

## CITY OF MAPLE RIDGE

### PUBLIC HEARING AGENDA

July 19, 2022

7:00 pm

Virtual Online Meeting including Council Chambers

*The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.*

*For virtual public participation register by going to <https://www.mapleridge.ca/640/Council-Meetings> and clicking on the meeting date.*

*For in-person public participation register by emailing the Corporate Officer at [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) no later than 4:00 p.m. Tuesday, July 19, 2022 (please provide your name, address and phone number as well as the item you would like to speak to. Attendance by the public in Council Chambers will be limited to 33 members, on a first-come-first-serve basis, therefore members of the public are encouraged to pre-register with the Corporate Officer if they wish to speak at the Public Hearing.*

*This Agenda is also posted on the City's Website at: [www.mapleridge.ca/AgendaCenter](http://www.mapleridge.ca/AgendaCenter)*

- 1) **2021-061-RZ, 21783 Lougheed Highway**  
Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031

The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 675m<sup>2</sup> of ground-floor commercial space and approximately 124 rental apartment units.

**1a) Maple Ridge Zone Amending Bylaw No. 7721-2021**

First Reading: March 30, 2021

Second Reading as amended: June 28, 2022

Purpose: To introduce the C-7 (Lougheed Transit Corridor Mixed-Use) Zone.

**1b) Maple Ridge Zone Amending Bylaw No. 7719-2021**

First Reading: March 30, 2021

Second Reading: June 28, 2022

Purpose: To re-designate the subject property from C-2 (Community Commercial) to C-7 (Lougheed Transit High Density Mixed-Use).

**2) 2019-426-RZ, 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue**

Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
Lot A Section 14 Township 12 New Westminster District Plan 72158;  
Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

**The subject application is to permit the rezoning to allow the future construction of approximately 165 townhouse units.**

**2a) Official Community Plan Amending Bylaw No. 7607-2020**

First Reading: June 28, 2022

Second Reading: June 28, 2022

Purpose: To re-designate the subject properties from *Low/Medium Density Residential* to *Townhouse and Conservation*.

**2b) Maple Ridge Zone Amending Bylaw No. 7608-2020**

First Reading: March 10, 2020

Second Reading as amended: June 28, 2022

Purpose: To rezone portions of the subject properties from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential); amend required Setbacks for an Accessory Structure for an Indoor Amenity Area; and amend the maximum Building Height for Accessory Buildings and Accessory Structures for an Indoor Amenity Area.

**3) 2019-055-RZ, 11839 and 11795 267 Street**

Lot 2 Section 18 Township 15 New Westminster District Plan 7439; and  
Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235) Section 18 Township 15 New Westminster District Plan 5612

**The subject application is to permit the rezoning and future subdivision of approximately 15 single-family lots.**

**3a) Maple Ridge Official Community Plan Amending Bylaw No. 7834-2022**

First Reading: June 14, 2022

Second Reading: June 14, 2022

Purpose: To re-designate a portion of the subject properties from *Suburban Residential* to *Park*.

**3b) Maple Ridge Zone Amending Bylaw No. 7539-2019**

First Reading: April 9, 2019

Second Reading as amended: June 14, 2022

Purpose: To rezone portions of the subject properties from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential).

- 4) **2020-413-RZ, 10366 240 Street**  
Lot A Section 3 Township 12 Plan NWP13554

**The subject application is to permit the rezoning to allow the future construction of approximately 30 townhouse units.**

**4a) Maple Ridge Zone Amending Bylaw No. 7699-2021**

First Reading: January 26, 2021

Second Reading: June 14, 2022

Purpose: To rezone the subject property from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential).

- 5) **2018-349-RZ, 21745 River Road**  
Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510

**The subject application is to permit the rezoning to allow the future subdivision of two lots.**

**5a) Maple Ridge Zone Amending Bylaw No. 7503-2018**

First Reading: November 27, 2018

Second Reading as amended: June 28, 2022

Purpose: To rezone the subject property from RS-1 (Single Detached Residential) to RS-1b (Single Detached (Medium Density) Residential).

- 6) **2019-392-RZ, 22904, 22910 and 22922 Dewdney Trunk Road**  
Lot 220 Section 17 Township 12 New Westminster District Plan 57165;  
Lot 229 Section 17 Township 12 New Westminster District Plan 58011; and  
Parcel "One" (Explanatory Plan 13671) Except: Part Road on Plan 80199; of Parcel "A"  
(Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178

**The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 180m<sup>2</sup> of commercial space and approximately 127 apartment units.**

**6a) Official Community Plan Amending Bylaw No. 7759-2021**

First Reading: June 22, 2021

Second Reading: June 22, 2021

Purpose: To re-designate the subject properties from *Urban Residential* to *Commercial*.

**6b) Maple Ridge Zone Amending Bylaw No. 7760-2021**

First Reading: June 22, 2021

Second Reading: June 22, 2021

Purpose: To introduce Comprehensive Development Zone CD-2-20.

**6c) Maple Ridge Zone Amending Bylaw No. 7627-2020**

First Reading: March 31, 2020

Second Reading as amended: June 22, 2021

Purpose: To rezone the subject properties from RS-1 (Single Detached Residential) to CD-2-20 (Comprehensive Development).

## CITY OF MAPLE RIDGE

### NOTICE OF VIRTUAL ONLINE PUBLIC HEARING INCLUDING COUNCIL CHAMBERS

**TAKE NOTICE THAT A PUBLIC HEARING** is scheduled for Tuesday, July 19, 2022 at 7:00 p.m. This meeting is an online virtual meeting to be hosted in Council Chambers at City Hall, 11995 Haney Place, Maple Ridge.

For virtual online participation, access the link at: [www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) and click on the meeting date to register.

For attendance in person, please pre-register with the Corporate Officer at [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) by 4:00 p.m. Tuesday, July 19, 2022.

For viewing only, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the July 19, 2022 Public Hearing presentation video:

The Public Agenda and full reports are posted on the City's website at [www.mapleridge.ca/AgendaCenter](http://www.mapleridge.ca/AgendaCenter) (see: Public Hearing).

This Public Hearing is held in order to consider the following bylaws:

**1) 2021-061-RZ, 21783 Lougheed Highway**

Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031

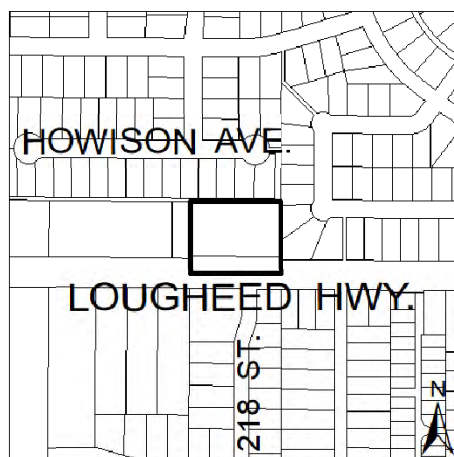
The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 675m<sup>2</sup> of ground-floor commercial space and approximately 124 rental apartment units.

**1a) Maple Ridge Zone Amending Bylaw No. 7721-2021**

To introduce the C-7 (Lougheed Transit Corridor Mixed-Use) Zone.

**1b) Maple Ridge Zone Amending Bylaw No. 7719-2021**

To re-designate the subject property from C-2 (Community Commercial) to C-7 (Lougheed Transit High Density Mixed-Use).







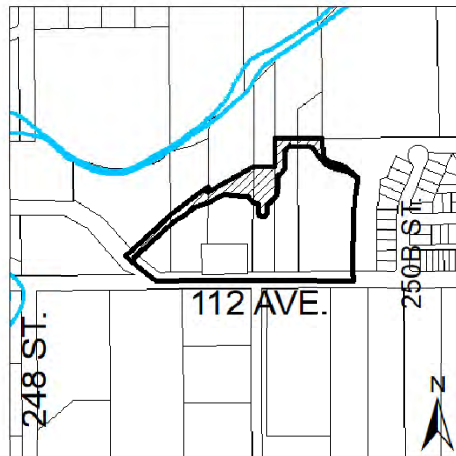
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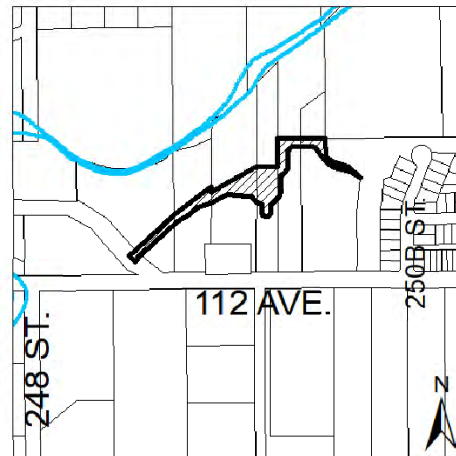
The subject application is to permit the rezoning to allow the future construction of approximately 165 townhouse units.

2a) **Official Community Plan Amending Bylaw No. 7607-2020**

To re-designate the subject properties from *Low/Medium Density Residential* to  
*Townhouse*  and *Conservation* .



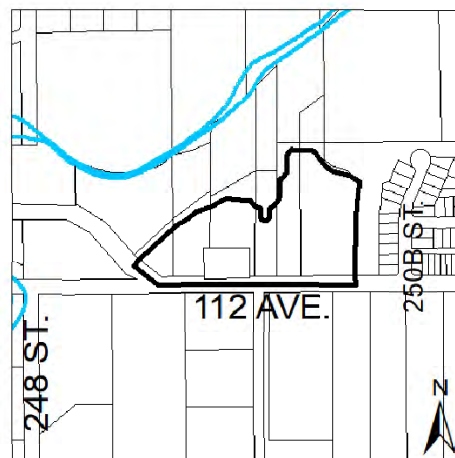
Map No. 1014



Map No. 1015

2b) **Maple Ridge Zone Amending Bylaw No. 7608-2020**

To rezone portions of the subject properties from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential); amend required Setbacks for an Accessory Structure for an Indoor Amenity Area; and amend the maximum Building Height for Accessory Buildings and Accessory Structures for an Indoor Amenity Area.



