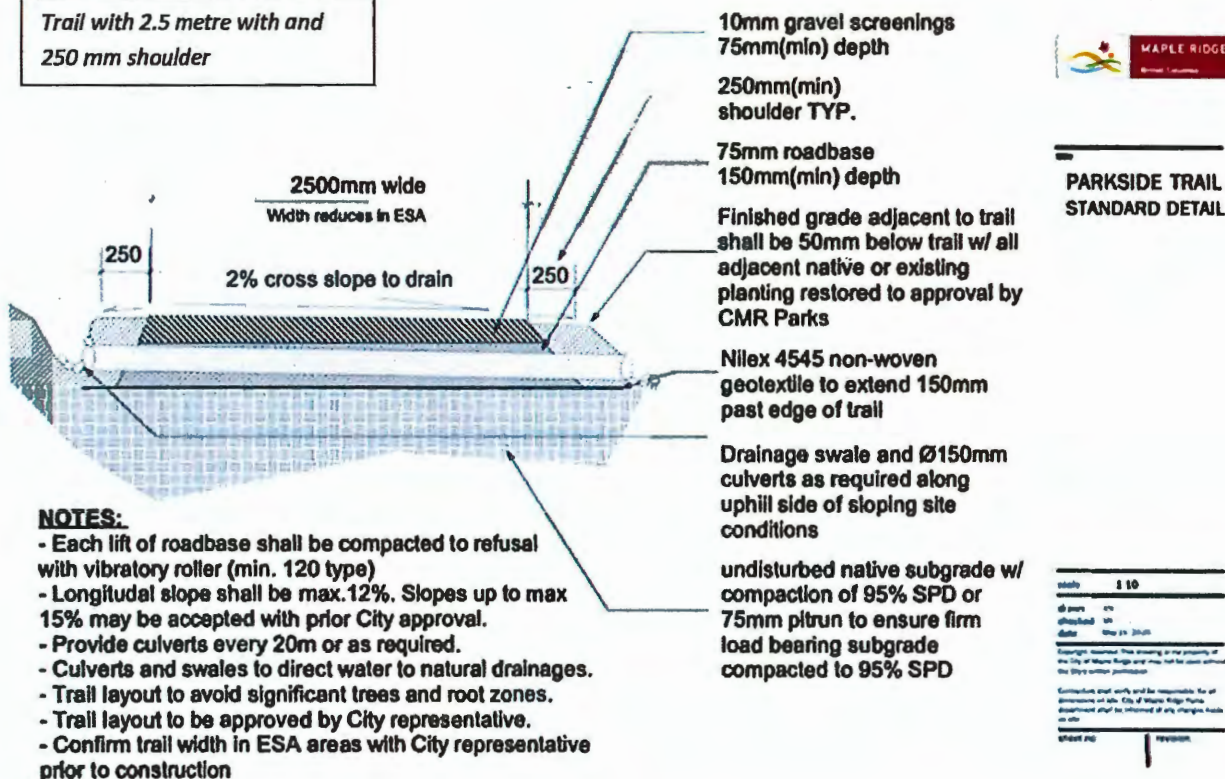


Street lighting with special neighbourhood scale



Trail with 2.5 metre width and 250 mm shoulder

- 3.2.6.2 Street lighting could include the following as special neighbourhood scale lighting: 7.6 metre height, gun metal grey or dark blue KIM Large ERA and provide additional 6.0-metre-high lighting (150-250W MH) along the sidewalk with spacing at 20.0 metres or in accordance with City of Maple Ridge lighting standards.
- 3.2.6.3 There shall be a separate pedestrian sidewalk connection between the street and the front door of the building or buildings.
- 3.2.6.4 It is required that a trail network as shown on the concept plan be provided along the Coho Creek setback area and through the development to connect up to the residential areas south and west of the site and with the proposed multi-use trail along 128<sup>th</sup> Street and 232 Avenue.
- 3.2.6.5 A 5.0m dedicated public-rights-of-way shall be required along the Coho Creek setback areas and between properties to permit an interconnected trail system and as an amenity to businesses and residents.
- 3.2.6.6 Standard trail/pathways include a 2.5 metre pathway with a 250 mm shoulder on both sides (see Figure 2 below).



**Figure 2: PARKSIDE TRAIL Standard Detail**  
City of Maple Ridge standard cross-section for trails

- 3.2.6.7 Street trees shall be spaced 8.0-10.0 metres apart, planted at a minimum 8-centimetre caliper, and be located a minimum 4.0 metres away from light poles.
- 3.2.6.8 Parking will be permitted on both sides of the street unless otherwise determined. The 3.0 metre landscape strip on the inside of the sidewalk, and in the front yard of each parcel specified in section 3.1.3.1, is intended to create a pleasant pedestrian pathway on both sides of the street.
- 3.2.6.9 New paving should match existing—higher quality materials, patterns, colours to emphasize areas of prominence. Paving shall conform to City's standards, however, where decorative elements are required to highlight certain area and slow down vehicular traffic, the following materials shall be used: Sandblasted or broom finished concrete with saw cut or tooled joints and no trowel edges; and concrete unit paver – 305mm Manor Square – Sierra Slate finish, Autumn colour supplied by Westcon / Mutual Material.

### 3.2.7 Entrance Gateways

- 3.2.7.1 Entrance gateways shall be located at the entrance to the west section and east section of the Employment Area at 128 Avenue and at the entrance to the east section on 232 Street.
- 3.2.7.2 The gateways shall set and reflect the character of the employment areas and create a distinct recognition of entrance into an employment area through entrance signage and a potential special paving treatment.
- 3.2.7.3 Materials used in their natural state are encouraged such as stone and wood.



*The entrance gateways are to be neighbourhood scale and using natural materials combined with native landscaping.*



### 3.2.8 Access and parking

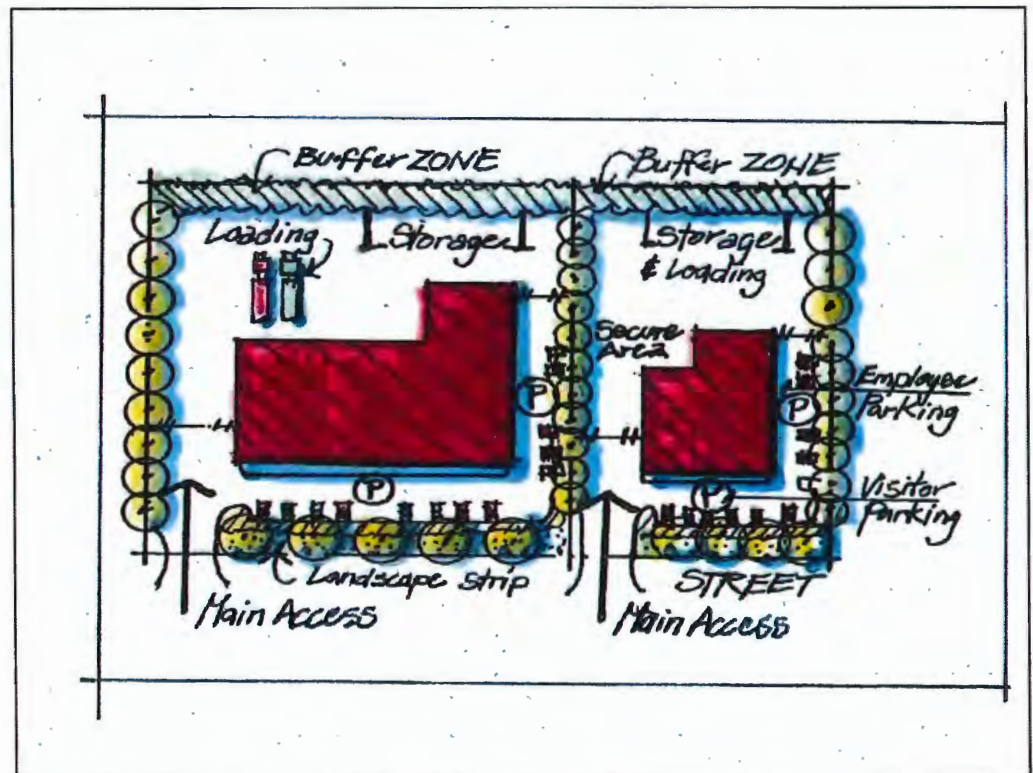
- 3.2.8.1 Access may be shared with adjoining uses to minimize driveway along the street, but additional access widths are to be provided.
- 3.2.8.2 Only visitor parking is permitted in the front yard or external side yard areas. All other parking is required to be on the interior side yards or the rear yard areas.
- 3.2.8.3 Locate disabled parking spaces near the front door of the building, providing ramp or other universal design access.
- 3.2.8.4 All non-vehicular routes shall be fully accessible. Sidewalks and paved pathways shall be wide enough for wheelchairs or scooters and should include a tactile strip for the visually impaired.
- 3.2.8.5 Curb cuts and curb let-downs shall be provided in appropriate locations to facilitate safe, convenient, and direct access from parking spaces to buildings for people with disabilities.
- 3.2.8.6 Parking areas shall be divided into smaller sections by planting trees every 6 parking stalls with shrubs and groundcover to break up and green the parking areas.
- 3.2.8.7 A distinct pedestrian pathway connection shall be provided between the parking area and the main building where there are multiple layers of parking.



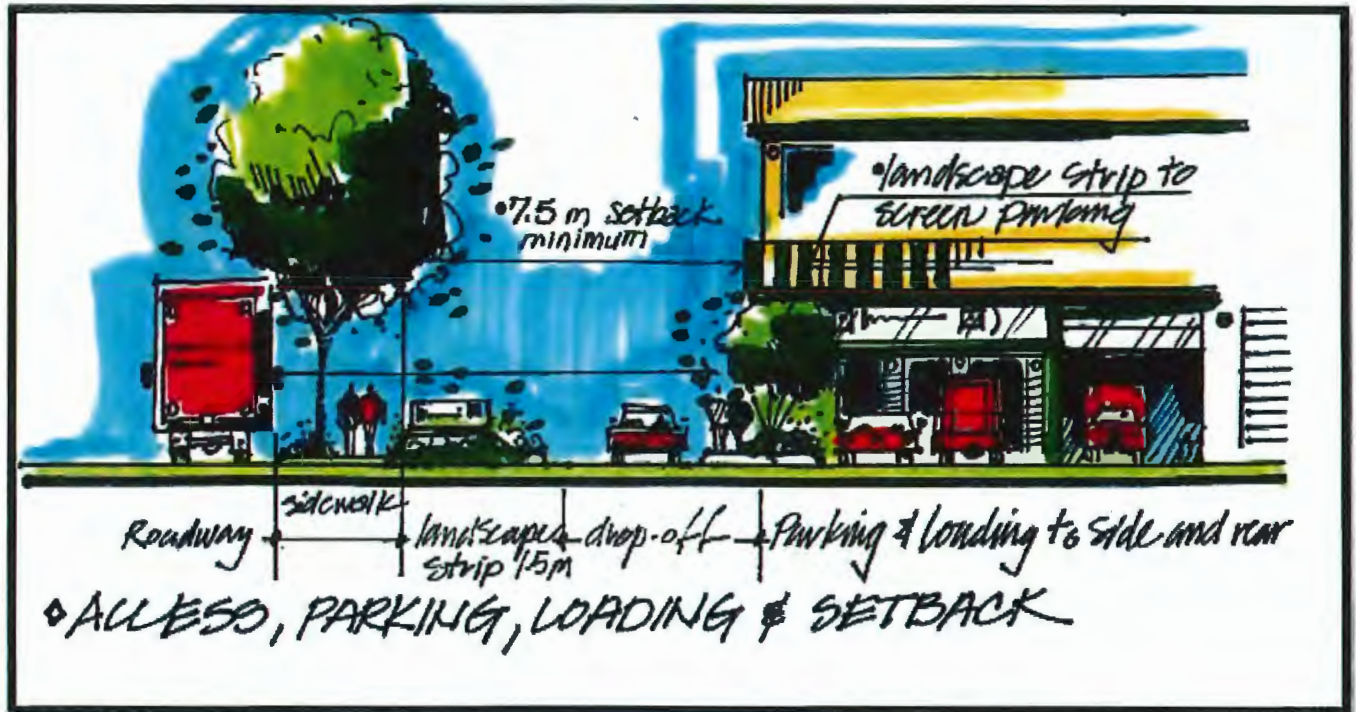
Visitor parking only in the front yard setback area



Pedestrian access from street to front entrance of building







### 3.2.9 Loading, service, storage and refuse



Loading and service bays to the side and rear of the building



Screening of service and loading areas

- 3.2.9.1 Loading and service bays shall be located to the side and rear of the building with access to the side of the building.
- 3.2.9.2 Loading and service bays shall be screened from adjoining properties in accordance with section 3.1.2.3.
- 3.2.9.3 Service and loading areas should have differentiated access to minimize visual impacts and potential conflicts with pedestrians and smaller visitor vehicles.
- 3.2.9.4 No storage materials shall exceed the height of the fencing and screening.
- 3.2.9.5 Ensure construction waste is recycled where feasible.
- 3.2.9.6 A comprehensive waste reduction program is encouraged among landowners that can provide recycling and reuse in close proximity of industrial and commercial owners and/or tenants.
- 3.2.9.7 Refuse receptacles shall be located indoors or within service areas out of view from pedestrian access. Garbage and waste material should be stored in containers that are weather-proof and animal resistant.



### 3.2.10 Building size and massing



3.2.10.1 The front of the building will face the street.

3.2.10.2 It is recommended that the front of the building be articulated with wall divisions, building setbacks/protrusions or punched windows to break up long wall surfaces and create interest and scale along the street front.

3.2.10.3 The front reception and offices could be lower than the back of house warehouse and storage areas to create pedestrian scale and interest along the street.

3.2.10.4 Ancillary or accessory buildings, including structures used for storing materials or refuse containers should be visually screened from public streets with dense evergreen planting or should be designed and finished in a manner consistent and harmonious with the principal building.



*Buildings shall be scaled appropriately and front the street*



*The overall concept is to create a green campus of buildings that scale with the neighbourhood.*



### 3.2.11 Building design and articulation



*Eclectic west coast architecture with wood, glass, and steel*



*No blank walls; walls with texture, glazing, and colours*



*Each building shall have an employee amenity area*

- 3.2.11.1 Eclectic architecture is encouraged – a range of styles, scale, massing, articulation, and glazing suitable for light industrial buildings with a west coast flair by using wood and steel accents where appropriate.
- 3.2.11.2 Broad overhangs for weather protection of both building and pedestrians shall be considered.
- 3.2.11.3 Offices, reception, sales, and other public use areas shall be located at the front of the buildings and face the adjoining street.
- 3.2.11.4 Main entry areas should be highly articulated with at least 50 percent glazing and a distinct front door design and broad overhangs in roof structure and details.
- 3.2.11.5 Building shall have no blank walls. Where there are major extents of wall surfaces, glazing, texture, graphics, and colours provide visual interest and break up the massive surface.
- 3.2.11.6 Mechanical elements on building roofs shall be screened with appropriate materials that blend in with the building design.
- 3.2.11.7 Natural lighting and ventilation should be maximized where possible by creating windows oriented to sunlight and operable windows for natural ventilation.
- 3.2.11.8 Energy efficient fixtures, programmable thermostats and lighting are recommended to reduce energy demand and minimize operating costs.
- 3.2.11.9 Each site shall have an employee amenity area for the common use of employees and visitors that could include a simple sitting area with shelter.
- 3.2.11.10 Main building entries should be clearly identifiable from the street or entry driveway.
- 3.2.11.11 Renewable energy features should be considered such as solar and geothermal energy where feasible.
- 3.2.11.12 Locate building ventilation systems to minimize noise and exhaust on pedestrian areas, adjacent residential development, and outdoor spaces.
- 3.2.11.13 Bicycle racks and bicycle storage for employees is required to advance bicycling to work. Bicycle parking should be visible, in well-lit areas and the bicycle racks should be of theft-resistant materials, securely anchored to the ground. In addition, showers and lockers are encouraged.
- 3.2.11.14 Main building entries should provide generous weather protection that is designed to be an integral feature of the building's architectural character.
- 3.2.11.15 Larger sites that are developed with more than one building should provide a weather protected walkway system to connect building entries within the site, and coordinated with adjacent sites if possible.



- 3.2.11.16 Canopy and/or awning systems detailing should consider integrated signage, lighting, and display systems.
- 3.2.11.17 Canopy and awning systems depth should be maximized to provide greater weather protection, as well as reduce the scale impact of larger buildings.
- 3.2.11.18 Weather protection elements on overhangs may be considered in required yards and landscaped setbacks.
- 3.2.11.19 Ground-oriented pedestrian "streets" through large footprint buildings are encouraged to create connections to on-site circulation routes and amenities, consistent with a campus-like high-tech environment. Such circulation through buildings should be clearly identified and designed for use by the public.



### ♦ BREAK UP THE BOX – Building Articulation.



### ♦ WEATHER PROTECTION & PEDESTRIAN SCALE



### 3.2.12 Building materials and colour

3.2.12.1 Wood, stone, steel, and glass should be elemental to the buildings and building clusters to emphasize the west coast locale and contemporary design.



*Wood, stone, steel, and glass should be elemental to design*

3.2.12.2 Materials like vinyl, aluminum siding and brick facing are not preferred or should be only a portion of the building materials. Accents in wood and stone are recommended.

3.2.12.3 Exposed concrete shall be sandblasted or clad in split faced granite or similar material. Coloured concrete, if used, should be muted earth/rock tones.

3.2.12.4 Construction materials should consider recycled content where possible.

3.2.12.5 Clear or muted colours, used with stains, or earth tone-coloured materials are recommended; accent colours shall be permitted on special building elements such as trim and around the entrance ways.



*The building materials should help reduce the volume and scale of the buildings to help them fit better into the Yennadon neighbourhood.*



### 3.2.13 Crime Prevention Through Environmental Design



3.2.13.1 Crime Prevention Through Environmental Design (CPTED) principles shall be incorporated into site planning and building design by ensuring convenient, safe and identifiable access routes to building entrances, and other principal areas of the site and buildings.

3.2.13.2 Design the site and building so that there is natural surveillance, allowing people to easily view what is happening around them from the parking lots, entrance areas, storage areas and loading bays. Entries and walkways should be highly visible and well-lit with minimum hidden or blind corners.

### 3.2.14 Signage and wayfinding

3.2.14.1 All signage shall conform to the City of Maple Ridge Sign Bylaw.



*Signage should complement building design and placement*

3.2.14.2 Signage design, materials and message should be integrated and complement the scale, colours and materials of the building.

3.2.14.3 In multi-tenant buildings, signs shall be designed to present a unified appearance using a single sign at the entrance and separate signs in a consistent sign strip along the mid-part of the building/buildings.

3.2.14.4 Entrance signs to the site should be ground-mounted and simple in character to display the street number and name of the complex.

3.2.14.5 Entrance signage shall be monument based and shall be combined with landscape design to integrate the sign into the site planning and design.

3.2.14.6 Only one individual tenant sign is permitted in a coordinated sign strip area.



*Smaller monumental entrance signage using building materials and west coast look complements a local neighbourhood landscape.*

### 3.2.15 Site Lighting

- 3.2.15.1 Lighting shall be designed following a 'dark sky policy' with direct lighting only (full-cut-off) so lighting is directed and there is minimum off-site impacts especially on adjacent residential neighbourhoods.
- 3.2.15.2 Even within the development discreet front entrance lighting and other visitor parking lighting is lower pedestrian scale (LED energy efficient lighting and directed and complements the adjoining street lighting.
- 3.2.15.3 Security lighting is directed and does not flood-off site.
- 3.2.15.4 Other accent lighting including up-lighting for the entrance signage, pedestrian pathway lighting, and specimen trees is acceptable and encouraged as part of a unified landscape and building lighting plan.
- 3.2.15.5 Sidewalk lighting will be coordinated with the street design.

### 3.2.16 Work/Live

- 3.2.16.1 Work/live units may be approved in the west area of the site.
- 3.2.16.2 These work/live units will be required to meet the parking standards of the City of Maple Ridge for both residential and industrial uses.
- 3.2.16.3 Parking for the residential units will be conveniently located adjoining the unit.
- 3.2.16.4 Workspace will be provided on the first floor and residential space will be provided above the unit and front doors can face an internal access lane.
- 3.2.16.5 No residential units will be permitted on the first floor.
- 3.2.16.6 Caretaker units can be provided in other industrial buildings.
- 3.2.16.7 The Work/Live units shall comply with the other Employment Park guidelines, unless otherwise specified, to ensure that they integrate with the development patterns within the Park.



*Work/Live space development opportunities in the west sector of the Employment Park will provide suitable opportunities for incubator small businesses and a suitable transitional use to the existing adjoining residential uses.*



### **3.2.17 Landscape Requirements**

- 3.2.17.1 All landscape methods and materials should meet current BCSLA/BCNTA Landscape Standards.
- 3.2.17.2 Native British Columbia species should be maximized. Any supplemental planting should be compatible in variety and size.
- 3.2.17.3 Minimize cultivated, decorative, and non-indigenous plants and lawns. Naturalized landscapes should be the general approach to reduce maintenance, enhance wildlife, and water use.
- 3.2.17.4 Tall tree species should be located to minimize impact on views from neighbouring properties.
- 3.2.17.5 All trees shall be provided with a sufficient depth of soil volume to meet or exceed a total of 10m<sup>3</sup> of soil volume per new tree planted.
- 3.2.17.6 Potential native landscape plant list: The following are potential native plants options for individual, cluster site, and overall site development enhancement. This is a general list of plants. Sometimes the best solution with native planting is to mimic the tree types and patterns on the existing site to maximize compatibility and survival. All plant material will meet BCNTA standards.

#### **Deciduous Trees**

Red Alder, *alnus rubra*  
Vine Maple, *acer circinatum*  
Red Maple, *acer rubrum*  
Paper Birch, *betula papyrifera*  
Pacific Dogwood, *cornus nutallii* (and smaller varieties)  
Douglas Maple, *acer glabrum*  
Black Hawthorn, *crataegus douglasii*  
Pacific Crab Apple, *malus fusca*  
Bitter Cherry, *prunus emarginata*

#### **Coniferous Trees**

Douglas Fir, *pseudotsuga menziesii*  
Western Red Cedar, *thuja plicata*  
Western Hemlock, *tsuga heterophylla*  
Western Yew, *taxus brevifolia*  
Red Cedar, *thuja plicata* 'Excelsa'  
Western White Pine, *pinus monticola*  
Shore Pine, *prunus contorta*  
Mugho Pine, *pinus mugo mughus*

#### **Shrubs**

Maidenhair Fern, *adiantum pedatum*  
Deer Fern, *blechnum spicant*  
Western Sword Fern, *polystichum munitum*  
Oregon Grape, *mahonia aquifolium*  
Huckleberry, *vaccinium parviflorum* & *ovatum*

Redtwig Dogwood, *cornus stolonifera*  
Wild Mock Orange, *philadelphus lewissii*  
Viburnum, *viburnum davidii*  
Pacific Rhododendrons, *rhododendron macrophyllum*  
Azaleas, (local evergreen varieties)  
Sarcococca, *sarcococca ruscifolia*

**Ground Covers, Vines**

Kinnickinnick, *arctostaphylos uva-ursi*  
Salal, *gaultheria shallon*  
Clematis, *clematis armandii*



*Diversity of native plant materials that grow well in local site conditions is important to the health and growth of the site landscaping .*



## Yennadon Lands Employment Park

### ***Design Checklist***

Design Section	Compliance YES/NO	Comments or Equivalencies
<b>3.1 Site Planning Essentials</b>		
3.1.1 Minimize site disturbance and enhance natural features		
3.1.2 Locate building and parking to minimize impact on natural area		
3.1.3 Locate buildings close to the streets with pedestrian access		
3.1.4 Locate and orient buildings for passive solar gain		
3.1.5 Locate main employee parking to the side and rear of the site		
3.1.6 Locate storage and loading to the side and rear of the site		
3.1.7 Manage stormwater on site		
3.1.8 Create a landscaped strip at the front, rear and side of site		
<b>3.2 Specific Guidelines and Standards</b>		
3.2.1 Overall site planning		
3.2.2 Overall landscape plan		
3.2.3 Landscape strips and screens		



Design Section	Compliance YES/NO	Comments or Equivalencies
3.2.4 Tree retention and replacement		
3.2.5 Fencing		
3.2.6 Street design standards and pedestrian connections		
3.2.7 Entrance gateways		
3.2.8 Access and parking		
3.2.9 Access and parking		
3.2.10 Building size and massing		
3.2.11 Building size and massing		
3.2.12 Building materials and colour		
3.2.13 Crime prevention through environmental design		
3.2.14 Signage and wayfinding		
3.2.15 Site Lighting		
3.2.16 Work/live		
3.2.17 Plant selection		

## SUMMARY EVALUATION:

### Yennadon Lands Employment Park

Strengths

Weaknesses

Required Improvements

Other Recommendations and Comments

## Notes on Development Permit Application



## CITY OF MAPLE RIDGE

## BYLAW NO.7735-2021

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

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**WHEREAS** Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

**AND WHEREAS** it is deemed desirable to amend Schedule "B" and Schedule "C" to the Official Community Plan;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No.7735-2021."
2. To amend the Urban Area Boundary, as shown in Schedule 1, to include the Yennadon Lands in their entirety.
3. Those parcels or tracts of land and premises known and described as:

Lot 43, Plan NWP30199, Section 20, Township 12, Group 1, New Westminster Land District

Parcel A, Lot 8, Plan NWP5467, Section 20, Township 12, New Westminster Land District, REF PL 8148

Lot 7, Plan NWP5467, Section 20, Township 12, Group 1, New Westminster Land District

Lot 6, Plan NWP5467, Section 20, Township 12, Group 1, New Westminster Land District

Lot 5, Plan NWP5467, Section 20, Township 12, Group 1, New Westminster Land District

Lot 3, Plan NWP5430, Sublot 1, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District, Except Plan PARCEL "A" RP22408, P23424

Lot 4, Plan NWP5430, Section 20, Township 12, Group 1, New Westminster Land District, Except Plan 23424, LMP12700

Lot 2, Plan NWP22339, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District

Lot 46, Plan NWP31436, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District

Lot 55, Plan NWP40879, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District

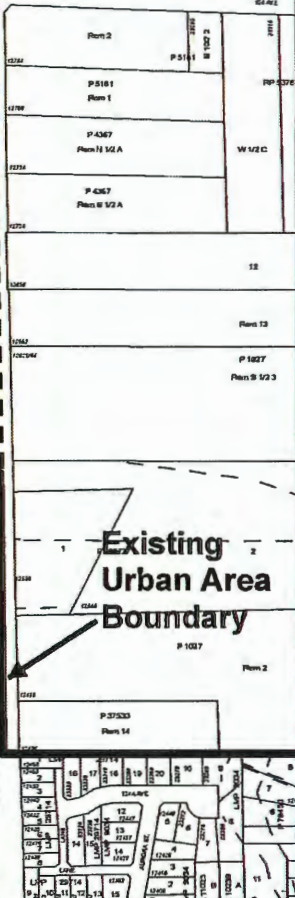
Lot 56, Plan NWP40879, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District

Parcel B, Lot 8, Plan NWP5467, Section 20, Township 12, New Westminster Land District, (REF PL 13094)

And outlined in heavy black line on Map No. 1038 and 1039, a copy of which is attached hereto as Schedule 2 and forms part of this Bylaw, are hereby re-designated to Industrial (Employment Park Category) and Conservation.

- READ** a first time the                      day of                      202X.
- READ** a second time the                      day of                      202X.
- PUBLIC HEARING** held the                      day of                      , 202X.
- READ** a third time the                      day of                      , 202X.
- ADOPTED**, the                      day of                      , 202X.

CORPORATE OFFICER



## SCALE 1:6,500





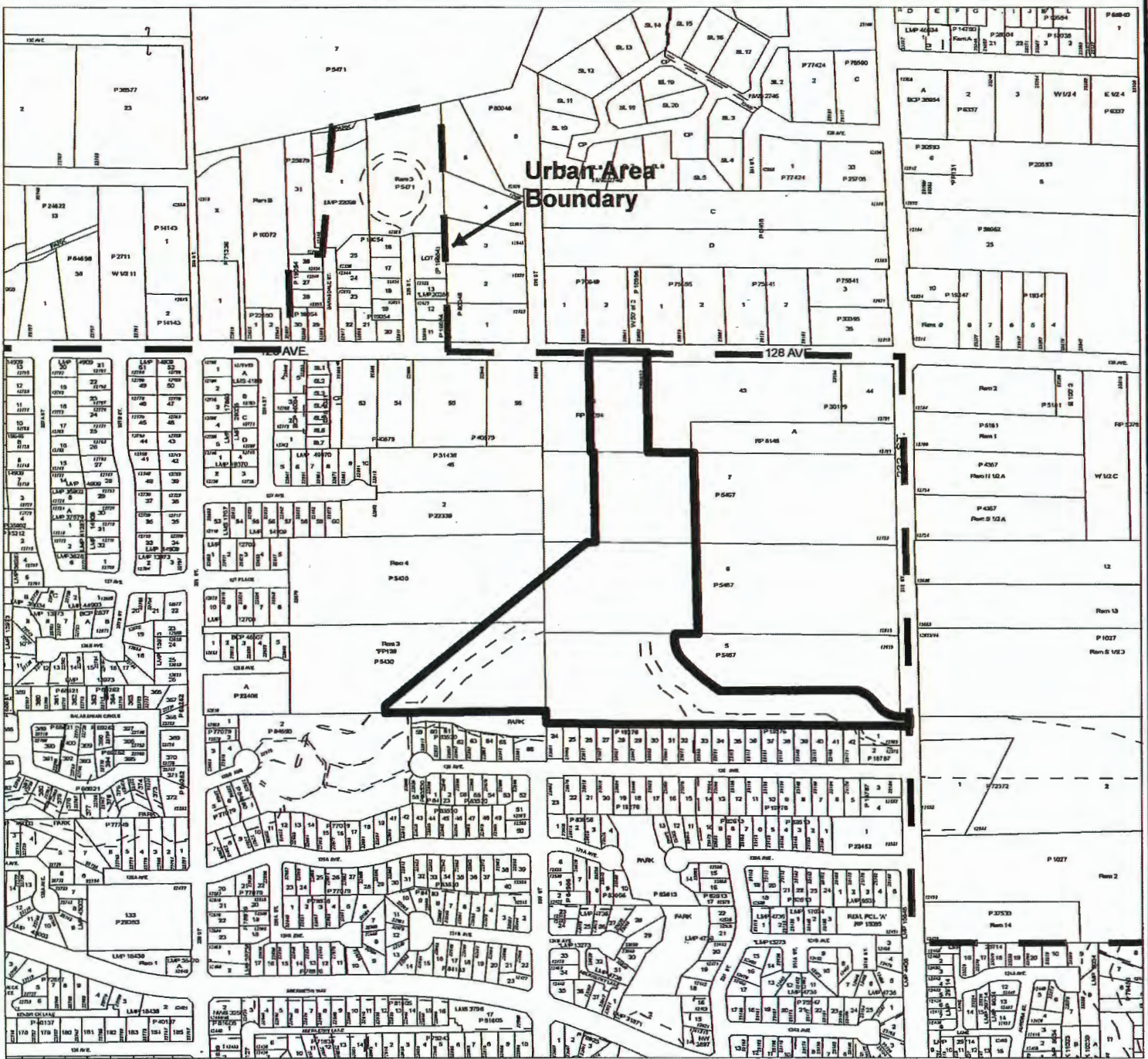
From: Agricultural

### ☐ Conservation



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# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7735-2021