Map No. 1823

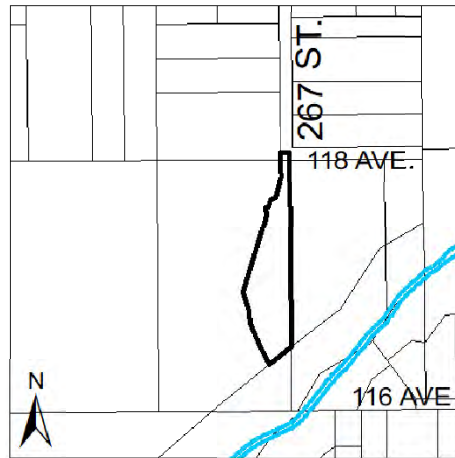
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Lot 2 Section 18 Township 15 New Westminster District Plan 7439; and  
Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235) Section 18 Township 15 New  
Westminster District Plan 5612

The subject application is to permit the rezoning and future subdivision of approximately 15  
single-family lots.

3a) **Maple Ridge Official Community Plan Amending Bylaw No. 7834-2022**

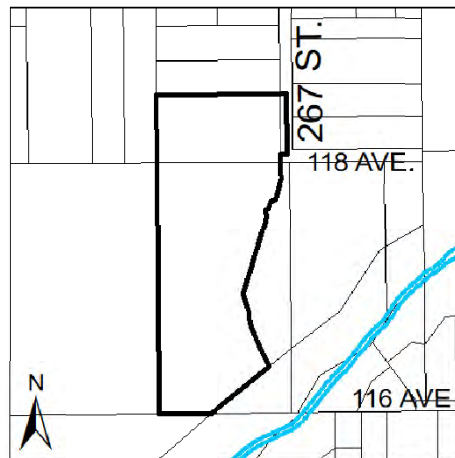
To re-designate a portion of the subject properties from *Suburban Residential* to *Park*.



**Map No. 1055**

3b) **Maple Ridge Zone Amending Bylaw No. 7539-2019**

To rezone portions of the subject properties from RS-3 (Single Detached Rural  
Residential) to RS-2 (Single Detached Suburban Residential).



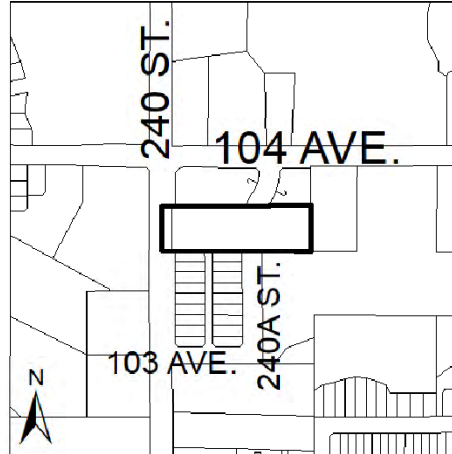
**Map No. 1793**

- 4) **2020-413-RZ, 10366 240 Street**  
Lot A Section 3 Township 12 Plan NWP13554

The subject application is to permit the rezoning to allow the future construction of approximately 30 townhouse units.

- 4a) **Maple Ridge Zone Amending Bylaw No. 7699-2021**

To rezone the subject property from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential).



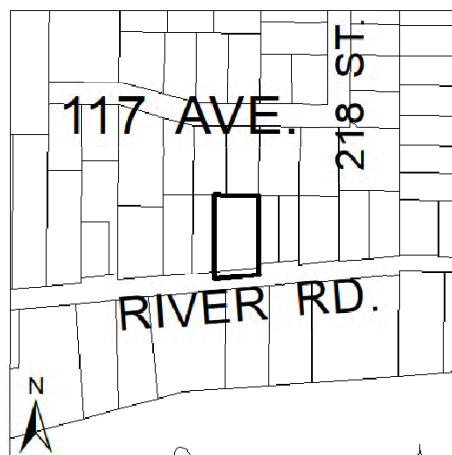
Map No. 1859

- 5) **2018-349-RZ, 21745 River Road**  
Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510

The subject application is to permit the rezoning to allow the future subdivision of two lots.

- 5a) **Maple Ridge Zone Amending Bylaw No. 7503-2018**

To rezone the subject property from RS-1 (Single Detached Residential) to RS-1b (Single Detached (Medium Density) Residential).



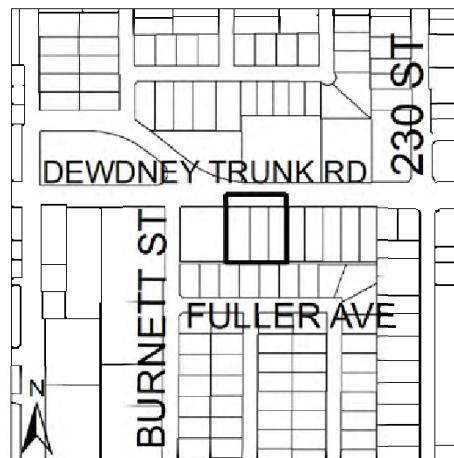
Map No. 1778



- 6) **2019-392-RZ, 22904, 22910 and 22922 Dewdney Trunk Road**  
Lot 220 Section 17 Township 12 New Westminster District Plan 57165;  
Lot 229 Section 17 Township 12 New Westminster District Plan 58011; and  
Parcel "One" (Explanatory Plan 13671) Except: Part Road on Plan 80199; of Parcel "A"  
(Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178

The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 180m<sup>2</sup> of commercial space and approximately 127 apartment units.

- 6a) **Official Community Plan Amending Bylaw No. 7759-2021**  
To re-designate the subject properties from Urban Residential to Commercial.
- 6b) **Maple Ridge Zone Amending Bylaw No. 7760-2021**  
To introduce Comprehensive Development Zone CD-2-20.
- 6c) **Maple Ridge Zone Amending Bylaw No. 7627-2020**  
To rezone the subject properties from RS-1 (Single Detached Residential) to CD-2-20 (Comprehensive Development).



Map No. 1043

**AND FURTHER TAKE NOTICE** that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council to be relevant to the matters contained in the bylaws are available for viewing on the City's Land Development Viewer site at:

<https://gis.mapleridge.ca/LandDevelopmentViewer/LandDevelopmentViewer.html>.

It is important to ensure that our democratic processes continue to function and that the work of the City remains transparent for all citizens while mitigating risks posed by COVID-19. For further information on how to participate, we encourage checking our website for updates at <https://www.mapleridge.ca/2408/Covid-19-Information>. If you wish to participate virtually, please use the links below.

**ALL PERSONS** who believe themselves affected by the above-mentioned bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws. Please note that all written submissions provided in response to this notice will become part of the public record which includes the submissions being made available for public inspection.

These are the following ways to participate:

- **Virtually, by going to:** [www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) and clicking on the meeting date to register. When registering you will be asked to give your name and address, to give Council your proximity to the land that is the subject of the application. We ask that you have your camera on during the Public Hearing;
- **For viewing only,** access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the July 19, 2022 Public Hearing presentation video;
- **Attendance in person by pre-registering** with the Corporate Officer at [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) **by 4:00 p.m. Tuesday, July 19, 2022.** Please provide your name, address, and phone number as well as the item you wish to speak to. In-person attendance will be limited, and up to 33 members will be allowed physical access to Council Chambers on a first come, first serve basis, therefore members of the public are encouraged to pre-register with the Corporate Officer if they wish to speak at the Public Hearing;
- **To submit correspondence** prior to the Public Hearing, provide written submissions to the Corporate Officer by 12:00 Noon, Tuesday, July 19, 2022 (quoting file number) via drop-box at City Hall or by mail to 11995 Haney Place, Maple Ridge, V2X 6A9; or
- **To email correspondence,** forward written submissions to [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) to the attention of the Corporate Officer, by 12:00 Noon, Tuesday, July 19, 2022 (quoting file number).

Dated this 6<sup>th</sup> day of July, 2022.

Patrick Hlavac-Winsor  
Corporate Officer

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **Second Reading**  
**Zone Amending Bylaw No. 7719-2021**  
**Zone Amending Bylaw No. 7721-2021**  
**First, Second and Third Reading**  
**Off-Street Parking and Loading Amending Bylaw No. 7860-2022**  
**21783 Lougheed Highway**

**MEETING DATE:** June 21, 2022  
**FILE NO:** 2021-061-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 21783 Lougheed Highway, from C-2 (Community Commercial) to C-7 (Lougheed Transit Corridor Mixed-Use), to permit the future construction of a six-storey, purpose-built rental apartment building. Council granted first reading to *Zone Amending Bylaw No. 7719-2021* and *Zone Amending Bylaw No. 7721-2021* on March 30, 2021. *Off-Street Parking and Loading Amending Bylaw No. 7860-2022* is also being brought forward in order to establish a parking requirement for the new C-7 (Lougheed Transit Corridor Mixed-Use) zone.

The building will contain approximately 675m<sup>2</sup> of commercial space on the ground floor and 124 rental apartment units from the ground floor to the sixth storey. The proposed development is within the concept plan for the Lougheed Transit Corridor area, which identifies a future land use of *Commercial Mixed-Use* that has been endorsed by Council. *Zone Amending Bylaw No. 7721-2021* creates the new C-7 zone, while *Zone Amending Bylaw No. 7719-2021* rezones the site from the C-2 to the C-7 zone.

This application is in compliance with the Official Community Plan.

The subject application is exempt from paying the Community Amenity Contribution outlined in Council Policy 6.31, as the applicant is proposing 100% of the units as rental to be secured through a Housing Agreement. To proceed further with this application additional information is required as outlined below.