Map No. 1039

Purpose: To Amend Schedule C as shown

From:

To:  To Add To Conservation

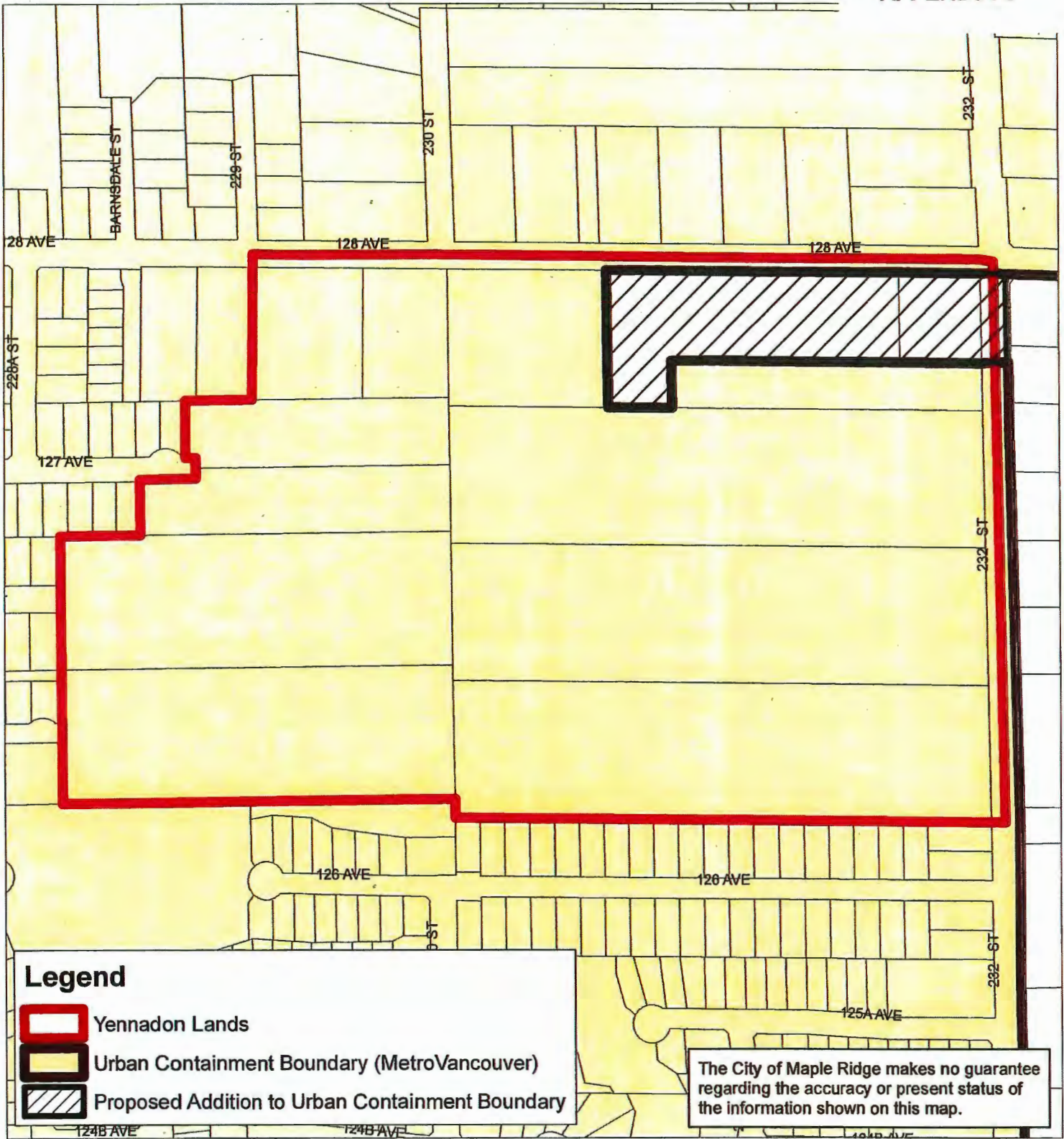


 Urban Area Boundary



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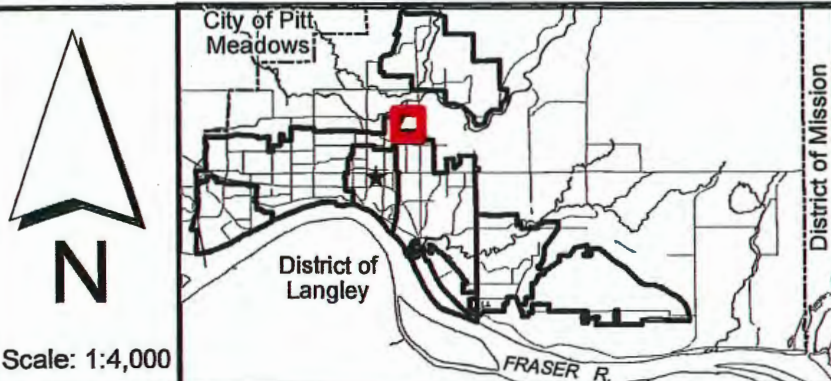




**Legend**

-  Yennadon Lands
-  Urban Containment Boundary (MetroVancouver)
-  Proposed Addition to Urban Containment Boundary

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.



Scale: 1:4,000

**Proposed Addition  
to Urban Containment Boundary**

PLANNING DEPARTMENT



**MAPLE RIDGE**  
British Columbia

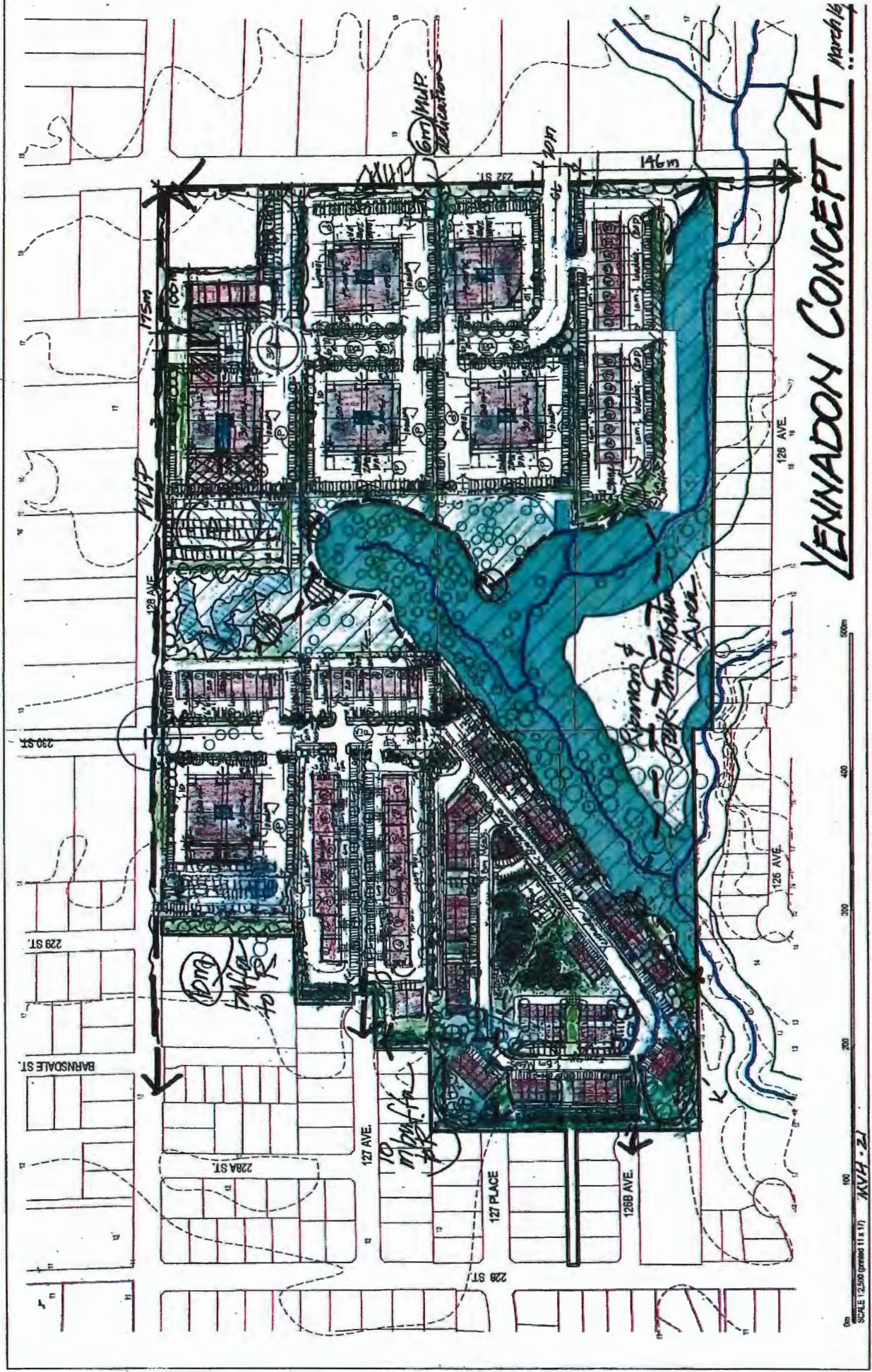
**mapleridge.ca**

FILE: YennadonLands.mxd

DATE: Jun 22, 2020

BY: DT





# YENNADON CONCEPT 4

March 16

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## Appendix J

### Summary of Advisory Design Panel Resolutions

Following presentations by the project Architect and Landscape Architect, the Advisory Design Panel made the following resolution that:

That the Advisory Design Panel has reviewed application 2019-119-DP on September 15, 2021, and recommends that the application be supported and the following concerns be addressed as the design develops and submitted to planning staff for follow-up (responses provided by the Architect and Landscape Architect are provided in italics).

#### Architectural Comments:

1. Consider wrapping materials on east and west elevation around the south façade;  
*Incorporated on the elevation sheets and renderings.*
2. Ensure adequate lighting above covered parking on south;  
*Incorporated into the Enlarged Site Plan.*
3. North elevation - consider sloped roof portion to be the same material as the wall;  
*Incorporated on the elevation sheets and renderings.*
4. Roof top screening consider extending the parapet to provide additional screening;  
*Incorporated on the elevation sheets and renderings.*
5. Provide articulation at material changes.  
*Incorporated in the renderings. The dark metal panel sits 50mm proud of the white and wood textured metal panel.*

#### Landscape Comments:

1. Salix sitchensis can get large – may get too large for space (24'-35' height and width) good for wet soils. Recommend reviewing size of proposed tree symbols to ensure it shows mature size;  
*This was noted and implemented - refer to tree plans.*
2. Review mature size of trees to ensure adequate space - i.e. southwest corner at garbage;  
*Noted and implemented - refer to tree plan.*



3. Parking planting bed on east side against road; recommend proposing material that is broadleaf evergreen or conifer to min 1m height to screen car headlights into street -perennials are beautiful but not sure if there is full coverage;

*Noted and implemented - refer to planting plan.*

4. Rosa nutkana may not adequately screen garbage area for all 4 seasons. Recommend a taller broadleaf evergreen shrub or conifer to screen garbage from street;

*Noted and implemented - refer to planting plan.*

5. Recommend reviewing screening material on west and south to confirm adequate screening from parking and public visibility;

*Noted and implemented - refer to planting plan*

6. Recommend showing tree protection fencing for all retained trees on all plans that site plan – landscape, arch, civil, mechanical, electrical;

*Noted and implemented - refer to planting plan.*

7. There is a fair amount of greenspace room in the site. Recommend considering additional rain gardens or bioswales to detain stormwater in landscape;

*Noted and implemented - refer to planting plan.*

8. Recommend using either structural soil or soil cells where soil volume is lower. Trees to have a minimum of 6 m<sup>3</sup> volume of tree;

*The trees will be provided with the required structural soil. Noted and implemented - refer to the growing medium plan.*

9. Consider adding parking islands with trees to screen and shade parking if possible;

*Noted and implemented - refer to trees plan and site plan prepared by architects. The revised parking stall numbers are on the architectural plans.*

10. Consider possible signage or signal of intersection at horse trail and driveway entry to manage potential conflict;

*An example of signage was provided to the developer to be placed on the development side of the property line, as vehicles exit the parking lot onto 128 Ave*

11. Consider adding low fence for separation between the pedestrian sidewalk and the horse trail.

*Staff did not support a low fence; there isn't anything similar to the west where the horse trail exists in a developed scenario. This would constrain the horse user into a narrow corridor which isn't ideal.*



**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** Second Reading  
Zone Amending Bylaw No. 7574-2019  
12610 228 Street

**MEETING DATE:** January 18, 2022  
**FILE NO:** 2019-239-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property located at 12610 228 Street from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential), to permit a future subdivision of approximately eight lots over two phases. Phase 1 is subdividing the subject property into three lots, where the largest of these lots will be further subdivided into six lots in Phase 2. Council granted first reading to Zone Amending Bylaw No. 7574-2019 on October 29, 2019.

This application is in compliance with the Official Community Plan, Urban Residential Major Corridor policies.

As per Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program for the total new lot yield of 8 lots. Since the applicant is seeking the rezoning of the entire parcel at this time, the CAC contribution for the entire lots potential must be taken at the rezoning stage. The CAC rates in Policy 6.31 are currently under review and if approved at an upcoming Council meeting this application may be subject to new rates.

**RECOMMENDATIONS:**

1. That Zone Amending Bylaw No. 7574-2019 be given second reading, and be forwarded to Public Hearing; and further
2. That the following terms and conditions be met prior to final reading:
  - i. Road dedication on 126B Avenue plus cul-de-sac bulb, on 228 St, and corner truncation will be required as conditions of subdivision;
  - ii. Registration of a Restrictive Covenant for Stormwater Management;
  - iii. Removal of existing buildings will be a condition for the second phase of subdivision;
  - iv. In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site; and further

- v. That a voluntary contribution for a total of 8 lots in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions, be provided.

## DISCUSSION:

### 1. Background Context:

Applicant: Don Bowins

Legal Description: Lot 3 (RP22408) Section 20 Township 12 Group 1 New Westminster District Plan 5430

OCP:

Existing: Urban Residential

Proposed: Urban Residential

Within Urban Area Boundary: Yes

Area Plan: General OCP

OCP Major Corridor: Yes, 228 Avenue

Zoning:

Existing: RS-3 (Single Detached Rural Residential)

Proposed: R-1 (Single Detached (Low Density) Urban Residential)

Surrounding Uses:

North:

Use: Single-Family Residential

Zone: RS-1b (Single Detached (Medium Density) Residential)

Designation: Urban Residential

South:

Use: Single-Family Residential, and Multi-Family Residential

Zone: RS-3 (Single Detached Rural Residential, and RM-1 (Low Density Townhouse Residential)

Designation: Urban Residential

East:

Use: Single-Family Residential

Zone: RS-3 (Single Detached Rural Residential)

Designation: 97% Agricultural, 3% Rural Residential

West:

Use: Single-Family Residential

Zone: RS-1b (Single Detached (Medium Density) Residential)

Designation: Urban Residential

Existing Use of Property: Single-Family Residential

Proposed Use of Property: Single-Family Residential

Site Area: 4430 m<sup>2</sup> (1.09 acre)

Access: 126B Street

Servicing: Urban Standard

### 2. Project Description:

The subject property is located at the south-east corner of the intersection of 126B Avenue and 228 Street. The property is relatively flat and is currently occupied by a single-family dwelling and accessory residential building (see Appendices A and B). The applicant is proposing to rezone the

property from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential) (see Appendix C) to allow for a future subdivision into approximately eight single family residential lots, where the applicant is intending to phase the subdivision to retain the existing home and accessory building for the time-being, and create two lots within the first phase of the subdivision and the remaining six lots in a second phase of subdivision.

### **3. Planning Analysis:**

#### **i) Official Community Plan:**

The subject property is designated *Urban Residential* in the Official Community Plan (OCP). The subject property is located at the corner along 128 Avenue, which is classified Major Corridor and 126B Street. OCP policy 3-18 2) describes infill along a major corridor is intended for ground-oriented housing forms such as single detached dwellings, garden suites, duplexes, triplexes, fourplexes, courtyard residential developments, townhouses, apartments, or small lot intensive residential. The proposed rezoning into R-1 (Single Detached (Low Density) Urban Residential) is consistent with this policy.

#### **ii) Zoning Bylaw:**

The subject application is proposing to rezone the property located at 12610 228 Street from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential). The subject property is 4430 m<sup>2</sup> in area, and the proposed zone's minimum lot size is 371m<sup>2</sup>. Proposed new lots are ranging in area from 500 m<sup>2</sup> to 600 m<sup>2</sup> (see Appendix C).

#### **iii) Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following temporary relaxations (see Appendix D) due to the required road dedication. The DVP application is asking to reduce the exterior side yard setback requirement temporarily from 3.0 metres to 2.0 metres, until the existing dwelling will be demolished as a condition of the Phase 2 subdivision.

##### **1. Maple Ridge Zoning Bylaw No. 7600-2019, Section 601.7, 1d**

To temporarily reduce the exterior side yard setback requirement, from 3.0m to 2.0m, until Phase 2 of the subdivision gets registered at Land Title Office

The requested variance will be the subject of a future Council report.

#### **iv) Advisory Design Panel:**

The application is proposing single-family residential lots, and no review by the Advisory Design Panel is required.

#### **v) Development Information Meeting:**

A Development Information Meeting was held in the form of personal invites to commentary input, sent via mail-out and newspaper ad, inviting neighbours to review and comment the proposal between October 11 to October 21, 2021.



One person contacted the developer, asking clarification to the existing fence. He expressed liking to look at this property's green back yard. Another person contacted the City file manager to obtain verbal clarification on details. No other issues were raised by the public needing clarification at this time.

vi) **Parkland Requirement:**

As there are more than two additional lots proposed to be created, the developer will be required to comply with the park dedication requirements of Section 510 of the *Local Government Act* prior to subdivision approval.

For this project, there is no suitable land for park dedication on the subject property and it is therefore recommended that Council require the developer to pay to the City an amount that equals the market value of 5% of the land required for parkland purposes. The amount payable to the City in lieu of park dedication must be derived by an independent appraisal at the developer's expense. Council consideration of the cash-in-lieu amount will be the subject of a future Council report.

**4. Environmental Implications:**

A tree permit will be required for removal of trees on and off site, and for protection of trees. Separate tree permits will be required for the separate phases if there will be substantial difference in timing of the two phases.

**5. Interdepartmental Implications:**

i) **Engineering Department:**

Referral review determined that upgrades and requirements will be conditions of the subdivision approval. No requirements under the rezoning file.

## CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7574-2019, and that application 2019-239-RZ be forwarded to Public Hearing.

It is further recommended that Council require, as a condition of subdivision approval, the developer to pay to the City an amount that equals 5% of the market value of the land, as determined by an independent appraisal, in lieu of parkland dedication.

"Original signed by Mark McMullen" for

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*Prepared by:* **Therese Melser**  
**Planning Technician**

"Original signed by Charles Goddard"

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*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Charles Goddard" for

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*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

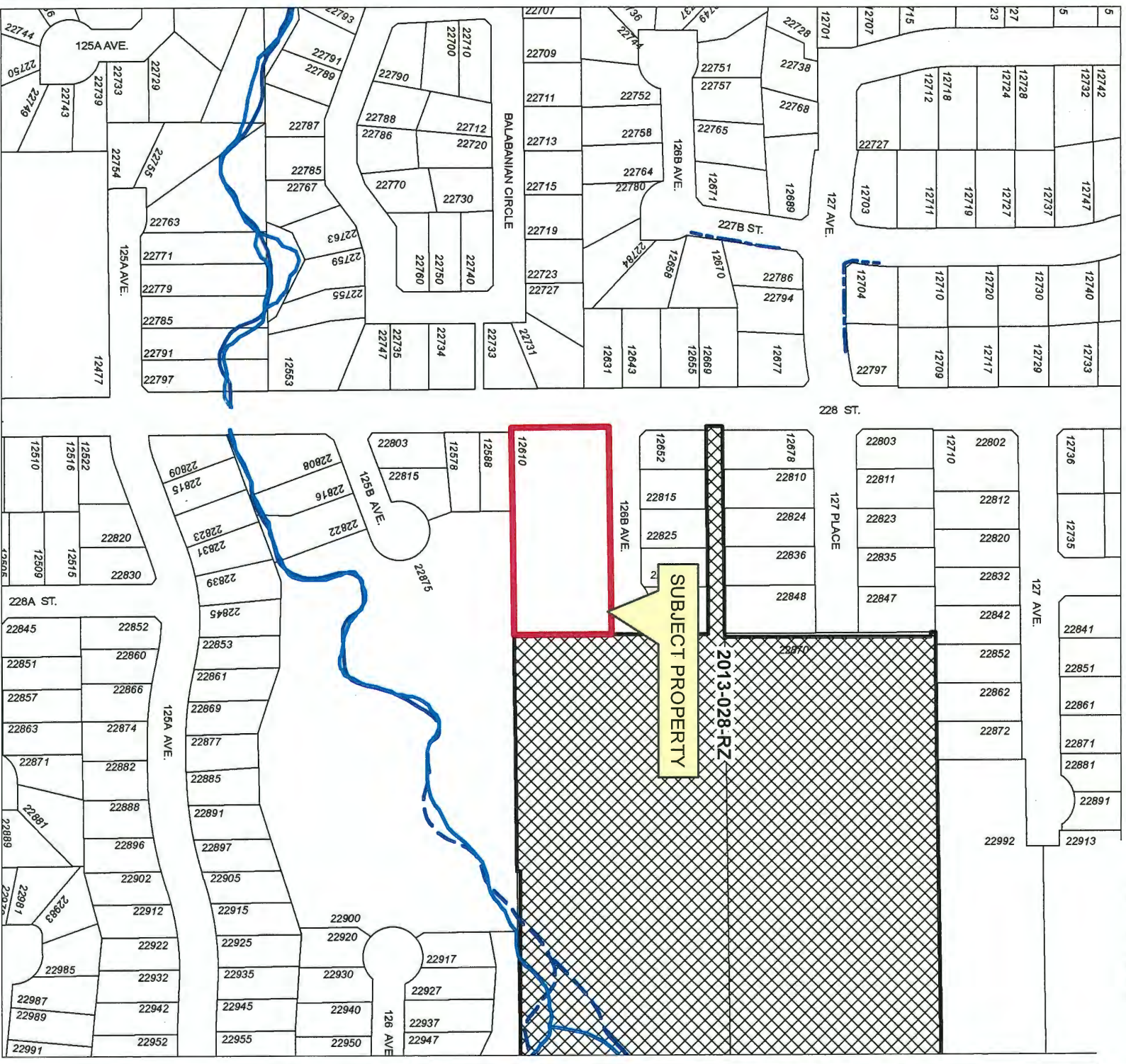
"Original signed by Scott Hartman"

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*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

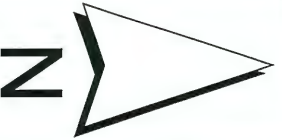
The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7574-2019
- Appendix D – Subdivision Plan



## Legend

-  Stream
-  Ditch Centreline
-  Indefinite Creek
-  River Centreline
-  Active Applications (RZ/SD/DPNP)



Scale: 1:2,500

12610 228 STREET  
PID: 011-136-502

PLANNING DEPARTMENT



mapleridge.ca

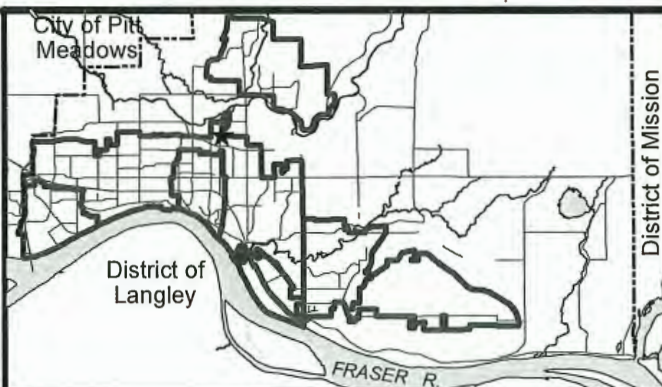
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DATE: Jun 28, 2019

BY: PC



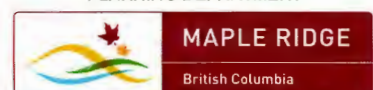


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12610 228 STREET  
PID: 011-136-502

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-239-RZ  
DATE: Jun 28, 2019

BY: PC



CORPORATE OFFICER







**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
Official Community Plan Amending Bylaw No. 7715-2021;  
Second Reading  
Zone Amending Bylaw No. 7716-2021  
25927 and 25801 128 Avenue

**MEETING DATE:** January 18, 2022  
**FILE NO:** 2021-062-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application for a Rezoning Text Amendment and Official Community Plan Amendment has been received for the subject properties located at 25927 and 25801 128 Avenue (see Appendices A, B, and C) to permit an Outdoor Commercial Recreation (outdoor paintball and laser tag) use. Council granted first reading to Zone Amending Bylaw No. 7716-2021 and considered the early consultation requirements for the Official Community Plan (OCP) amendment on March 30, 2021.

The current application proposes an OCP Amendment (see Appendix D) to amend Policy 6-64 to add:

Until policy 6-60 has been satisfied, uses that contribute to employment opportunities and do not require construction of permanent structures or servicing upgrades, may be considered on a case by case basis.

The current application proposes to add a site-specific zoning text amendment to the A-2 zone to the properties located at 25927 and 25801 128 Avenue to permit the Outdoor Commercial Recreation (outdoor paintball and laser tag) use (see Appendix E).

**RECOMMENDATIONS:**

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and ongoing consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7715-2021 on the municipal website and requiring that the applicant host a Public Comment Opportunity, and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That Official Community Plan Amending Bylaw No. 7715-2021 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
3. That it be confirmed that Official Community Plan Amending Bylaw No. 7715-2021 is consistent with the Capital Expenditure Plan and Waste Management Plan;
4. That Official Community Plan Amending Bylaw No. 7715-2021 be given first and second readings and be forwarded to Public Hearing;

5. That Zone Amending Bylaw No. 7716-2021 be given second reading, and be forwarded to Public Hearing; and further
6. That the following terms and conditions be met prior to final reading:
  - i) Amendment to Official Community Plan Schedule "A"; and
  - ii) A covenant registered on title indicating the general area to be used for paintball and laser tag, the associated parking relating to paintball and laser tag, and that any buildings or structures to be constructed in support of these outdoor commercial recreational uses be temporary.

#### DISCUSSION:

##### 1) Background Context:

Applicant: Delta Force Canada Properties Limited, referred to as "Delta Force"

Legal Description: Parcel 1 and Parcel A both of Part SW1/4 Section 25 Township 12 New Westminster District

##### OCP:

Existing: *Industrial Reserve, Rural Resource, Agricultural*

Proposed: *Industrial Reserve, Rural Resource, Agricultural*

##### Zoning:

Existing: A-2 (Upland Agricultural)

Proposed: A-2 (Upland Agricultural)

##### Surrounding Uses:

North: Use: Civic, First Responder Training College  
Zone: A-2 (Upland Agricultural), P-6 (Civic Institutional)  
Designation: *Rural Resource*

South: Use: Residential  
Zone: RS-3 Single Detached Rural Residential  
Designation: *Agricultural*

East: Use: Industrial and City-owned Conservation lands  
Zone: M-2 (General Industrial)  
Designation: *Industrial Reserve, Rural Resource, Conservation*

West: Use: Residential and Agricultural  
Zone: A-2 (Upland Agricultural), A-1 (Small Holding Agricultural)  
Designation: *Industrial Reserve, Agricultural, Rural Resource*



Existing Use of Property:	Resource Extraction, Media Production Studio (outdoor)
Proposed Use of Property:	Resource Extraction, Media Production Studio (outdoor), Outdoor Commercial Recreation (outdoor paintball and laser tag)
Site Area:	32.31 ha (79.9 acres)
Access:	128 Avenue
Servicing requirement:	Rural Standard

## 2) Project Description:

The proposed Zoning Bylaw Text Amendment and Official Community Plan Amendment to permit Outdoor Commercial Recreation use will allow outdoor paintball and laser tag as a use within a defined portion of forested land in the southern part of the subject properties (see Appendices A, B, C, and F).

The applicant will not be clearing the majority of the site for development, as the intent is to utilize the heavily treed lots for five (5) 'game zones' (see Appendix F). The smallest of these zones will be approximately 1170m<sup>2</sup> (12,570ft<sup>2</sup>) and largest will be approximately 2840m<sup>2</sup> (40,500.0ft<sup>2</sup>). All customer parking will be contained on the site in a designated gravel parking area fully screened from 128th Avenue. The approximate 3500m<sup>2</sup> (37,673ft<sup>2</sup>) carpark will be the only area of clearing and will be surfaced in gravel. All proposed structures will be temporary and moveable to allow for a high level of adaptability. No permanent structures are planned for the site.