**RECOMMENDATIONS:**

1. That *Zone Amending Bylaw No. 7719-2021* be given second reading and forwarded to Public Hearing;
2. That *Zone Amending Bylaw No. 7721-2021* be given second reading as amended, and forwarded to Public Hearing;
3. That *Off-Street Parking and Loading Amending Bylaw No. 7860-2022* be given first, second and third reading; and further

4. That the following terms and conditions be met prior to final reading:

- i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
- ii) Approval from the Ministry of Transportation and Infrastructure;
- iii) Road dedication on Loughheed Highway as required;
- iv) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
- v) Registration of a Statutory Right-of-Way plan and agreement for walkway on the east side of the property;
- vi) Registration of a Restrictive Covenant to prohibit a pharmacy at this location;
- vii) Registration of a Restrictive Covenant for Stormwater Management;
- viii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
- ix) Registration of a Housing Agreement in accordance with Section 483 of the *Local Government Act* and a Restrictive Covenant stating that the apartments in the C-7 (Loughheed Transit Corridor Mixed-Use) Zone will be restricted to residential rental units;
- x) Removal of existing buildings; and
- xi) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.

**DISCUSSION:**

**1. Background Context:**

Applicant:	WestUrban Developments Ltd.
Legal Description:	Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031
OCP:	
Existing:	Commercial
Proposed:	Commercial
Within Urban Area Boundary:	Yes
Area Plan:	Loughheed Transit Corridor (endorsed concept plan)
OCP Major Corridor:	Yes

Zoning:		
Existing:		C-2 (Community Commercial)
Proposed:		C-7 (Lougheed Transit Corridor Mixed-Use)
Surrounding Uses:		
North:	Use:	Single Family Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	Urban Residential
South:	Use:	Commercial and Residential
	Zone:	CS-1 (Service Commercial) and RS-1 (One Family Urban Residential)
	Designation:	Commercial and Urban Residential
East:	Use:	Single Family Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	Urban Residential
West:	Use:	Commercial
	Zone:	CS-1 (Service Commercial)
	Designation:	Commercial
Existing Use of Property:		Vacant Lot
Proposed Use of Property:		Mixed Use (Commercial and Residential)
Site Area:		0.51 ha (1.3 acres)
Access:		Lougheed Highway
Servicing:		Urban Standard
Flood Plain:		Yes
Fraser Sewer Area:		Yes
Previous OR Companion Applications:		2015-309-RZ and 2019-260-RZ

## 2. Background:

The subject property, located at 21783 Lougheed Highway, is approximately 0.51 ha (1.3 acres) in area and is currently vacant (see Appendices A and B). The subject property is relatively flat with low-lying vegetation located throughout the site and trees along the eastern property boundary.

## 3. Project Description:

This application seeks to rezone the property from C-2 (Community Commercial) to C-7 (Lougheed Transit Corridor Mixed-Use), to permit the construction of a six-storey rental apartment building (see Appendices C and D). The proposed building will feature approximately 686 m<sup>2</sup> (7,384 ft<sup>2</sup>) of commercial space on the ground floor and 124 rental apartment units from the ground floor to the sixth floor.

The design intends to have the bulk of the six storey building fronting Lougheed Highway, with a smaller portion on the east side continuing north (see Appendix E). The northern portion of the building is stepped back on the fifth and sixth floors in order to reduce the massing towards the single family houses to the north. A 7.5 metre (25 ft) setback along the majority of the northern lot line, to act as a buffer between the site and the adjacent residential lots, has been incorporated into the design. Along the east property line a 3.0 metre public walkway has been incorporated to



provide pedestrian connection from Lougheed Highway to the neighbourhood to the north. This public walkway will be located in a Statutory Right-of-Way (SRW). The building is setback an additional 3.0 metre from this walkway to provide a 6.0 metre separation from the eastern property line. To the west the building is setback from the property line by 14.3 metres (see Appendices F and G).

Council had expressed concern during the Committee of the Whole meeting on March 23, 2021, about the proliferation of Pharmacies within the City of Maple Ridge. As a result of these concerns, the Planning Department has requested and the applicant has agreed to register a covenant on Title that would prohibit the operation of the pharmacy within the commercial component of the newly proposed building.

Lougheed Highway at this location is a controlled access highway, therefore, the Ministry of Transportation and Infrastructure (MOTI) approval is required before the rezoning can be adopted.

The City has initially asked that the applicant provide 1.5 metres of road dedication along Lougheed Highway, however, MOTI has not yet confirmed their required amount of road dedication. Once MOTI responds with their preliminary approval and their road dedication requirements along Lougheed Highway, the applicant will be required to update their drawings to reflect this amount.

#### **4. Planning Analysis:**

##### **i) Official Community Plan (OCP) Policies**

The following OCP policies apply to this project:

*3-31 Maple Ridge supports the provision of rental accommodation and encourages the construction of rental units that vary in size and number of bedrooms. Maple Ridge may also limit the demolition or strata conversion of existing rental units, unless District-wide vacancy rates are within a healthy range as defined by the Canadian Mortgage and Housing Corporation, and,*

*3-32 Maple Ridge supports the provision of affordable, rental and special needs housing throughout the District...*

This project will add up to 124 new purpose built market rental housing units to the Lougheed Corridor. It currently proposes 6 studio, 88 one-bedroom, and 27 two-bedroom units.

##### **ii) Lougheed Transit Corridor Area Policies**

The subject property is currently designated *Commercial* and is within the Lougheed Transit Corridor area, which is subject to a Council endorsed Concept Plan. The designation supports the proposed development under the C-7 (Lougheed Transit Corridor Mixed-Use) zone.

The land use identified in the Lougheed Transit Corridor Concept Plan is *Commercial Mixed Use*, which aligns with a mixed-use form of development with ground floor commercial and residential above at transit nodes and along 'high streets'. A minimum height of four storeys is required with no building height maximum. Development proposed adjacent to existing single detached dwelling or townhouse uses will be encouraged to design buildings in a sensitive manner to the existing development, such as stepping down building faces at interface points.

The endorsed Concept Plan identifies the creation of a new C-7 (Lougheed Transit Corridor Mixed-Use). Second reading of the Lougheed Transit Corridor Area Plan is scheduled for Q2 – 2022.

The subject site is located within the Lougheed Transit Corridor Area Plan and designated as *Commercial Mixed-Use*. The *Commercial Mixed-Use* designation permits a mixed-use form of development with ground floor commercial and residential apartments above. Office use is also permitted above ground level.

The *Commercial Mixed-Use* designation is supported by the following policies:

- 4-10** Maple Ridge will support a minimum of four storeys.

*The proposed building is six storeys, therefore meeting the four storey minimum.*

- 4-12** Maple Ridge will create a new commercial mixed-use zone for specific applications in the Lougheed Transit Corridor.

*With the proposed rezoning of this site, a site-specific text amendment is also included in order to introduce the C7 (Lougheed Transit Corridor Mixed-Use) Zone.*

- 4-13** Maple Ridge will permit commercial mixed-use buildings at Transit Nodes and along Complete Streets with ground floor commercial.

*The proposal features one ground floor commercial unit fronting Lougheed Highway.*

- 4-14** Compact neighbourhoods are desired and encouraged through high density development, wherein a variety of land uses are located such that residents and workers are within walking distance of many destinations.

*The proposal features a compact form of development that will place the buildings residents within walking distance of different services and destinations.*

- 4-15** Commercial uses in mixed-use buildings should serve the basic, everyday needs of residents, such as grocery, convenience and personal services, as well as destinations for residents within a five minute walking distance or 400m radius, such as retail and restaurants.

*The ground floor commercial unit could feature a restaurant or other retail destinations that can be utilized by future residents of the building and by other residents in the surrounding neighbourhood.*

- 4-18** Ground-floor commercial is required at Transit Nodes and along Complete Streets for the Commercial Mixed-Use land use designation.

*The building features one unit of ground floor commercial.*

### iii) Housing Action Plan

The Housing Action Plan (HAP), which was endorsed by Council in September 2014, identifies rental housing as a priority. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September 2015.

**iv) Housing Agreement**

In exchange for the elimination of Community Amenity Contributions for this project, the applicant is willing to enter into a registered Housing Agreement at final reading. The full details of this agreement will be provided to Council after third reading as a separate Housing Agreement report and bylaw.

The Housing Agreement will contain the following provisions:

- i. Set the total rental unit number at 124;
- ii. All units shall be market rental units in perpetuity;
- iii. The fixed term of rental shall be only month to month or under a residential tenancy agreement of a fixed term NOT exceeding 3 years; and
- iv. The lands shall not be subdivided, except by means of a strata plan that included all of the residential units with a single strata lot.

The Housing Agreement shall be registered on Title of the land and act as a 219 covenant and Housing Agreement that bind all future owners.

As a market rental project, this development is exempt from the payment of Community Amenity Contributions.

**v) Zoning Bylaw**

The current project is proposing a density of 1.55 FSR, which is within the permitted FSR in the newly proposed C-7 (Lougheed Transit Corridor Mixed-Use) Zone. The applicant is using the density bonus provisions of the new C-7 Zone, which permits an additional FSR of 0.25 for each additional storey above the third (3) storey. All of the setbacks in the underlying zone are also being met as part of this proposal.

**vi) Off-Street Parking and Loading Bylaw**

The proposed C-7 (Lougheed Transit Corridor Mixed-Use) zone has a parking requirement of 1.0 stalls per unit and 0.2 stalls per unit for visitor parking (see Appendix H). The ground floor commercial component of the development has a parking requirement of 1.0 stalls per 30 m<sup>2</sup> of space. A total of 173 parking spaces are required by the *Off-Street Parking and Loading Bylaw No. 4350-1990* and the application is proposing a total of 174 spaces in this development. The application is seeking to vary the *Off-Street Parking and Loading Bylaw No. 4350-1990* to permit 23 small car parking spaces, which would equal 13.2% of all spaces, over the 10% permitted in the Bylaw.

**vii) Proposed Variances**

A Development Variance Permit application will be required to provide for the following relaxations:

The following provisions in *Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 - 1990*, are requested to be varied:

- to increase the maximum number of small car spaces from 10% to 13% for a total of 23 spaces.

These requested variances will be the subject of a future report to Council.

viii) **Development Permits**

Pursuant to Section 8.5 of the OCP, a Commercial Development Permit application is required to address the current proposal's compatibility with adjacent development, and to enhance the unique character of the community.

ix) **Advisory Design Panel**

The application was reviewed by the ADP at a meeting held on March 23, 2022, and again on May 18, 2022, and their comments and the applicant's responses can be seen in Appendix I.