Delta Force hopes to receive approval for a maximum capacity of 150 patrons per session during the busiest periods of the year (e.g. summer holidays). During the winter months they expect 10-30 patrons per session. Staff numbers would fluctuate seasonally and be based on the number of patrons. A maximum capacity of 150 patrons in the summer would have ten (10) staff members on site.

The project aims to offer a recreational opportunity that allows for physical exercise and socializing in a natural setting. This use, when combined with the nearby (indoor) BMX facility and Wild Play, will contribute to a growing tourist recreational node developing in the northeast quadrant of the City.

At this time the application has been referred to the relevant internal and external departments and agencies, and its Environmental Management Plan has been reviewed by Environmental Planning Staff as outlined below.

## 3) Planning Analysis:

### i) Official Community Plan:

The subject properties are designated *Rural Resource*, *Industrial Reserve*, and *Agricultural* in the OCP. The *Agricultural* designated portion (8%) is located within the *Agricultural Land Reserve*. The following policies provide policy context for the *Rural Resource* and *Industrial Reserve* land uses.

*6-49 Rural Resource Industrial lands are located in the northern portion of the community and provide for a range of general industrial, heavy industrial and high*

*impact resource based industrial uses following the removal of gravel resources on these lands.*

*6-58 Maple Ridge will expand the 256th Street Industrial Area, generally located north of 128th and east / west of 256th Street, by retaining certain lands as Industrial Reserve in order to supply industrial lands for long term industrial uses while preserving such lands from competing uses.*

*6-59 The ongoing intensification of the lands designated Rural Resource, Industrial and Institutional in the 256th Street Industrial Area is encouraged prior to the redevelopment of lands identified as Industrial Reserve.*

*6-60 As well, prior to industrial development occurring on the Industrial Reserve designated land within the 256th Street Industrial Area, the following must have been fulfilled:*

- a) A right-of-way and alignment option, potentially extending the 128th Avenue / Abernethy Way corridor or other alternative routes to the 256th Street Industrial Area, has been established to accommodate industrial traffic through the City, minimizing community and environmental impacts; and*
- b) A servicing analysis has been completed to identify any possible servicing impacts and, if required, approval of an extension to the Fraser Sewer Area by the Greater Vancouver Sewerage and Drainage District (GVS&DD) Board is achieved; and*
- c) Completion of a gravel supply assessment to identify gravel resources within the 256th Street Industrial Area; and*
- d) Council has determined that under policy 6-59 sufficient utilization of the land designated Rural Resource, Industrial and Institutional in the 256th Street Industrial Area has been achieved to warrant consideration of further industrial development.*

*6-61 Until Policy 6-60 has been satisfied, the minimum parcel size for subdivision of land designated Industrial Reserve is 4 hectares, noting that such advance subdivision is strongly discouraged unless the Issues and Objectives of Section 6.4.3 are advanced.*

*6-62 At the time when the Industrial Reserve designated lands will be considered for development, the following must have been satisfied prior to permitting industrial development:*

- a) Completion of an OCP Amendment identifying the lands as 'Industrial' or 'Rural Resource' rather than 'Industrial Reserve'; and*
- b) Approval by the Metro Vancouver Board of an amended Regional Growth Strategy and Regional Context Statement identifying the lands regionally as 'Industrial' rather than 'Rural' is provided; and*
- c) Removal of identified gravel reserves, unless the subject property is identified in Figure 3 of the Official Community Plan, which identifies potential sources of gravel in the City, in which case gravel removal may take place prior to the need for the OCP Amendment outlined in 6-62(a).*

*6-63 While not a requirement of Policy 6-62, at the time when the Industrial Reserve designated land will be considered for development, the creation of a new zone that would permit general mixed employment uses may be warranted, in order to accommodate a mix of light industrial, institutional and heavy industrial zones.*

*6-64 Notwithstanding policies 6-60 and 6-62, Institutional proposals that align with existing zoning on 'Industrial Reserve' or 'Rural Resource' land, showing demonstrable benefits to the community, may be encouraged.*

In terms of the subject proposal, the extent of the paintball and laser tag operation will be limited to the *Industrial Reserve* designated lands. No encroachment on ALR lands is anticipated apart from the slight driveway expansion which the applicant has received written approval from the Agricultural Land Commission. Gravel extraction is currently in progress in the northern portion of the site, and the proposed paintball and laser tag use will not impede ongoing gravel extraction.

As outlined in the OCP, lands designated *Industrial Reserve* are identified to provide the long-term supply of industrial land pending the satisfaction of four criteria set out in Policy 6-60 which have yet to be completed.

The paintball and laser tag business proposal is limited to 2.4 hectares (6.0 acres) of the total 32.31 hectares (79.9 acres) in the two subject properties. The applicant does not propose the construction of any permanent structures, nor require any servicing. As a result, the proposed use is not considered 'development' and therefore not expected to negatively impact the envisioned industrial future, including gravel removal.

In order to issue a business license for the paintball and laser tag use on the subject properties, an OCP text amendment is required to Schedule A (see Appendix D) to create new policy language for the *Industrial Reserve* land use designation. The new revised Policy 6-64 will continue to protect the future of the *Industrial Reserve* lands for long term employment uses in favour of competing uses, while providing some flexibility for businesses with little to no development impact. The proposed new policy states:

*Notwithstanding policies 6-60 and 6-62, Institutional proposals that align with existing zoning on 'Industrial Reserve' or 'Rural Resource' land, showing demonstrable benefits to the community, may be encouraged.*

*Until policy 6-60 has been satisfied, uses that contribute to employment opportunities and do not require construction of permanent structures or servicing upgrades, may be considered on a case by case basis.*

To permit outdoor paintball and laser tag, a zoning text amendment to the A-2 zone is also required to permit the Outdoor Commercial Recreation use on this site. It is recognized that there are limited suitable sites for paintball and laser tag uses in the community, and that the subject properties lend themselves to the use given the parcel size, vegetation and topography of the site, and the rural neighbourhood context. Additionally, the proposed use does not constitute 'development' in that there are no permanent structures or servicing required that would preclude the future employment uses within the current *Industrial Reserve* designation.

ii) **Zoning Bylaw:**

The current application proposes to add a site-specific zoning text amendment to the A-2 Zone to the properties located at 25927 and 25801 128 Avenue to permit the Outdoor Commercial Recreation (outdoor paintball and laser tag) use (see Appendix E).



iii) Off-Street Parking and Loading Bylaw:

The Off-Street Parking and Loading Bylaw requirements for the Outdoor Commercial Recreational are three (3) space per hole for golf courses and one (1) space per slip for marinas. The proposed paintball and laser tag uses are not included within the parking requirements for Outdoor Commercial Recreation. However, this application will be assessed as an Outdoor Commercial Recreational use similarly to golf courses in which three (3) parking spaces are required per hole. On the basis of an 18-hole golf course, the proposed paintball / laser tag operation would be assessed 54 parking spaces. The applicant is proposing 68 spaces on a gravel parking lot.

Further to the above, the maximum number of 150 players and ten (10) staff on site during the busiest season of summer should not translate to 160 cars on site. Delta Force states that they host multiple events (e.g. birthday, pre-wedding parties, and corporate functions) in which they encourage carpooling. Similar operations in Barrie and Ottawa in Ontario have a car to patron ratio of about one car to four patrons (0.25 car per patron) and Strathmore and Sherwood Park in Alberta have a ratio around one car to three patrons (0.33 cars per patron).

The proposed parking area in the applicant's plans will hold 68 cars (see page 2 of Appendix F). Delta Force states that the industry standard of 0.3 cars per patron would result in 150 patrons, the maximum number Delta Force hopes to be permitted, requiring a maximum of 45 cars. On this basis, the proposed number of 68 spaces should be able to accommodate the peak number of 150 patrons and approximately ten staff.

There is no on-street parking in this rural setting and parking outside the covenanted area or within the portion of the site in the Agricultural Land Reserve will not be permitted. It is in the applicant's business interests to ensure that there is adequate parking and suitable alternatives to driving (e.g. private group shuttles for group events).

iv) Development Permits:

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments within 50m of the top of bank of all watercourses and wetlands (see page 6). The purpose of the Watercourse Protection Development Permit is to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

v) Development Information Meeting (Public Comment Opportunity during Covid-19):

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten-day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

A Public Comment Opportunity was held starting on May 18 to the end of May 28, 2021. Two people provided comment directly to the applicant during this period. Nine people commented directly with the Planning Department during this period, two of which were the

same two who commented directly to the applicant. Two other people provided comment to the file manager before and after the ten-day period for a total of 11 residents.

A summary of the main comments and discussions with the attendees was provided by the applicant and include the following main points:

- Noise
- Environmental Impacts
- Traffic
- Paintballs flying outside of the area
- Alcohol, substance use and related disturbances

The applicant has prepared a summary report relating to comments received during this Public Comment Opportunity and ways that the applicant proposes to negate or mitigate issues raised (see Appendix G).

**4) Environmental Implications:**

An Environmental Assessment was conducted by Delta Force's Qualified Environmental Professional to identify sensitive environmental features. Delta Force's Environmental Professional has worked with the applicant on the site plan and has proposed an operational plan that complies with all environmental/habitat setback areas for the adjacent watercourses. An Operational Environmental Management Plan has been prepared to ensure that the proposed business operations do not impact the adjacent environment and sensitive habitat. The applicant has agreed to perform annual impact assessments as part of their Operational Environmental Management Plan.

**5) Agricultural Implications:**

No portion of the site within the ALR will be used as part of the Outdoor Commercial Recreational use. The site is currently 100% zoned A-2 Upland Agricultural, however, given the gravel extraction, watercourses, the grade of the site, and the forest cover of the site, no agricultural impact is foreseen.

**6) Interdepartmental Implications:**

- i. Engineering Department: The application does not trigger any infrastructure upgrades.
- ii. Building Department: There are no proposed buildings, and any portable and/or temporary structures that meet the Building Permit threshold will require a permit. Shipping Containers will require venting and permits, and the applicant was provided the City of Maple Ridge's Shipping Container Guide.
- iii. Parks, Recreation and Culture Department: No concerns, as there doesn't appear to be any conflicts or impacts on the trail or park system.
- iv. Fire Department: No Concerns.
- v. Bylaw & Licensing Services:
  1. The intended use is Outdoor Commercial Recreation and there must be expectations of this as a business model (office + outdoor space). This cannot morph into an outdoor gathering space that becomes a rustic café for a post-game hot coffee/beer. The applicant has been made aware by Planning Staff about the expectations and limitations of the proposal regarding the intended Business use.

2. There is no Business License category for paintball or laser tag “Sports & Recreation Centre – Unclassified” would be the most likely use.
3. This property is in bear country, the facility needs to provide adequate garbage receptacles and they need to comply with the Wildlife & Vector Control Bylaw.
4. Noise complaints will be investigated and assessed for compliance and acceptability in the residential neighbourhood.
5. There should be no violations of the Highway & Traffic Bylaw.
6. Signage needs to be in compliance with the Sign Bylaw.

**7) School District No. 42:**

A referral was sent and there are no impacts on student population as no residences are being proposed.

**8) Intergovernmental Issues:**

**i) Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, No. 7715-2021, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

**9) Alternative**

Should a less permanent option to the OCP and Zoning Bylaw text amendments be desired, an alternative is a Temporary Use Permit.

A Temporary Use Permit would allow for the Outdoor Commercial Recreation use, if granted by Council, for a period of three (3) years which could be extended up to one time for another three (3) year period. The Temporary Use Permit process has recently changed, and now provides a faster, lower cost option for applicants to pursue uses that are not permitted in the property's zoning for a limited time duration.



## CONCLUSION:

There are limited suitable sites for paintball and laser tag uses in the community. The subject properties lend themselves to the proposed Outdoor Commercial Recreational use given the parcel size, vegetation and topography of the site, and the rural neighbourhood context. Additionally, the proposed use does not constitute 'development' in that there are no permanent structures or servicing required that would preclude the future employment uses within the current *Industrial Reserve* designation

It is recommended that first and second reading be given to OCP Amending Bylaw No. 7715-2021, that second reading be given to Zone Amending Bylaw No. 7716-2021, and that application 2021-062-RZ be forwarded to Public Hearing.

"Original signed by Mark McMullen" for

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Prepared by: **Brandon Djordjevich, M.PL**  
**Planning Technician**

"Original signed by Charles Goddard"

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Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

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Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

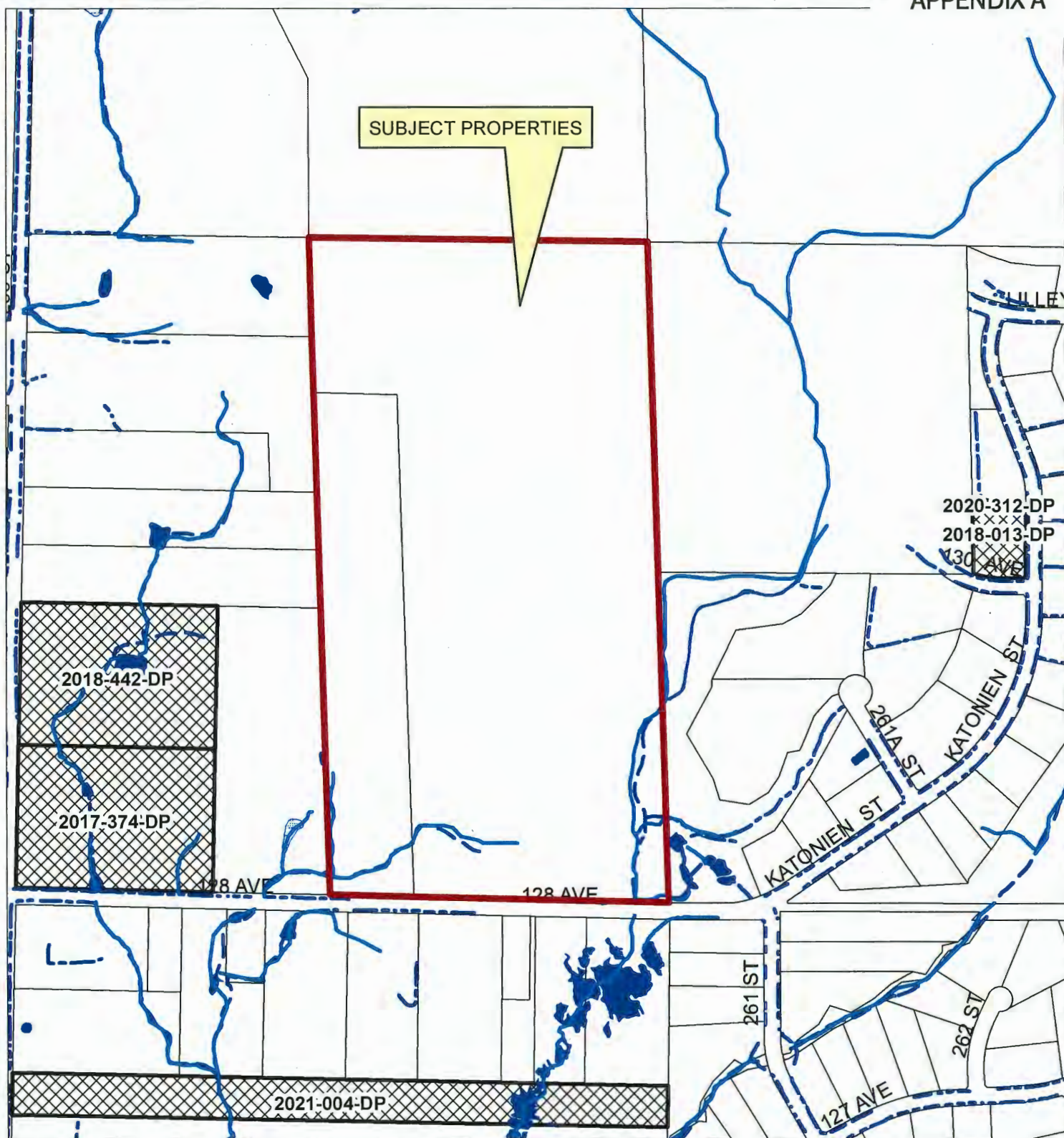
"Original signed by Scott Hartman"