A detailed description of the projects form and character will be included in a future development permit report to Council.

x) **Development Information Meeting (Public Comment Opportunity):**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between April 4 and April 14, 2022. The process involved 120 letters mailed out to adjacent property owners and also included newspaper advertisements on the March 25 and April 1, 2022 editions of the *Maple Ridge Pitt-Meadows News*. The developer receives correspondence from 18 residents. A summary of the Public Comment Opportunity is attached to this report (see Appendix J).

**5. Traffic Impact:**

As the subject property is located within 800 metres of the Lougheed Highway, a referral has been sent to the Ministry of Transportation and Infrastructure.

Ministry approval of *Zone Amending Bylaw No. 7719-2021* will be required as a condition of final reading. At this time, the Ministry has yet to grant preliminary approval of this application. Once preliminary approval is granted and the Ministry provides their road dedication requirements, the applicant will be updating their site plan to reflect the required dedication.

**6. Interdepartmental Implications:**

i) **Engineering Department:**

The Engineering Department requires the following items be addressed:

- a) Road dedication as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- b) Utility servicing as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- c) Frontage upgrades to the applicable road standard.

ii) **Fire Department:**

The applicant was provided with comments from the Fire Department about matters to be addressed through the Building Permit process.

## 7. School District No. 42 Comments:

A referral was sent to School District No. 42 and their response on how this development would affect student population for the catchment area is attached to this report (see Appendix K).

### CONCLUSION:

It is recommended that first, second and third reading be given to *Off-Street Parking and Loading Amending Bylaw No. 7860-2022*, that second reading be given to *Zone Amending Bylaw No. 7719-2021* and *Zone Amending Bylaw No. 7721-2021* as amended, and that application 2021-061-RZ be forwarded to Public Hearing.

"Original signed by Mark McMullen" for

---

Prepared by: **Rene Tardif, BA, M.PL**  
**Planner 1**

"Original signed by Charles Goddard"

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

---

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

"Original signed by Scott Hartman"

---

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – Zone Amending Bylaw No. 7719-2021  
Appendix D – Zone Amending Bylaw No. 7721-2021  
Appendix E – Site Plan  
Appendix F – Building Elevation Plans  
Appendix G – Landscape Plan  
Appendix H – Off-Street Parking and Loading Amending Bylaw No. 7860-2022  
Appendix I – ADP Design Comments  
Appendix J – Public Comment Opportunity Summary Comments  
Appendix K – School District No. 42 Comments



Scale: 1:3,000

### Legend

 Active Applications (RZ/SD/DP/VP)

21783 LOUGHEED HIGHWAY  
030-610-371



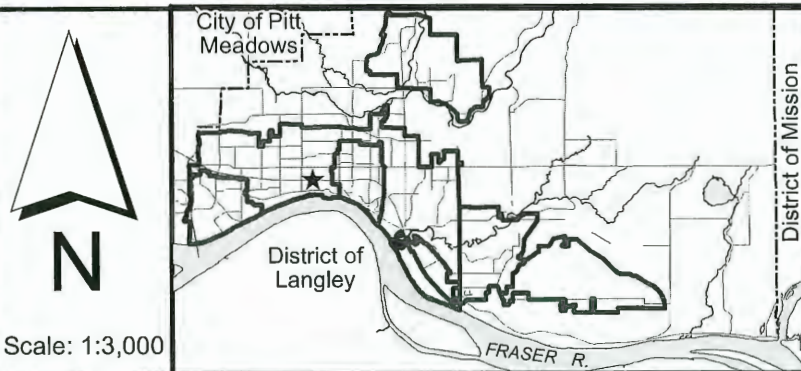
FILE: 2021-061-DP  
DATE: Jun 7, 2021

BY: BD



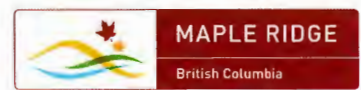


Aerial imagery from the Spring of 2020



21783 LOUGHEED HIGHWAY  
030-610-371

PLANNING DEPARTMENT



British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2021-061-DP  
DATE: Jun 7, 2021

BY: BD



**CITY OF MAPLE RIDGE  
BYLAW NO. 7719-2021**

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of  
Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7719-2021."
2. That parcel or tract of land and premises known and described as:

Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031

and outlined in heavy black line on Map No. 1874 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to C-7 (Lougheed Transit Corridor High Density Mixed-Use).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

**READ** a first time the 30<sup>th</sup> day of March, 2021.

**READ** a second time the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

**APPROVED** by the Ministry of Transportation and Infrastructure this            day of            , 20

**ADOPTED**, the            day of            , 20

---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**





**CITY OF MAPLE RIDGE  
BYLAW NO. 7721-2021**

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as “Maple Ridge Zone Amending Bylaw No. 7721-2021”.
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended by inserting the following zone after C-6 Community Gaming Facility and re-ordering all subsequent numbering in sequential order:

**707        ZONE: C-7 LOUGHEED TRANSIT CORRIDOR MIXED-USE**

**707.1      PURPOSE**

1. This Zone provides for a range of Commercial, service and Residential Uses in the Lougheed Transit Corridor Area.

**701.2      PRINCIPAL USES**

2. The following Principal Uses shall be permitted in this Zone:
  - a. Assembly;
  - b. Business Services;
  - c. Cannabis Retail;
  - d. Convenience Store;
  - e. Financial Services;
  - f. Indoor Commercial Recreation;
  - g. Licensee Retail Store;
  - h. Liquor Primary Establishment;
  - i. Personal Repair Services;
  - j. Personal Services;
  - k. Place of Worship;
  - l. Private Hospital;
  - m. Professional Services;
  - n. Restaurant;
  - o. Retail, excluding Highway Commercial; and
  - p. Tourist Accommodation.

### 707.3

#### ACCESSORY USES

3. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:
  - a. Apartment Residential;
  - b. Home Occupation.
  - c. one or two Dwelling Units; and
  - d. Outdoor Display or sales area.
4. Refer to Section 402 of this Bylaw for additional information.

### 707.4

#### LOT AREA and DIMENSIONS

5. Minimum Lot Area and dimensions shall be not less than:
  - a. in Lot Area 1,672.00 square metres
  - b. in Lot Width 36.0 metres
  - c. in Lot Depth 27.0 metres.
6. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum Building Envelope dimensions.

### 707.5

#### DENSITY

7. The Residential Floor Space Ratio shall not exceed a base Density of 1.0 times the Lot Area (Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw);
8. Additional Density may be added to the Residential Floor Space Ratio, up to a maximum of 4.0 times the Lot Area, with the following provisions:
  - a. an amount equal to 0.25 times the Lot Area may be added for providing a minimum of 90% of the required Residential parking spaces in an Underground Structure or Concealed Parking;
  - b. an additional amount equal to 0.25 times the Lot Area may be added for providing all parking spaces, excluding visitor parking spaces, in an Underground Structure or Concealed Parking;
  - c. an amount equal to 0.25 times the Lot Area may be added for each Storey above the third (3) Storey, but in no case shall this amount exceed 2.0 times the Lot Area;
  - d. for Lots Designated as "Major Corridor Residential" in the Maple Ridge Official Community Plan Bylaw No. 7060-2014 (as identified in Chapter 3 and Figure 4 of the Maple Ridge Official Community Plan Bylaw No. 7060-2014), an amount not to exceed 0.5 times the Lot Area may be added to the Residential Floor Space Ratio for providing a cash contribution at a rate of \$161.46 per square metres (\$15.00 per square foot) as a Density Bonus. Refer to Section 402 (Density Bonus for Town Centre Area and Major Corridor Residential) of this Bylaw.
9. The Residential Floor Space Ratio shall not exceed a total Density of 4.0 times the Lot Area (Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw)
10. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.



## 707.6 LOT COVERAGE

11. All Principal Buildings and Principal Structures and Accessory Buildings and Accessory Structures together shall not exceed a Lot Coverage of 90% except:
  - a. the Lot Coverage may be 100% where all the required parking is provided in accordance with Part 3 (Off-Street Parking Requirements) of the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.

## 707.7 SETBACKS

12. Minimum Setbacks for all Buildings and Structures shall be not less than:
  - a. from a Front Lot Line 3.0 metres
  - b. from a Rear Lot Line 6.0 metres, except this may be reduced to 0.0 metres provided that:
    - (i) a Structure occupying the rear 6.0 metres shall be only used for Accessory Off-Street Parking;
    - (ii) the Off-Street Parking Structure shall be the only Structure on that portion of the Lot; and
    - (iii) a Residential Use shall be provided above the Off-Street Parking Structure;
  - c. from an Interior Side Lot Line 6.0 metres
  - d. from an Exterior Side Lot Line 6.0 metres.
13. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

## 707.8 HEIGHT

14. Building Height for Principal Buildings and Principal Structures shall be not less than 15.0 metres.
15. Building Height for Accessory Buildings and Accessory Structures shall not exceed 4.5 metres.
16. Refer to Section 403 (Building Height) of this Bylaw.

## 707.9 LANDSCAPING and SCREENING

17. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw of this Bylaw.

## 707.10 PARKING and LOADING

18. Off-Street Parking and Off-Street Loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
19. An Off-Street Parking Use shall be sited to the rear of a Building, concealed within a Building or located in an Underground Structure for parking.

## 707.11 OTHER REQUIREMENTS

20. A Residential Use shall:
  - a. provide a separate and independent access from the ground floor front elevation if located together in a Building or Structure with other Uses, except that on a corner Lot access may be from the ground floor exterior side elevation.

- b. be permitted only where all parking for such Use is Concealed Parking;
  - c. provide Common Open Area(s) on the Lot for Apartment Residential Use at a minimum of 5.0% of the Lot Area and which may be provided as balconies, terraces, patios, Rear Yards, courtyards or roof decks;
  - d. provide Indoor Amenity Area(s) based on the following ratio:
    - (i) 1.0 square metres per apartment Dwelling Unit; and
  - e. provide Private Outdoor Area(s) for each Dwelling Unit at a minimum of 5.0% of the Dwelling Unit area or 4.6 square metres, whichever is greater.
21. An Off-Street Parking Structure occupying the rear 6.0 metres of the Lot shall be entirely covered by a Landscape recreation or amenity deck.
22. Every Use, except Outdoor Display or sales area and Commercial Off-Street Parking and Off-Street Loading Uses shall be located and undertaken wholly within an enclosed Building.