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Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Proposed Site Area with OCP Designations
- Appendix D – OCP Amending Bylaw No. 7715-2021
- Appendix E – Zone Amending Bylaw No. 7716-2021
- Appendix F – Site Plan
- Appendix G – Public Comment Opportunity Summary Report



Scale: 1:6,500

**Legend**

-  Stream
-  Ditch Centreline
-  Indefinite Creek
-  Lake or Reservoir
-  Active Applications (RZ/SD/DP/VP)

25927 / 25801 128 AVE  
013-301-764 / 013-301-802

PLANNING DEPARTMENT

**MAPLE RIDGE**

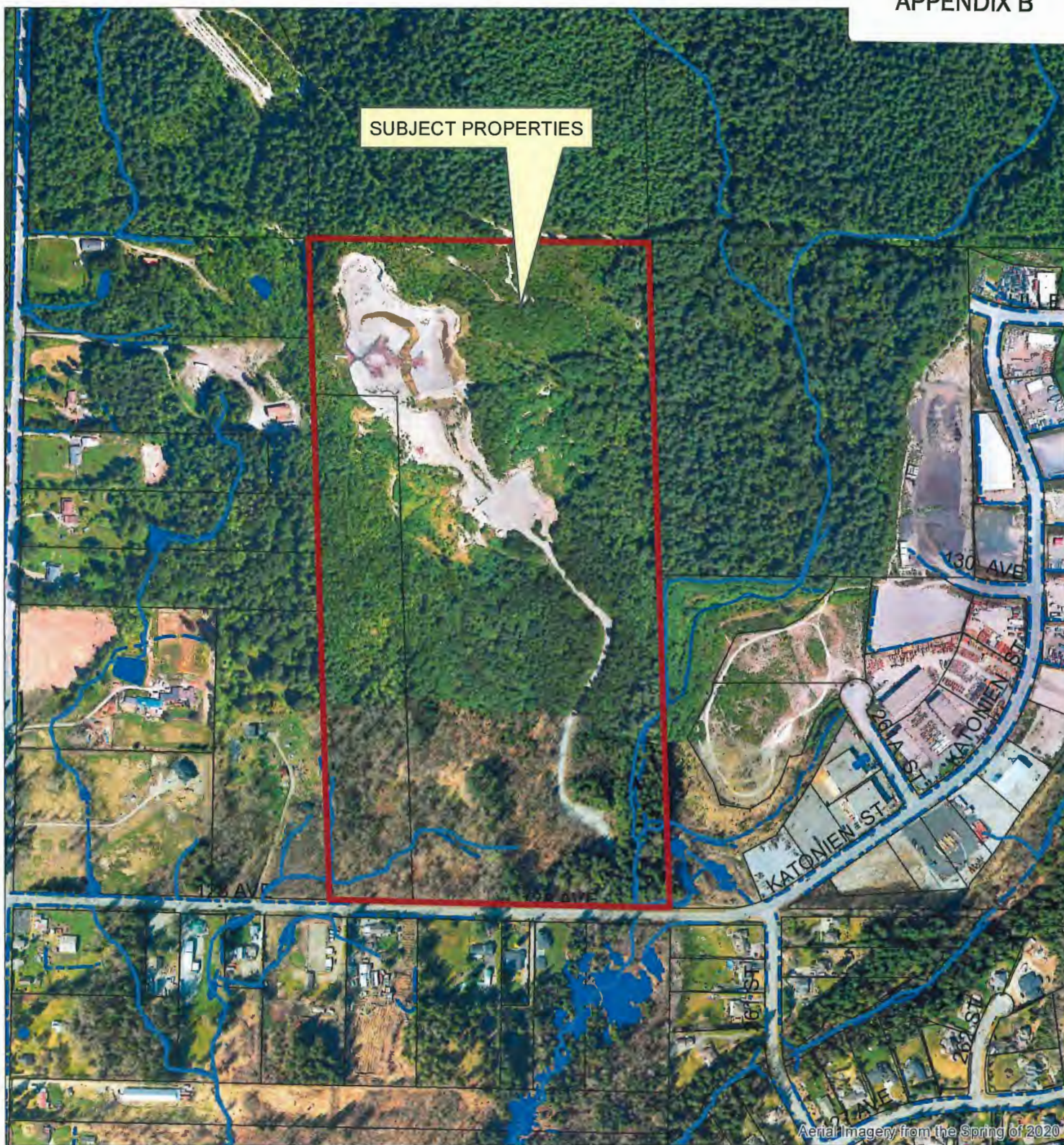
British Columbia

**mapleridge.ca**

FILE: 2020-062-RZ  
DATE: Feb 3, 2021

BY: BD





Scale: 1:6,500

## Legend

- Stream
- - - Ditch Centreline
- - - Indefinite Creek
- Lake or Reservoir

25927 / 25801 128 AVE  
013-301-764 / 013-301-802

PLANNING DEPARTMENT



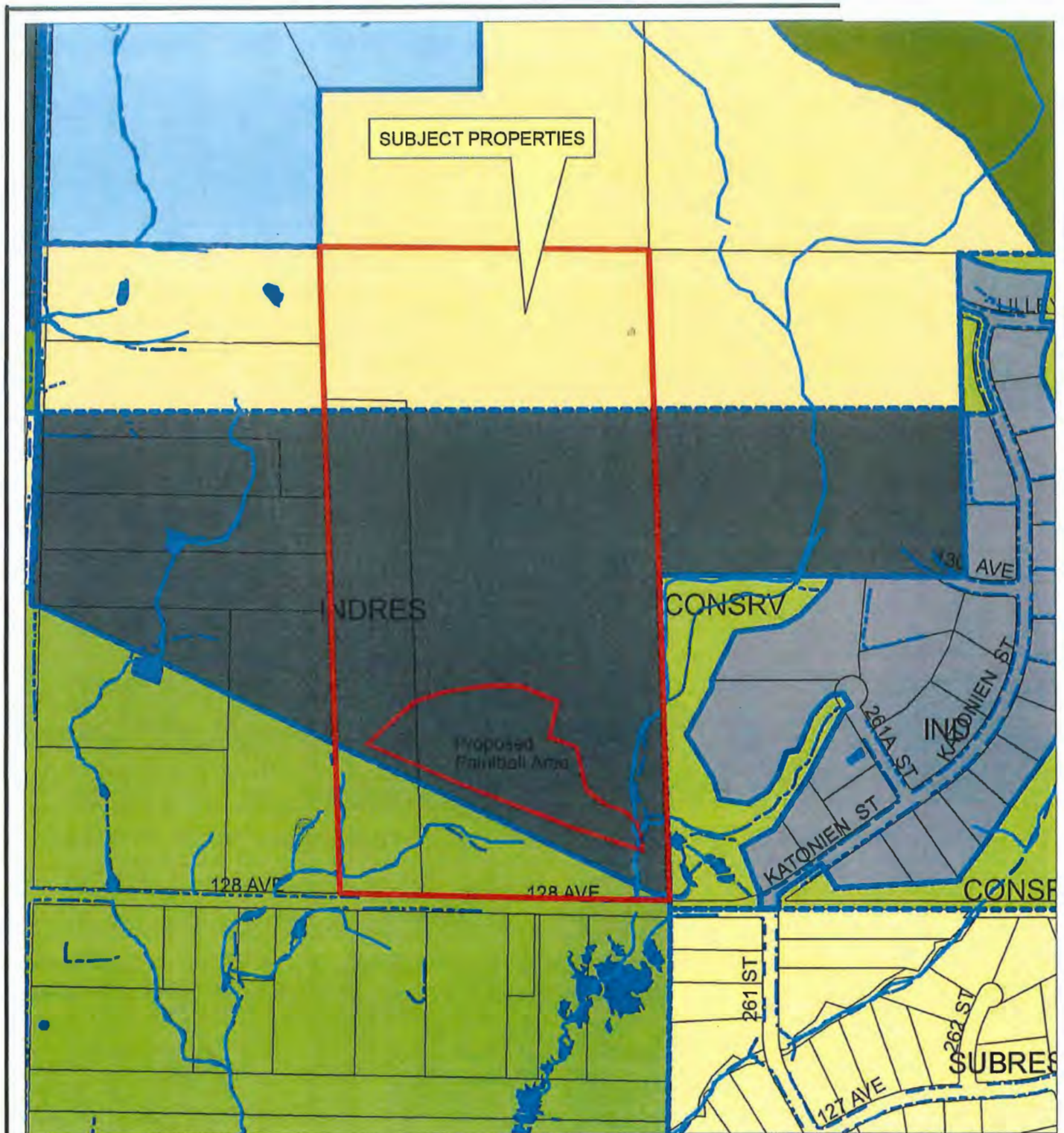
**MAPLE RIDGE**  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2020-062-RZ  
DATE: Feb 3, 2021

BY: BD





Legend

- Agricultural
- Park
- Forest
- Suburban Residential
- Industrial
- Industrial Reserve
- Institutional
- Rural Resource
- Conservation

Legend

- Stream
- Ditch Centreline
- Indefinite Creek
- Lake or Reservoir



Scale: 1:6,500

25927 / 25801 128 AVE  
013-301-764 / 013-301-802

PLANNING DEPARTMENT



**MAPLE RIDGE**  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2020-062-RZ  
DATE: Feb 3, 2021

BY: BD

CORPORATE OFFICER

**CITY OF MAPLE RIDGE  
BYLAW NO. 7716-2021**

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7716-2021".
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended as follows:

Section 502 A-2 Upland Agricultural, 502.2 Permitted Principal Uses is amended by adding the following:

- (i) Outdoor Commercial Recreation limited to outdoor paintball and laser tag, the associated parking of outdoor paintball and laser tag, and non-permanent structures used for play and preparation on the parcels described as:

25927 128 Avenue - Parcel "A" (Reference Plan 3015) of the South West Quarter Section 25 Township 12 except: Parcel "ONE" (Reference Plan 17316) New Westminster Land District

25801 128 Avenue - Parcel "ONE" (Reference Plan 17316) of Parcel "A" (Reference Plan 3015) of the South West Quarter Section 25 Township 12 New Westminster Land District

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

**READ** a first time the 30<sup>th</sup> day of March, 2021.

**READ** a second time the       day of       , 20

**READ** a third time the       day of       , 20

**ADOPTED**, the       day of       , 20

\_\_\_\_\_  
**PRESIDING MEMBER**

\_\_\_\_\_  
**CORPORATE OFFICER**



Delta Force Paintball: British Columbia  
 Maple Ridge: 128th Avenue  
 PID/Location:  
 18928 (25927) & 18929 (25801)

INCLUDED IN PLAN:  
 ALR  
 Water Setbacks  
 Site Overplan

PAGE:  
 1 of 2

DATE:  
 29/01/2021

All Measurement's are in Feet

All ALR boundary's and map over-  
 lays are correct and loaded directly  
 from the ALC data base.



KEY:

- Game Zones
- Base Camp
- Car Park
- Proven Water Course
- UnProven Water Course
- Shooting Range
- Leased Area
- Established Walking Access
- Property Lines
- ALR Agricultural Land Reserve

Additional Information:

30m Set backs for all water courses have been added.(proven and unproven)

A QEP has be retained to prove the true water course(marked in yellow)location on the southern part of the property, Also to prove the marked Northern unproven (marked in pink). Water course has, No water course there for is not in need of the set backs.

The QEP will also complete all relevant checks for WPDP.

No trees will need to be removed in the Game zones or paths to enter them,

All game props will be non permanent and able to be removed.



Delta Force Paintball: British Columbia  
Maple Ridge: 128th Avenue  
PID/Location:  
18928 (25927) & 18929 (25801)

INCLUDED IN PLAN:  
ALR  
Basecamp and Car park  
Overplan

PAGE:  
2 of 2

DATE:  
29/01/2021

All Measurement's are in Feet

All ALR boundary's and map over-  
lays are correct and loaded directly  
from the ALC data base.



KEY:

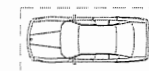
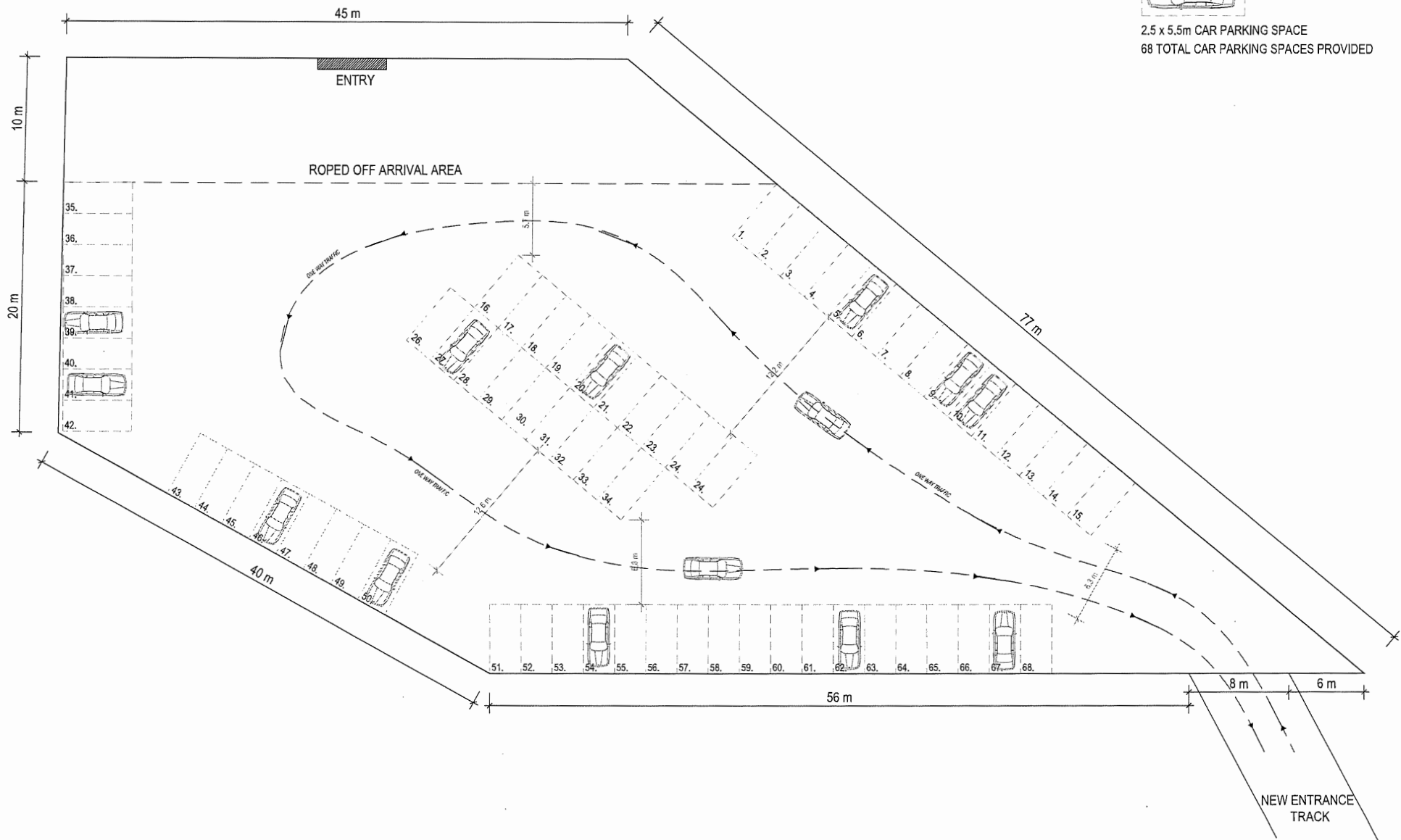
- Game Zones
- Base Camp
- Car Park
- Rambo Helicopter
- Large Tree
- Shooting Range
- Safety Netting
- Established Walking Access
- Container + Length
- ALR
- Portable Toilets

Additional Information:

The Base camp and Carpark Location were located in this area due to the area being mainly over grown bramble, With no need to remove established large trees.