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

**READ** a first time the 30<sup>th</sup> day of March, 2021.

**READ** a second time as amended, the            day of            , 20

**READ** a third time the            day of            , 20

**ADOPTED**, the            day of            , 20

---

PRESIDING MEMBER

---

CORPORATE OFFICER

# PROJECT DATA

LEGAL ADDRESS:  
DL 247: HWY. PL. EPP73031  
CIVIC ADDRESS:  
2175 LOUGHEED HWY, MAPLE RIDGE, BC

ZONING:  
D-7 PROPOSED

LOT SIZE  
8,890 SQ.M. (54788 SQ.FT.)

BUILDING AREA:  
PROPOSED FOOTPRINT 1733 SQ.M. (18,854 SQ.FT.)

FLOOR AREA:  
PARKADE 4972 SQ.M.

COMMERCIAL (MAIN) 572 SQ.M.  
MAIN 549 SQ.M.  
SECOND 1371 SQ.M.  
THIRD 1371 SQ.M.  
FOURTH 1371 SQ.M.  
FIFTH 1287 SQ.M.  
SIXTH 1287 SQ.M.  
TOTAL (NET) 7680 SQ.M., EXCLUDING PARKADE

COMMON (MAIN) 287 SQ.M.  
COMMON (SECOND) 276 SQ.M.  
COMMON (THIRD) 276 SQ.M.  
COMMON (FOURTH) 276 SQ.M.  
COMMON (FIFTH) 263 SQ.M.  
COMMON (SIXTH) 263 SQ.M.  
TOTAL (NET) 1621 SQ.M., EXCLUDING PARKADE  
TOTAL (GROSS) 9,513 SQ.M., EXCLUDING PARKADE

FLOOR AREA RATIO:  
ALLOWED: 1.75  
PROPOSED: 1.55 (7890/5092)

DENSITY:  
PROPOSED: 121 UNITS  
COMMERCIAL SPACE

LOT COVERAGE:  
54% PROPOSED (OPEN DECKS INCLUDED)

COMMON OPEN AREA:  
REQUIRED: 5% OF LOT = 235 SQ.M.  
PROVIDED: 348 SQ.M. AT REAR YARD

COMMON AMENITY:  
REQUIRED: 1 SQ.M. PER UNIT \* 121 SQ.M.  
PROVIDED: 2 AMENITY ROOMS \* 143 SQ.M.

PRIVATE OUTDOOR AREA:  
REQUIRED: 4.8 SQ.M. PER UNIT  
PROVIDED: 6.2 SQ.M. AT DECKS

BUILDING HEIGHT:  
NO RESTRICTION

UNIT COUNT:	MAIN	2-4 FL.	5-6 FL.	TOTAL
STUDIO	1	1 (2)	1 (2)	6
ONE BEDROOM	7	17 (3)	15 (3)	39
TWO BEDROOM	2	5 (2)	5 (2)	27
TOTAL	10	29	42	121

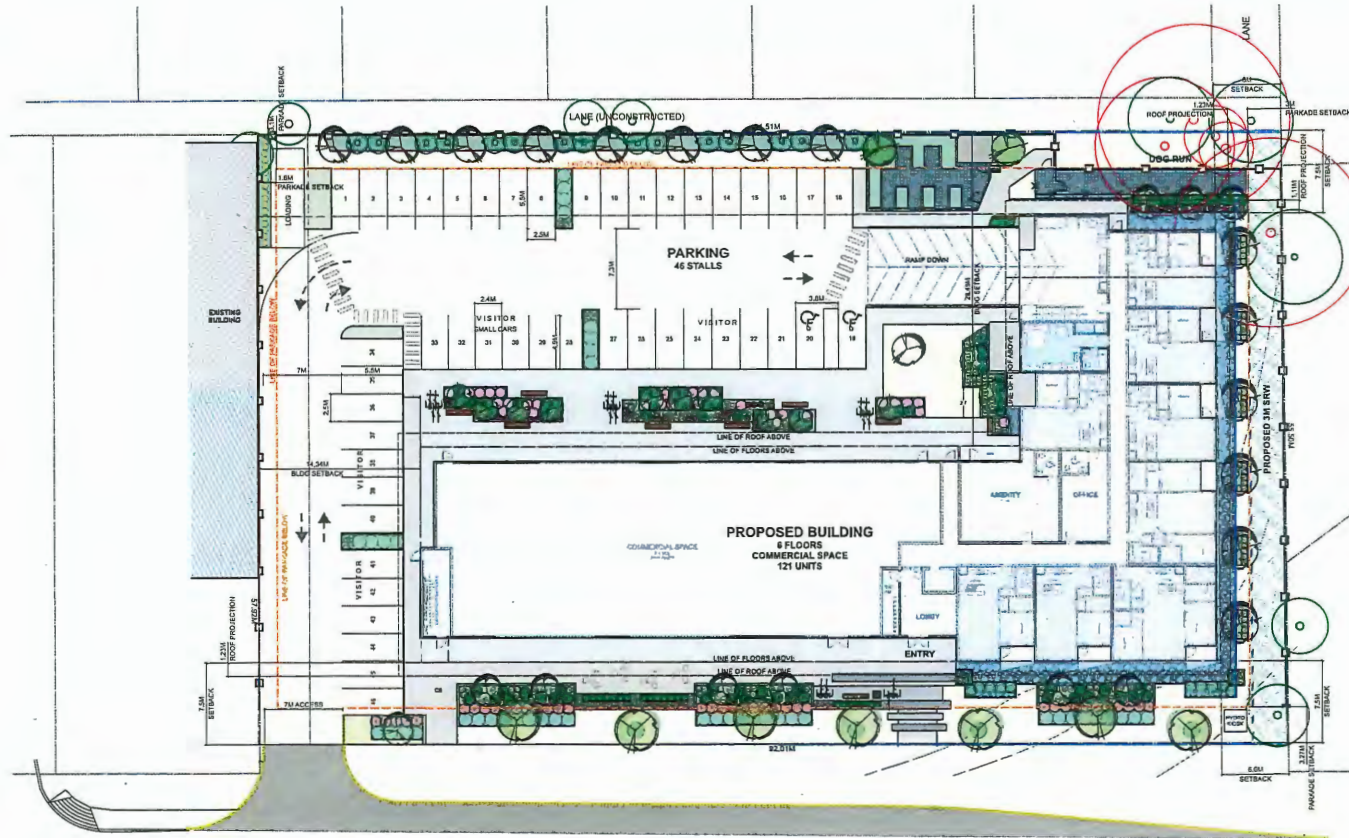
SETRACKS  
FRONT 7.5M ALLOWABLE / PROPOSED 7.5M  
REAR 7.5M ALLOWABLE / PROPOSED 7.5M (N.E. LEG) 28.5 (MAIN)  
SIDE (E) 6M ALLOWABLE / PROPOSED 6M  
SIDE (W) 4.5M ALLOWABLE / PROPOSED 14.3M

PARKING:  
REQUIRED: RESIDENTIAL 1.25 PER UNIT 151  
REQUIRED: COMMERCIAL 1 per 30 SQ.M. of FA 33  
TOTAL 184  
0.2 FOR VISITOR ALLOCATED 24

PROVIDED: STANDARD: 147  
HANDICAP STALLS (2 REQ.) 4  
SMALL CAR CUB. (17.5) 23 (VARIANCE OF 6)  
TOTAL 174

BICYCLE PARKING  
REQUIRED: 1 PER 4 UNITS LONG TERM 31  
6 PER 20 UNITS SHORT TERM 27

PROVIDED >31 LONG TERM IN BIKE STORAGE ROOM  
SHORT TERM TO BE PROVIDED WITHIN LANDSCAPE



LOUGHEED HWY.



1 SITE PLAN  
PR2 Scale: 1:200

REFER TO LANDSCAPE PLAN BY LAZZARINI SVISDAHL  
LANDSCAPE ARCHITECTS FOR MORE DETAILS ON LANDSCAPING

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.  
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**THUJA**  
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Tania Frame Architect ABC LEED AP  
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T: 250.650.7901 E: info@thujaarchitecture.ca

ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE <td>MAY 10 2021</td>	MAY 10 2021
ISSUED FOR REZONE <td>MAY 18 2021</td>	MAY 18 2021
AREA UPDATE <td>NOV 22 2021</td>	NOV 22 2021
REISSUED FOR REZONE/DP <td>FEB 01 2022</td>	FEB 01 2022
REISSUED FOR REZONE/DP <td>MAR 01 2022</td>	MAR 01 2022
REISSUED FOR REVIEW <td>APRIL 14 2022</td>	APRIL 14 2022
REISSUED FOR ADP <td>APRIL 27 2022</td>	APRIL 27 2022
REISSUED FOR REZONE/DP <td>JUNE 03 2022</td>	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

SITE PLAN &  
PROJECT INFO

DATE	AS NOTED	PROJECT NO.
DATE	MAR 01, 2022	DATE
SHEET		

PF

APPENDIX E



CONTRACTOR TO VERIFY ALL LINES, LEVELS, DIMENSIONS, AND LOCATIONS OF ALL SERVICES BEFORE ANY CONSTRUCTION BEGINS. ALL SERVICES SHALL BE LOCATED AND DEPTH VERIFIED IN ACCORDANCE WITH THE A.C. BUILDING CODE, EDITION AND ALL LOCAL BUILDING BYLAW.

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architecture + design

Andrew J.R.C. 10055  
1-520-460-7901 E: andy@thujaarchitecture.ca

ISSUED FOR REVIEW DEC 18 2020  
ISSUED FOR REVIEW MAY 18 2021  
ISSUED FOR REVIEW MAY 18 2021  
ISSUED FOR REVIEW MAY 18 2021  
ISSUED FOR REVIEW MAY 18 2021  
ISSUED FOR REVIEW MAY 18 2021  
ISSUED FOR REVIEW MAY 18 2021  
ISSUED FOR REVIEW MAY 18 2021

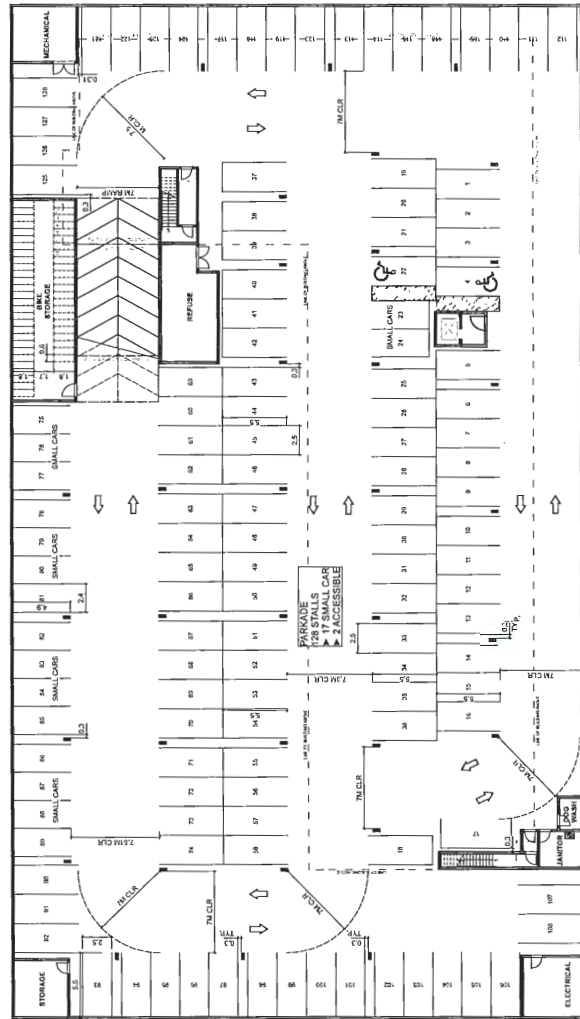
# APPENDIX F

PROJECT  
LOUGHEED HWY MU

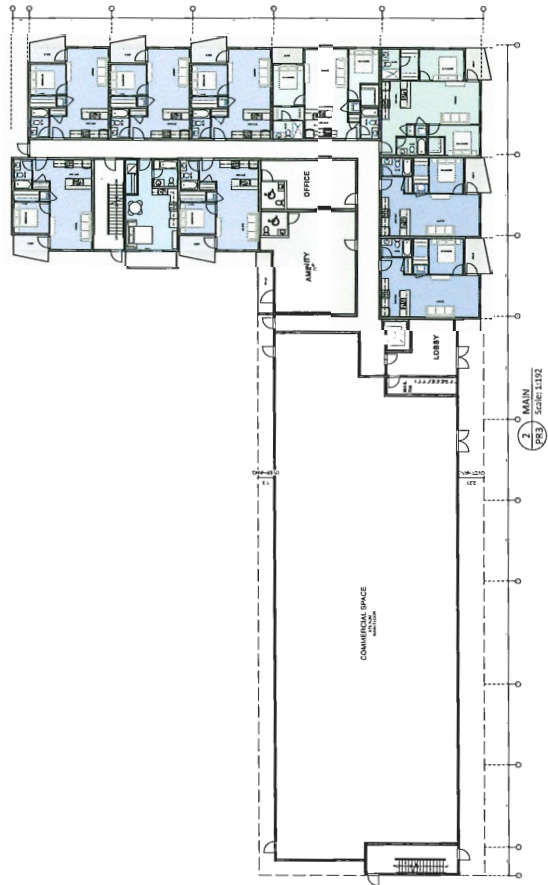
DATE  
PARADE & MAIN PLAN

NO.	AS NOTED	DATE
1	AS NOTED	MAY 01 2021
2	AS NOTED	MAY 01 2021

**P**



1. PARADE  
PS 10011132



2. MAIN  
PS 10011132

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Tonia Frame Architect NRG  
PO Box 1326 Cumberland BC  
T: 250.650.7901 E:info@theframe.ca

LOUGHEED HWY MULTIFAMILY

MEMO	AS NOTED	PERIOD END	20 <sup>th</sup>
6411	MAR 01, 2022	DATE	15 / 25 / SW
PAGE 22			

PR5

⑥ WALL MOUNTED FIXTURE - AT MAIN FLOOR LEVEL (SEE ELEVATIONS)  
(DOWN RIGHT 0141Y)

The image displays two architectural elevation drawings for a building located at 1000 Loucheed Blvd. The drawings are oriented vertically on the page.

**West Elevation:** This drawing shows the side profile of the building. It features a dark, textured facade with numerous rectangular windows. A central entrance is visible, and the building is flanked by a dark, solid-colored wall. The elevation is marked with a vertical grid of letters (A through J) and horizontal dimensions. The text "WEST ELEVATION" is printed vertically along the right side of the drawing.

**South Elevation:** This drawing shows the front facade of the building. It is a long, multi-story structure with a dark, textured facade and a regular grid of rectangular windows. The building is flanked by a dark, solid-colored wall. The elevation is marked with a vertical grid of letters (A through J) and horizontal dimensions. The text "SOUTH ELEVATION" is printed vertically along the right side of the drawing.

**Grid Lines and Dimensions:** Both elevations are marked with a vertical grid of letters (A through J) and horizontal dimensions. The dimensions are listed in feet and inches, such as "10'-0\"/>



# LIGHTING LEGEND

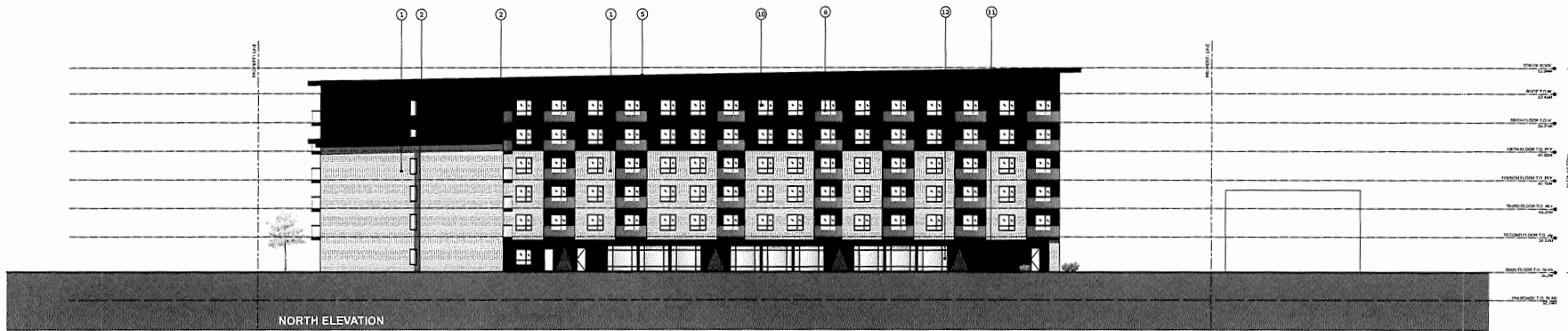
- ① RECESSED POT LIGHTS - SOFFIT MOUNTED OVER DECKS
- ② SOFFIT MOUNTED AT ROOF OVER AT MAIN ENTRY/COMMERCIAL
- ③ WALL MOUNTED FIXTURE - AT MAIN FLOOR LEVEL (SEE ELEVATIONS)
- ④ (DOWN LIGHT ONLY)

# MATERIAL LEGEND

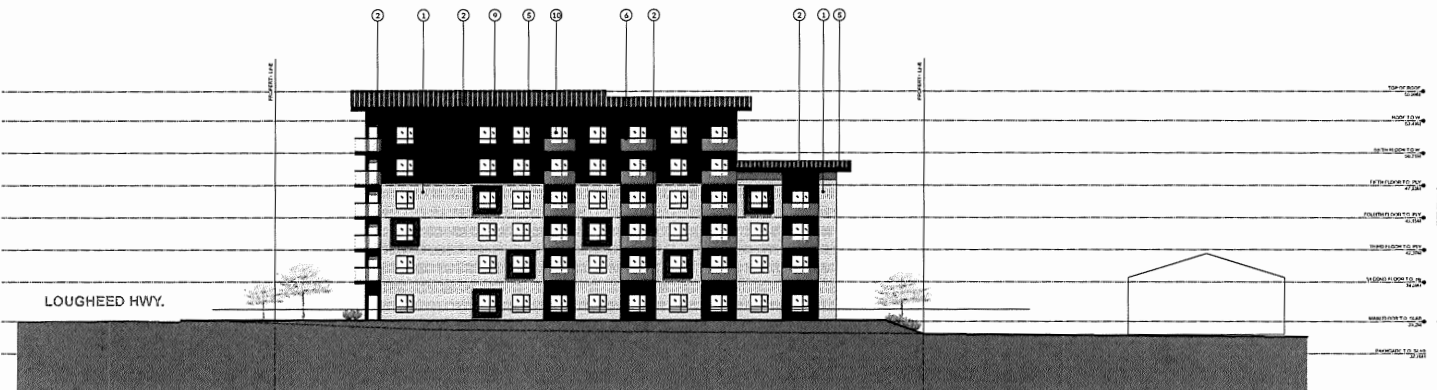
- ① FIBRE CEMENT LAP - WEATHERED WOOD
- ② FIBRE CEMENT LAP - SHOU SUGU BAN
- ③ METAL SIDING PANELS IN BLACK
- ④ SOFFIT - ALUMINUM - CEDAR SOLUTIONS - TIMBERLINE
- ⑤ FASCIA - FIBRE CEMENT BLACK
- ⑥ RAILINGS - BLACK ALUMINUM
- ⑦ DECK SOFFIT - KAYCAN PERFORATED ALUMINUM BLACK
- ⑧ STEEL COLUMNS
- ⑨ ROOFING - SBS 2 PLY MEMBRANE - BLACK
- ⑩ VINYL WINDOWS - BLACK
- ⑪ FACE BRICK IN "TRAFIC HANDMOLD"
- ⑫ STOREFRONT GLAZING

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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NORTH ELEVATION



LOUGHEED HWY.