This area will also be able to be used for Secure Film Parking for the Owen Holdings Group.

Also with grown Bush to the west to secure playing areas away from those not playing.



2.5 x 5.5m CAR PARKING SPACE  
68 TOTAL CAR PARKING SPACES PROVIDED

<p>THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, LEVELS AND CONSTRUCTION METHOD ON SITE BEFORE ANY COMMENCEMENT OF WORKS.</p> <p>© THESE PLANS AND DRAWINGS ARE THE PROPERTY OF DELTA FORCE PAINTBALL AND MUST NOT BE REPRODUCED WITHOUT PERMISSION.</p>	<p>Proposal: PROPOSED PAINTBALL CENTRE</p> <p>At: VANCOUVER</p> <p>For: Seamus Fraser - DELTA FORCE PAINTBALL -</p>	<p>d.j.t design</p> <p>Architectural Design and Drafting</p> <p>1000 10th Ave</p> <p>PH: 604.271.1111</p>	<p>Drawn: D.J.T. Rev: -</p> <p>Date: 12 Dec. 2021</p> <p>Scale: 1:100</p> <p>VERSION:</p>	<p>TP A</p>	<p>Sheet 1 of 1</p> <p>Job No.</p> <p>2021-11</p>
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### Public Comment Opportunity

A Public Comment Opportunity was held between 18<sup>th</sup> May 2021 and 28<sup>th</sup> May 2021 whereby local residents had the opportunity to provide their opinions about the proposed development. All residents in the immediate area received an informational pamphlet via letterbox drop conducted by Delta Force Paintball and a Public Comment Opportunity letter delivered via registered mail. There was an approved development board erected outside the proposed location and Delta Force Paintball advertised the proposed development in the local newspaper as per the requirements outlined by the City of Maple Ridge.

The responses to the Public Comment Opportunity could be submitted directly to Delta Force Paintball or to the City of Maple Ridge (or to both), and the results were collated and documented below under the following headings:

1. Summarised Concerns from the Public
  2. Delta Force Paintball Responses to the Summarised Concerns from the Public
  3. Review of Individual Public Comments
- 

### Summarised Concerns from the Public

The key summarised points raised as a result of the Public Comment Opportunity are documented below:

- **Concern #1 - Noise:**
  - The paintball operation could disturb *farm animals* in the area by introducing unfamiliar, abrupt and loud noises.
  - The paintball operation could disturb *native wildlife* in the area by introducing unfamiliar, abrupt and loud noises.
  - The paintball operation could disturb *local residents* in the area by introducing unfamiliar, abrupt and loud noises, including the noise generated by additional traffic.
  - The paintball operator uses *loud explosives and air horns* during their operation.
- **Concern #2 - Environmental:**
  - The paintball operation could disturb the native habitat of *local wildlife*.
  - The paintball operation could damage the *watercourses* in the area.
  - The paintball operation could disturb *native flora* in the area.
  - The paintball operation could remove the *native flora* that exists in the area.
- **Concern #3 - Traffic:**
  - The paintball operation could bring *additional traffic* to the area.
  - The additional traffic brought to the area by the paintball operation could *spook horses when being ridden down the main road*, thus causing them to bolt or throw their riders off.
  - The local road network is *not equipped to handle additional traffic*.
- **Concern #4 - Litter/Waste:**
  - The paintball operation could bring *additional litter* to the area.
- **Concern #5 - Violence/Antisocial Behaviour:**
  - The paintball operation could bring *violent and/or antisocial individuals* to the area.
  - The paintball operation could provide an opportunity for people to *drink or take drugs* in the area.
  - Paintball as a sport encourages participants to do *unsafe and violent things*.
  - The applicant encourages players to *shoot paintball guns in the streets*.
- **Concern #6 - Aesthetic:**
  - The paintball operation could negatively affect the *visual appearance* of the property and the local area by clearing land and erecting props and facilities that are visible from the road.
- **Concern #7 - Land Use:**
  - The land is to be used for *agriculture and industry – not recreation*.

### **Delta Force Paintball Responses to the Summarised Concerns from the Public**

Delta Force Paintball has provided a comprehensive overview response to these various concerns listed above, along with individual responses to each of the individual Public Comments. The comprehensive overview response to each point is as follows:

➤ **Concern #1 - Noise:**

- The paintball operation will be setup with significant buffers between the operational areas and all neighbouring boundaries. There will be a 100m+ buffer from 128 Ave and a 60m+ buffer from the closest neighbouring boundary to the west. These buffer zones are introduced by Delta Force Paintball to reduce any noise that is able to travel to these key neighbouring locations.
- These buffer zones are characterised by dense secondary and tertiary growth forest. This will act as a further physical, visual and acoustic barrier, further reducing the distance that any generated noise can travel.
- Paintball guns work off compressed air and therefore let off a dull popping sound rather than a loud bang/explosion sound like normal guns do. The guns that Delta Force Paintball will use at the centre fire smaller projectiles, which reduces the noise generated with each pull of the trigger. This is yet another step to reduce the distance that the noise can travel out of any operational area.
- The noise generated by the discharge of a paintball is approximately 80 dB, which then attenuates to approximately 46 dB at a distance of 50m. This attenuated measurement does not factor in the further noise-reducing impact of dense forest, so the registered sound readings at any neighbouring properties will be even lower. The lowest typical limit of ambient urban sound is 40 dB.
- Delta Force Paintball has confirmed that they will not use any air horns or whistles on the premises, and that the only pyrotechnic to be used is a silent smoke pyrotechnic.
- Delta Force Paintball engaged the services of an external QEP to develop an Environmental Management Plan (EMP) for the proposed location. Part of the EMP identified all of the wildlife in the area, and it documented how the paintball centre must operate in order to minimise or completely avoid any harmful impact on these animals. Any approved Business License would be contingent on Delta Force Paintball's compliance with the requirements outlined in this EMP. This includes but is not limited to operating with exclusion zones around any nesting areas for all relevant birds so that the noise generated by the paintball operation does not have any adverse effect on them.

➤ **Concern #2 - Environmental:**

- Delta Force Paintball engaged the services of an external QEP to conduct an Environmental Assessment (EA) for the proposed location. Part of the EA identified and plotted the various watercourses throughout the property to ensure that the paintball operation adheres to a minimum exclusion zone of 30m from any watercourse. The EA identified that no watercourse would be impacted by the paintball operation, and it concluded that no protective fencing is required beyond the introduction of a double strand rope boundary line around the perimeter of all playing areas.
- The EA suggested that no land-clearing take place between March 1 – August 31 in order to avoid any undue impact to nesting birds. Delta Force Paintball has confirmed that they will adhere to this recommendation.
- Delta Force Paintball engaged the services of an external QEP to develop an Environmental Management Plan (EMP) for the proposed location. Part of the EMP identified all of the wildlife in the area, and it documented how the paintball centre must operate in order to minimise or completely avoid any harmful impact on these animals. This includes but is not limited to operating with exclusion zones around any nesting areas for all relevant birds so that the noise generated by the paintball operation does not have any adverse effect on them.
- The EMP outlined the commitment from Delta Force Paintball to follow a range of steps designed to minimise any impact on the native vegetation in the area, including but not limited to:
  - Orientating games in an east-west direction to avoid the possibility of paintballs entering the 30m exclusion zone of any watercourse.
  - Erecting boundary ropes and signage around each playing area to ensure players are restricted to the designated areas.
  - Limit the vegetation removal to 20 small trees (<10cm diameter) in the parking area and then leaving all remaining trees untouched.

- Only utilising gravel from the northern gravel mine for any base surfacing requirements.
- Operate with a single central walkway to the playing areas to limit disturbance to surrounding areas.
- Keeping one of the five game zones closed for 12 months at a time to facilitate vegetation.
- The paintball operation is built using non-permanent structures that are removed at the conclusion of the rental period. This ensures that there are no long term affects of the paintball business beyond the tenancy period. Car park and base camp surfacing materials will be sourced from onsite (via the gravel mine to the north) and the base camp structures are shipping containers, temporary fencing, tents and picnic benches that are easily and quickly removed. The game zone props consist of school buses, timber village huts, barrel stacks and other props that can be removed from site.

➤ **Concern #3 - Traffic:**

- Delta Force Paintball has conceded that it's an unavoidable by-product of its business (and of any business for that matter) that some level of additional traffic will be brought to the area. The business has an existing policy of actively encouraging players to car pool to the location so as to minimise additional traffic and to reduce the volume on onsite parking.
- The paintball operation is primarily weekend based, which coincides with the significantly quieter period for the neighbouring industrial park. Delta Force Paintball is of the opinion that the local road network is suitably equipped to handle additional traffic generated by the weekend paintball players because the mid-week traffic generated by the industrial park far exceeds that of the paintball business.
- Delta Force Paintball is also of the opinion that the personal vehicle traffic generated by the paintball operation would be less invasive to local residents and to local horse riders than that of trucks and other such vehicles using the neighbouring industrial park.

➤ **Concern #4 - Litter/Waste:**

- Delta Force Paintball is committed to providing a clean and tidy environment that extends beyond just the leased area. The company has built a nationwide network of world class paintball venues through the implementation and maintenance of high standards. A dirty entrance to the facility – which extends 100m either side of the entrance gate – reflects poorly on the business as first impressions are formed before a customer even enters the property.
- As part of the existing Delta Force Paintball systems and procedures, a comprehensive litter pick is done at the start and end of each game day so as to maintain high standards of cleanliness.
- Furthermore, Delta Force Paintball is committed to operating as a positive member of the local community, and the business understands that maintaining the natural beauty of the surrounding area is a vital part of this.
- The paintball operation plans to partner with local waste and effluent collection companies – as it does with all other locations across Canada – to ensure suitable waste collection points and WCs are available onsite. These environmentally friendly plans are outlined as part of the EMP.

➤ **Concern #5 - Violence/Antisocial Behaviour:**

- Paintball is an outdoor adventure activity that is a team-based sport anchored around communication, achieving structured objectives and rule-following. There's no correlation between playing paintball and an elevated inclination to act in a violent way.
- Delta Force Paintball players are encouraged to move on from the centre once their event has concluded, and a rigorous, physical activity such as paintball doesn't lend itself to drinking or taking drugs before, during or after an event. There's no increased likelihood of people drinking or taking drugs after a paintball event compared to any other social or sporting event.
- Delta Force Paintball demonstrates that the sport of paintball exhibits a far lower rate of injury than any mainstream sport. Likewise, the business asserts that all Delta Force Paintball centres operate under strict rules that ensure a safe, compliant and welcoming environment rather than one that encourages violence and antisocial behaviour. Delta Force Paintball's target markets include first time players, family groups, birthday parties, end of season sporting team breakups, corporate team-building events, etc. None of these demographics are recognised as violent or antisocial groups.



- Delta Force Paintball maintains a high level of professionalism across all areas, and this extends to the marketing material that it produces. The company vehemently disagrees with the suggestion that it openly encourages violent and/or antisocial behaviour through its marketing material.
  - Delta Force Paintball also notes that a member of the public claims to have been threatened that her house will be “paintballed” if the paintball application is rejected. The company wishes to distance itself from any connection to this claim and alleged threat, and it opposes any threatening behaviour whatsoever.
- **Concern #6 - Aesthetic:**
- The visual perspective of the proposed location will remain unchanged from 128 Ave, other than the erection of a two-sided street sign that will direct customers to the paintball centre. The front third of the total block is ALR land and therefore cannot be touched by the paintball operation. This area will remain a popular habitat for local wildlife along with the various other parts of untouched forest throughout the property, and it will continue to be visually appealing to passers-by. Websters Creek – which runs to the south west of the proposed paintball area – and the tributary of Websters Creek will remain untouched and will continue to feed the watercourse(s) further to the south.
- **Concern #6 - Land Use:**
- Approximately 6% of the total double block will be leased to Delta Force Paintball. Approximately 15% will remain as part of the active gravel mine, approximately 19% will remain available in the dedicated filming area, approximately 14% is zoned ALR land and the remaining 46% will continue to be untouched forest. With less than 6% of the land being rezoned to recreational use, the overarching agricultural and industrial use will remain.