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Vancouver: 604-271-1111  
Calgary: 403-271-1111  
Edmonton: 780-271-1111  
Winnipeg: 204-271-1111  
Ottawa: 613-271-1111  
Montreal: 514-271-1111  
Quebec: 514-271-1111  
Halifax: 902-271-1111  
Toronto: 416-593-1111  
Vancouver: 604-271-1111  
Calgary: 403-271-1111  
Edmonton: 780-271-1111  
Winnipeg: 204-271-1111  
Ottawa: 613-271-1111  
Montreal: 514-271-1111  
Quebec: 514-271-1111  
Halifax: 902-271-1111

NO DATE

ISSUED FOR REVIEW DEC 18 2020  
ISSUED FOR REZONE MAY 10 2021  
ISSUED FOR REZONE MAY 18 2021  
AREA UPDATE NOV 22 2021  
REISSUED FOR REZONE/DP FEB 01 2022  
REISSUED FOR REZONE/DP MAR 01 2022  
REISSUED FOR REVIEW APRIL 14 2022  
REISSUED FOR ADP APRIL 27 2022  
REISSUED FOR REZONE/DP JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

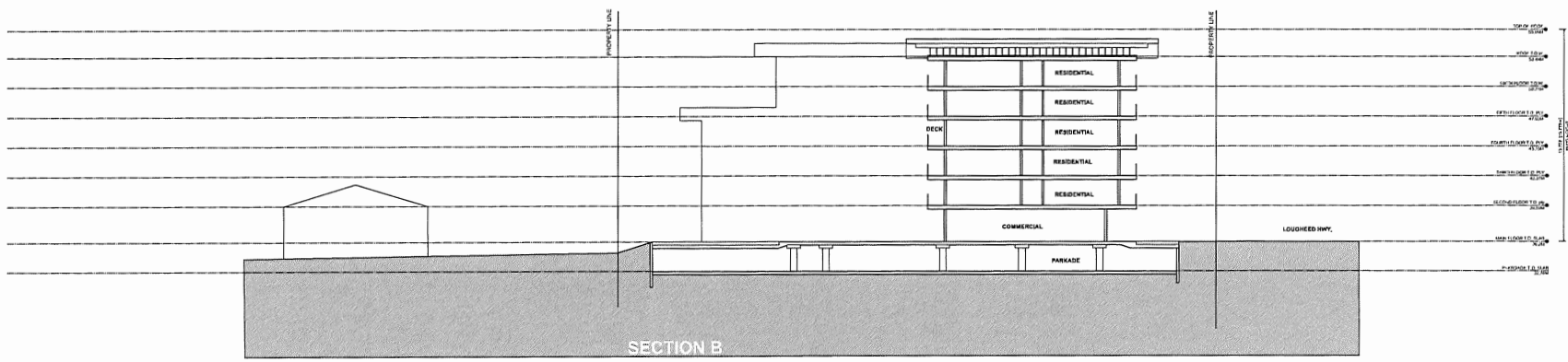
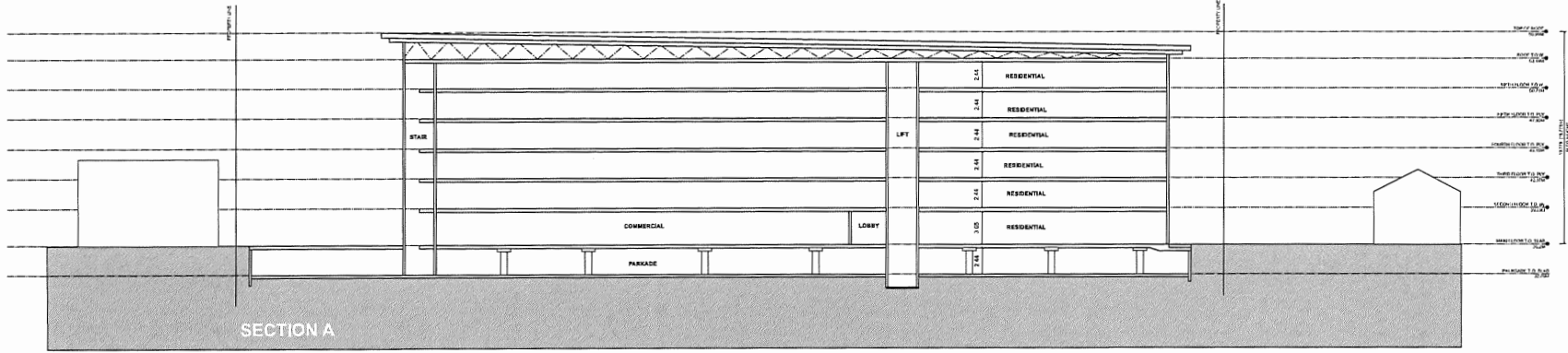
DRAWING  
ELEVATIONS EAST & WEST

SCALE AS NOTED PROJECT NO. 20-  
DATE MAR 01, 2022 DRAWN BY TS / JS / SW  
SHEET

PR6

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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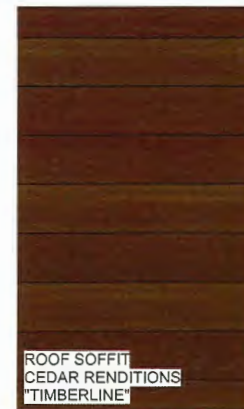
NO.	DATE
ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 10 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 01 2022
REISSUED FOR REZONE/DP	MAR 01 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

SECTIONS

SCALE	AS NOTED	PROJECT NO.	20
DATE	MAR 01, 2022	DRAWN BY	TS / JS / SW
CHECKED BY			

**PR8**



CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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NO	DATE
ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 10 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 01 2022
REISSUED FOR REZONE/DP	MAR 02 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

REVISION  
MATERIAL BOARD

SCALE	AS NOTED	PROJECT NO.	20—
DATE	MAR 01, 2022	DRAWN BY	TS /JS /SW
SHEET			

PR9





CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEY, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
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REISSUED FOR REZONE/DP	MAR 01 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

RENDERINGS

SCALE	AS NOTED	REVISION NO.	20
DATE	MAR 01, 2022	DRAWN BY	TS / JS / SW
CHECK			

**PR10**



CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

DRAWING  
SHADOW STUDY

NOV: AS NOTED	REVISED NO: 20--
DWG: MAR 01, 2022	DRAWN: TS /JS /SW
SHEET	

**PR11**



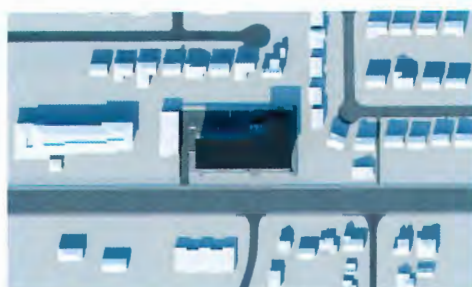
MARCH 21 - 9:00



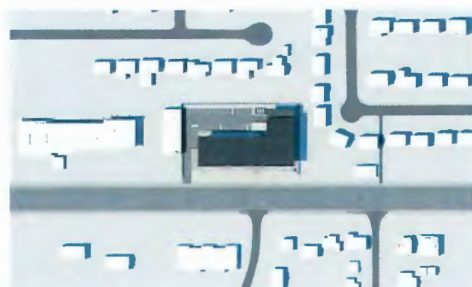
MARCH 21 - 12:00



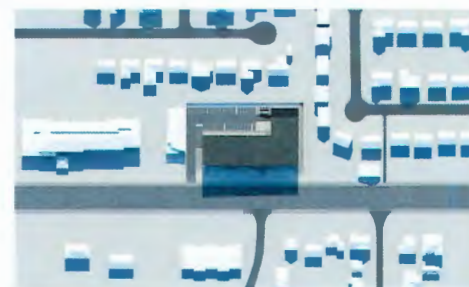
MARCH 21 - 17:00



JUNE 21 - 9:00



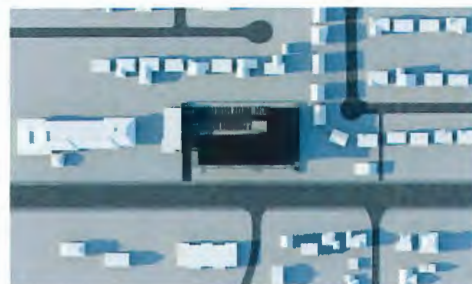
JUNE 21 - 12:00



JUNE 21 - 17:00



DECEMBER 21 - 9:00



DECEMBER 21 - 12:00



DECEMBER 21 - 17:00

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LOUGHEED HIGHWAY STREETSCAPE

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ISSUED FOR REVIEW  
DEC 18 2020  
ISSUED FOR REVIEW  
MAY 18 2021  
ISSUED FOR REVIEW  
MAY 18 2021  
AREA UPDATE  
NOV 22 2021  
REVISIONS FOR REZONE/DP  
MAR 01 2022  
REVISIONS FOR REZONE/DP  
APRIL 25 2022  
REVISIONS FOR REZONE/DP  
JUNE 03 2022



LOUGHEED HIGHWAY ELEVATION

PROJECT  
LOUGHEED HWY MULTIFAMILY

PROJECT  
LOUGHEED STREETSCAPES

DATE	AS NOTED	PROJECT NO.	20-
DATE	MAR 01 2022	DATE	TS / JS / JW
DATE		DATE	

PR12





## CITY OF MAPLE RIDGE

## BYLAW NO. 7860-2022

A Bylaw to amend the text of  
Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990, as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as "Maple Ridge Off-Street Parking and Loading Amending Bylaw No. 7860-2022".
2. Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 is amended as follows:

**SCHEDULE "A", OFF-STREET PARKING SPACE REQUIREMENTS, 1.0 Residential Uses, Part c** is amended by adding the following after C-5:

c) C-7

**SCHEDULE "A", OFF-STREET PARKING SPACE REQUIREMENTS, 2.0 Commercial Uses, Parts a and I** are amended by adding the following after C-5:

a) C-7  
I) C-7

**SCHEDULE "F", 1.0 Electric Vehicle Charging Infrastructure Requirements, Parts b and c** are amended by adding the following after C-5:

b) C-7  
c) C-7

3. Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended is hereby amended accordingly.