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## Review of Individual Public Comments

### Comment 1:

- **Date Received:** 9<sup>th</sup> May 2021
  - **Method of Receipt:** Received directly from member of the public via email in response to the letterbox drop from Delta Force Paintball
  - **Public Member's Name:** [REDACTED]
  - **Key Points:**
    1. The immediate area is currently used for the purpose of farming and is home to various farm animals. The noises generated by the paintball operation could be disturbing to the animals.
    2. People ride their horses up and down 128 Ave and the sound of paintball gun shots could spook a horse, causing it to bolt. This could potentially injure or kill someone.
    3. Traffic to the location could increase, which could be unpleasurable to local residents.
  - **Key Responses:**
    1. The proposed centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier. Paintball guns work off compressed air and therefore let off a dull popping sound rather than a loud explosion sound like normal guns do. Likewise, the guns that the centre will use fire smaller projectiles and therefore are even quieter than normal paintball guns. The noise generated by the paintball operation will be less than the existing ambient noise in the area from existing traffic and existing operations.
    2. Previous acoustic reports conducted by Delta Force Paintball, along with their experience at other locations that operate adjacent to horse stables and ranches, indicate that the noise generated by the paintball operation will not scare any horses and/or spook them in any way. Likewise due to the large buffer the noise cannot travel that far so as to disturb animals and/or residents.
    3. Traffic will increase, but not to a level that would surpass the capabilities of the existing infrastructure. Delta Force Paintball is busiest when the industrial park up the road is quietest, so the additional traffic brought to the area wouldn't be greater than the traffic along 128 Ave on each day mid-week.
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#### **Comment 2:**

- **Date Received:** 19<sup>th</sup> May 2021
  - **Method of Receipt:** Received directly from member of the public via email in response to the letterbox drop from Delta Force Paintball
  - **Public Member's Name:** [REDACTED] 

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)
  - **Key Points:**
    1. The paintball operation states there will be two session times. What's to stop the operational hours from increasing?
    2. There's a buffer between 128 Ave and the paintball operation. What's to stop this buffer from being cleared by the paintball operator?
    3. The paintball operation may bring additional noise to the area.
    4. What is in place to stop players from drinking and using drugs outside of the paintball operation?
    5. Will paintball bring violent people to the area?
    6. Will the paintball operation increase litter in the area?
  - **Key Responses:**
    1. There's not enough daylight to operate more session times, and most business licences are limited to pre-agreed operational hours. It is expected that the Delta Force Paintball business license will hold similar restricted trade hours based on available seasonal daylight hours.
    2. The front portion of the block that operates as a buffer is ALR land therefore cannot be touched by the paintball operation.
    3. The noise generated by the paintball operation is less than the existing ambient noise generated by existing traffic and by the mining operation. The centre will operate with large buffer zones of dense wooded forest (100m+ from the road and 60m+ from the closest neighbour to the west) which will act as an acoustic barrier. Likewise, the guns to be used fire a smaller projectile and are quieter than standard paintball guns and much quieter than normal firearms.
    4. Players are encouraged to move on once their event has concluded, and a rigorous, physical activity such as paintball doesn't lend itself to drinking or taking drugs before, during or after an event. There's no increased likelihood of people drinking or taking drugs after a paintball event compared to any other social event.
    5. There's no correlation between playing paintball and an elevated inclination to act in a violent way. Paintball is a team-based sport anchored around communication, objectives and rule-following.
    6. A successful business requires a clean environment – including the roadway into the centre – as first impressions are quickly formed and they last a long time. Delta Force Paintball is committed to maintaining a clean environment in order to attract customers and deliver a professional experience.
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#### **Comment 3:**

- **Date Received:** 29<sup>th</sup> May 2021
  - **Method of Receipt:** Forwarded by Brandon Djordjevich via email
  - **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
  - **Key Points:**
    1. Traffic could increase because of the paintball operation. Lots of vehicles speed along 128 Ave and this can cause horses to spook, throwing their riders off.
  - **Key Responses:**
    1. The paintball operation will bring personal vehicle traffic to the area rather than significant truck traffic as is currently generated by the recently developed industrial park up the road. The traffic generated by paintball will be far less than the current level of traffic, and there's nothing to suggest that paintball patrons are more or less inclined to follow the road rules and corresponding speed limits. A truck passing a rider on a horse is far more likely to spook the horse than a personal vehicle passing a rider on a horse.
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#### **Comment 4:**

- **Date Received:** 29<sup>th</sup> May 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** [REDACTED]

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

- **Key Points:**

1. The immediate area is currently used for the purpose of farming and is home to various animals such as horses, chickens, pigs, ducks, etc. The noises generated by the paintball operation could be disturbing to the animals.
2. People ride their horses up and down 128 Ave and the sound of paintball gun shots could spook a horse, causing it to bolt. This could potentially injure or kill someone.
3. There are waterways that run through parts of the paintball operation and there's a chance that paintballs may enter these waterways.
4. The area is home to a range of flora and fauna and the paintball operation may affect that.
5. Traffic coming and going from the location could increase, which could be unpleasurable to local residents.
6. Garbage along 128 Ave could increase because of the increased traffic to the area.
7. There have been alleged threats about the public member's home being "paintballed" if the application is rejected.
8. The paintball operation would be using air horns and loud explosive grenades.
9. The paintball operation is unsafe and encourages players to shoot people on the streets.

- **Key Responses**

1. The centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier. Paintball guns work off compressed air and therefore let off a dull popping sound rather than a loud explosion sound like normal guns do. Likewise, the guns used at this centre fire smaller projectiles and therefore are even quieter than normal paintball guns and travel a shorter distance. The noise generated by the paintball operation will be less than the existing ambient noise in the area from existing traffic and existing operations.
  2. Previous acoustic reports conducted by Delta Force Paintball, along with their experience at other locations that operate adjacent to horse stables and ranches, indicate that the noise generated by the paintball operation will not scare any horses and/or spook them in any way. Likewise due to the large buffer the noise cannot travel that far so as to disturb animals and/or residents.
  3. An Environment Management Plan has been created by an external QEP to ensure there are appropriate steps in place to mitigate any risk to the environment, to local flora/fauna, to the waterways, etc. Steps include operating outside of the 30m exclusion zone from any watercourse (50m+ in most instances), rotating operational game zones to allow for revegetation, installing physical boundaries to stop players from entering restricted areas, waste management plans, etc.
  4. Traffic in the area will increase, but not to a level that would surpass the capabilities of the existing road infrastructure. Delta Force Paintball is busiest when the industrial park up the road is quietest, so the additional traffic brought to the area wouldn't be greater than the traffic along 128 Ave on each day mid-week.
  5. There's nothing to suggest that paintball players generate more or less litter than the current levels, however Delta Force Paintball has processes to ensure a clean and tidy working environment. This includes the entry to the centre and all surrounding areas. Part of the submitted EMP includes a waste management plan to ensure all waste is collected, secured and removed from site as required.
  6. Delta Force Paintball firmly oppose any unneighbourly behaviour such as suggesting someone's house will be vandalised if an application for paintball is rejected. The business has no knowledge of the origin of such comments and it thinks there's no place for such behaviour in this world.
  7. The paintball operation does not use air horns, whistles or other such amplifying devices. Likewise, the only pyrotechnics used on site are smoke grenades which is a silent device that releases a plume of coloured smoke for around 30 seconds before dissipating.
  8. Delta Force Paintball operational procedures and marketing material promotes the safe enjoyment of an outdoor adventure activity. There's no marketing material that promotes people shooting members of the public or playing paintball outside of a controlled environment. Any suggestion otherwise is intentionally inaccurate.
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**Comment 5:**

- **Date Received:** 29<sup>th</sup> May 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
- **Key Points:**
  1. The additional noise – and the foreign/startling nature of that noise – could scare the horses in the area.
  2. Horses may startle when cars/trucks pass them whilst being ridden down the main road.
  3. Is there a more suitable location for paintball on the block closer to the gravel pit?

**Key Responses**

1. The centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier.
2. The paintball operation will bring personal vehicle traffic to the area rather than significant truck traffic as is currently generated by the recently developed industrial park up the road. The traffic generated by paintball will be far less than the current level of traffic, and there's nothing to suggest that paintball patrons are more or less inclined to follow the road rules and corresponding speed limits.
3. The portion of the property to the immediate north of the paintball area (i.e. the middle section of the property) is to be maintained for future filming projects as it has been used for in recent years. This is in-line with the industrial zoning that the property holds. Likewise, the top portion of the block is to remain an active gravel mine, again remaining in-line with the current use and zoning. The gravel will be used for part of the paintball operation as well.

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**Comment 6:**

- **Date Received:** 11<sup>th</sup> August 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
- **Key Points:**
  1. The additional noise and the foreign/startling nature of that noise could scare livestock in the area.
  2. There's spring water that runs through the neighbouring property, which may be fed by the streams on the proposed location. The paintball operation could pollute this water.

**Key Responses**

1. The centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier. The noise generated by a paintball gun from 50m is less than the minimum ambient noise level. The paintball centre will utilise quieter guns to avoid any disturbance.
2. An Environment Management Plan has been created by an external QEP to ensure there are appropriate steps in place to mitigate any risk to the environment, to local flora/fauna, to the waterways, etc. Steps include operating outside of the 30m exclusion zone from any watercourse (50m+ in most instances), rotating operational game zones to allow for revegetation, installing physical boundaries to stop players from entering restricted areas, utilising waste management plans, etc. The QEP determined that, based on the functional range of a paintball gun and the location of the waterways, the paintball operation would have no impact on the watercourses.

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**Comment 7:**

- **Date Received:** 11<sup>th</sup> August 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
- **Key Points:**

1. Traffic could increase because of the paintball operation. Lots of vehicles speed along 128 Ave and this can cause horses to spook, throwing their riders off.
2. The additional noise and the foreign/startling nature of that noise could scare livestock in the area.

**Key Responses:**

1. The paintball operation will bring personal vehicle traffic to the area rather than significant truck traffic as is currently generated by the recently developed industrial park up the road. The traffic generated by paintball will be far less than the current level of traffic, and there's nothing to suggest that paintball patrons are more or less inclined to follow the road rules and corresponding speed limits. A truck passing a rider on a horse is far more likely to spook the horse than a personal vehicle passing a rider on a horse.
  2. The centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier. The noise generated by a paintball gun from 50m is less than the minimum ambient noise level. The paintball centre will utilise quieter guns to avoid any disturbance.
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**Comment 8:**

- **Date Received:** 11<sup>th</sup> August 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
- **Key Points:**
  1. The immediate area is currently used for the purpose of farming and is home to various animals. The noises generated by the paintball operation could be disturbing to the animals.
  2. Traffic could increase because of the paintball operation and the existing infrastructure is not sufficient for the current amount of traffic.
  3. Traffic in the area could pose a risk to residents and horse riders walking down the side of the road.
  4. The paintball operation could result in an increase in traffic, pollution, garbage, noise, risk to residents and risk to farm animals/wildlife.

**Key Responses:**

1. The centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier. The noise generated by a paintball gun from 50m is less than the minimum ambient noise level. The paintball centre will utilise quieter guns to avoid any disturbance.
  2. The paintball operation will bring personal vehicle traffic to the area rather than significant truck traffic as is currently generated by the recently developed industrial park up the road. The traffic generated by paintball will be far less than the current level of traffic, and there's nothing to suggest that paintball patrons are more or less inclined to follow the road rules and corresponding speed limits. A truck passing a rider on a horse is far more likely to spook the horse than a personal vehicle passing a rider on a horse. Additional traffic will be generated on weekends when the industrial park up the road is quiet.
  3. Delta Force Paintball is committed to maintaining a clean environment, including the entire street frontage.
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**Comment 9:**

- **Date Received:** 11<sup>th</sup> August 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
- **Key Points:**
  1. Traffic coming and going from the location could increase, which could be unpleasurable to local residents.
  2. The paintball operation could create noise all day long.

3. The immediate area is currently used for the purpose of farming and is home to various animals including up to 52 varieties of birds. The noises generated by the paintball operation could be disturbing to the animals.
4. There are signs posted in the area alerting residents to certain areas having "Sensitive fish and wildlife habitat beyond this point". There's a creek that runs alongside the paintball area that flows into a fish hatchery.

- **Key Responses:**

1. The paintball operation will bring personal vehicle traffic to the area rather than significant truck traffic as is currently generated by the recently developed industrial park up the road. The traffic generated by paintball will be far less than the current level of traffic. Additional traffic will be generated on weekends when the industrial park up the road is quiet.
2. The centre is positioned 100m+ from 128 Ave and 60m+ from the closest neighbouring boundary to the west. There's dense secondary and tertiary growth forest between the operational areas of the paintball centre and any neighbouring property which will act as a further physical, visual and acoustic barrier. The noise generated by a paintball gun from 50m is less than the minimum ambient noise level. The paintball centre will utilise quieter guns to avoid any disturbance.
3. Previous acoustic reports conducted by Delta Force Paintball, along with their experience at other locations that operate adjacent to horse stables, ranches and farms, indicate that the noise generated by the paintball operation will not scare any livestock and/or spook them in any way. Likewise due to the large buffer the noise cannot travel that far so as to disturb animals and/or residents. Delta Force Paintball engaged the services of an external QEP to develop an Environmental Management Plan (EMP) for the proposed location. Part of the EMP identified all of the wildlife in the area, and it documented how the paintball centre must operate in order to minimise or completely avoid any harmful impact on these animals. This includes but is not limited to operating with exclusion zones around any nesting areas for all relevant birds so that the noise generated by the paintball operation does not have any adverse effect on them. The Environmental Assessment conducted by the QEP suggested that no land-clearing take place between March 1 – August 31 in order to avoid any undue impact to nesting birds. Delta Force Paintball has confirmed that they will adhere to this recommendation.
4. Delta Force Paintball engaged the services of an external QEP to conduct an Environmental Assessment (EA) for the proposed location. Part of the EA identified and plotted the various watercourses throughout the property to ensure that the paintball operation adheres to a minimum exclusion zone of 30m from any watercourse. The EA identified that no watercourse would be impacted by the paintball operation, and it concluded that no protective fencing is required beyond the introduction of a double strand rope boundary line around the perimeter of all playing areas.

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**Comment 9:**

- **Date Received:** 11<sup>th</sup> August 2021
- **Method of Receipt:** Forwarded by Brandon Djordjevich via email
- **Public Member's Name:** Name removed by Brandon Djordjevich at the request of the individual
- **Key Points:**
  1. What evidence is there to support the suggestion that animals won't be disturbed by the sound produced by the paintball operation?
  2. What evidence is there to support the suggestion that paintballs won't hurt the creeks?
  3. What reports exist for the wildlife in the area?
  4. What assessment has been done on the proposed activity?
- **Key Responses:**
  1. Delta Force Paintball engaged the services of an external QEP to develop an Environmental Management Plan (EMP) for the proposed location. Part of the EMP identified all of the wildlife in the area, and it documented how the paintball centre must operate in order to minimise or completely avoid any harmful impact on these animals. This includes but is not limited to operating with exclusion zones around any nesting areas for all relevant birds so that the noise generated by the paintball operation does not have any adverse effect on them. The Environmental Assessment conducted by the QEP suggested that no land-clearing take place between March 1 – August 31 in



order to avoid any undue impact to nesting birds. Delta Force Paintball has confirmed that they will adhere to this recommendation. The EMP indicated that birds are likely to find suitable nesting areas adjacent to the operational areas.

2. Delta Force Paintball engaged the services of an external QEP to conduct an Environmental Assessment (EA) for the proposed location. Part of the EA identified and plotted the various watercourses throughout the property to ensure that the paintball operation adheres to a minimum exclusion zone of 30m from any watercourse. The EA identified that no watercourse would be impacted by the paintball operation, and it concluded that no protective fencing is required beyond the introduction of a double strand rope boundary line around the perimeter of all playing areas. The QEP also review the Material Safety Data Sheet for the paintballs to confirm that they are non-toxic and biodegradable.
3. Delta Force Paintball engaged the services of an external QEP to conduct an Environmental Assessment (EA) and to develop an Environmental Management Plan (EMP) for the proposed location. These documents, along with various application forms for watercourse protection to the City of Maple Ridge and this current review process, form part of the assessment of the proposed activity to make sure it is suitable.