**READ** a first time the       day of       , 20

**READ** a second time the       day of       , 20

**READ** a third time the       day of       , 20

**ADOPTED** the       day of       , 20

PRESIDING MEMBER

CORPORATE OFFICER





April 29, 2022

Planning Dept.  
City of Maple Ridge  
11995 Haney Place,  
Maple Ridge, BC V2X 6A9

Dear Rene Tardiff,

RE: ADP Re-Submission for 21783 LOUGHEED HWY

This cover letter is to accompany the ADP Re-Submission package for 21783 Lougheed Hwy, dated April 27 2022.

We have revised our architectural and landscape plans to address the comments received from the Advisory Design Panel for our project presented on March 23 2022.

The comments and responses have been compiled in an attached table.

While we work to address each comment, not all recommendations have been made, either because of management of the building or budgetary constraints. In particular, we did not step the entire upper two storeys but did employ further architectural strategies to address those comments.

We hope you find the revisions and explanations concise and appropriate.

Please do let me know if you have any questions or concerns.

Sincerely,

Tanis Frame, Architect AIBC, LEED AP

<b>2021-061-DP – 21783 Lougheed Highway</b>	
<b>Response to Advisory Design Panel Comments from March 23, 2022</b>	
<b>Comments:</b>	<b>Response:</b>
Ensure that bicycle parking bylaw requirements are met.	We have provided the correct amount.
Ensure that commercial and residential space requirements, separation of and access to garbage refuse are met.	Refuse has been moved to parkade to ensure adequate space for both residential and commercial uses.
Ensure outdoor amenity bylaws are met in terms of size and function.	This has been met (amenity space reconfigured with new site layout)
Ensure access to commercial and entrance lobby is addressed to ensure that it is barrier-free and visible to the public from the streetscape.	Building has been elevated to see commercial from street level. Commercial and residential have varying entry treatment for delineation
Consider additional architectural response to break up massing.	We already have varying colour palette, window boxes and a large upper roof overhang. We have projected the decks beyond the building facade and angled them to create more articulation on the facade and provide more private amenity space.
Consider adding architectural features to blank wall on north end and façade on west end.	West end has been revised to address prominent corner. Added linear window box with contrasting material, signage and more fenestration.
Consider addition of loading stall for commercial area.	This has been added.
Provide loading bay for commercial area according to municipal bylaws	This has been added
Review requirements for number of elevators and ensure number of elevators are adequate for number of units, recommend second elevator to be provided.	Cost and reconfiguration of additional elevator not desired at this time.
Consider reconfiguring amenity room on second floor to add more natural light.	Reconfiguration of units to achieve daylighting is not desired at this time.
Address proximity of refuse to patio space and consider enclosed structure.	Refuse has been relocated to parkade.
The building should address the relationship of the facade to the SRW with	We don't believe this SRW will be activated as a pathway. We have included larger



both daylighting and pedestrian scale, recommend stepping back 5 <sup>th</sup> and 6 <sup>th</sup> floors on SRW side to improve this relationship.	patios for additional space and natural surveillance at the main level. Stepping back the upper floors on this facade is not desired at this time.
Ensure commercial street frontage is differentiated from residential street through uses of storefront glazing, canopies, signage.	We have differentiated by using a single material that is only at the commercial space, added storefront glazing, and signage to windows and/or at soffit as this is inset at commercial space only
Residential lobby should be differentiated from building massing to improve visibility of front doors.	Residential lobby has architectural canopy detailed at a pedestrian scale for way finding.
<b>Landscape Comments:</b>	<b>Response:</b>
Ensure tree protection fencing is shown on landscape plans for retained trees.	Protection Fencing Added in Pink, Arborist shall be onsite to do root pruning if required
Provide vegetative screening on north property line.	Columnar trees and grass along with a 1.8m Ht. Privacy Fence to provide screening
Consider bioswale on north property line at grade planting area.	Lawn swale will be coordinated with Civil Stormwater
Consider vegetative buffer between driveway and west property line.	Area is very narrow between curb and fence will not support space for plant growth
Recommend providing amenity area for residents on roof.	We don't agree that an amenity deck looking down on single family residences is appropriate.
Provide screening for residential patios to ground floor amenity at grade.	Screening with Raised Planters on Slab Provided
Recommend reconfiguring amenity area on ground floor for residential to provide separation between tenant amenity room and exterior associated space.	Green Space Added with Planters and Lawn (on Slab)
Provide separation of public and private amenity space on ground floor.	Planters added to create separation between functions of the spaces
Provide ground floor yard space in relationship to pathway at SRW for residential units on ground floor.	Design of Path in Progress, landscape will need to respond to the path layout
Provide separation of public and private space between lobby entry on Loughheed Highway and first residential unit to east.	Raised Planters adjusted to provide better buffer at front door and private unit
Do not support the use of stacked wood planters on slab, recommend using raised precast planters, not wood.	Larger Planters have been changed to Precast Block, some small wood planters still proposed for some lower shrub beds

Recommend changing decorative washed rock with 4x4 wood edgers and providing yard space for ground floor residential units.	Washed Rock with wood edging for drip perimeter strip under roof overhangs used as a best practice to keep things tidy in areas where vegetation is not recommended (due to roof overhangs) and in areas where we don't want to encourage people going.
Ensure barrier-free entry to lobby doors for residential and commercial.	These entries will be barrier-free
Ensure privacy and noise separation of units facing Lougheed Highway through architectural screening.	Planters added for some visual screening - visual sightlines are recommended to be kept clear for CPTED reasons against ground floor unit doors and windows.
Recommend separating bike parking between commercial and residential.	Tenant Bike Storage is anticipated to be mainly used for residential bikers
Recommend installation of pathway within SRW to provide access to individual yard spaces and small amenity area in northeast corner of site.	Offsite pathway design and potential for unit walkup access TBD

### 2021-061-DP – 21783 Lougheed Highway – Response to Advisory Design Panel Comments

#	Architectural Comments	Response
1	Ensure the refuse access door can accommodate larger bin sizes.	Revised to a 6ft double door
2	Ensure adequate headroom at parking ramp for refuse pickup vehicle.	Pickup will be via a smaller “picker” truck.
3	Consider adding access at the north end of the corridor at ground level for residential outdoor amenity area.	Added access to this area.
#	Landscape Comments	Response
1	The amenity areas proposed need to fulfill the Development Permit guidelines as well as, Zoning Bylaw 2019-7600.	The outdoor COMMON OPEN AREA and outdoor Amenity areas are located so they are easily available for use by all the residents and provide greenery with lawn, trees and shrubs in the form of raised planters - both for four season planting displays and for use in vegetable or therapeutic gardening practices, recreational space suitable for outdoor leisure activities such as gardening, resting, reading outdoors, people watching, and a small dog run is included. We have ensured all Common Open Areas have dimensions which are well over the minimum 1.5 metres. OUTDOOR AMENITY AREA on this site was specifically designed to provide two different common and easily accessible amenity areas for use by all residents. The spaces is design for uses which include but are not limited to: passive relaxation and space to play on a small grass berm and lawn small patio area which is suitable for use for shared outdoor barbecue space for group seating on lawn or adjacent hardscape patio area, small covered patio area overlooking lawn connected to indoor amenity room.
2	The mounded grass area indicated as amenity space for residents with the singular trees should be enhanced for privacy and programmability to ensure that it can be functionally used by the residents of the building.	The two lawn areas and mounded grass feature with tree has been combined into one larger space by relocating the walkway access route to the side creating one larger central green space.
3	The amenity area proposed at the northeast corner has opportunities to include additional programming, for example child play.	Children’s play structure is not a desired use in this area due to proximity to private units facing an already busy commercial plaza - addition of a quiet green space as buffer separation into a zone for passive recreation and outdoor relaxation and

		small gathering zone seating on lawn berm and people watching is the intended function
4	Recommend relocating the commercial door next to the lobby door to on slab amenity space to provide greater separation between public and private space.	The location of the commercial door has been considered and it is believed that it is located in the most appropriate place to balance the function of the commercial space with the separation between public and private space.
5	Recommend rotating planting beds separating commercial amenity and private amenity to ensure more complete separation of space.	With locations of the doors from Commercial to Residential there is no room for effective separation using planting beds and due to CPTED concerns we would not recommend any screen or fencing which might create hiding spaces or concealed blind spots.
6	Ensure proposed sod areas on slab are flush with hard paved walking surfaces.	Yes, the intent that sod is flush to finished grade.
7	Recommend that the chain link fencing enclosing the community garden space be reconsidered with softer material.	Fencing materials have been chosen to allow to maximum visual and sunlight penetration.
8	Consider removing the sod from the community garden area and expanding the community garden plots.	Some unprogrammed space is important around the gardening plots to provide room for both circulation and space to work and so gardeners are not having to walk on top of each other - its a very small space to work with so we want to avoid making it feel too squished. Better it be a space that feels nice and is comfortable to be in than try to maximize density of garden plots, which will only take away from the experience and act of being out in the garden.
9	Consider relocating the garden shed within the community garden fenced area.	Agreed this has been relocated and garden area layout reworked.
10	Confirm construction of retaining wall and garden shed on the community garden area is allowed within setback.	Construction of the retaining wall and the location of the garden shed will be in compliance with all zoning requirements.
11	Provide cross sections for amenity area from neighbouring property to building to identify height of proposed retaining wall and materiality.	Heights of all retaining walls will be in compliance with all bylaws and regulations. The materials used for the retaining walls are shown in the landscape plan.
12	Provide cross sections and details and how grade change will be achieved at tree protection area and all interfaces with adjacent properties.	All grade changes at all interfaces with adjacent properties will be in compliance with applicable bylaws and regulations.



13	Provide details on how the grade changes will transition with the SRW and the single family residential homes located to the north. Ensure landscape grading plan resolves interface with the existing trees. Ensure, if permitted, that the exposed portion of the retaining wall is aesthetically pleasing to the residential use to the north, consider setback and screening.	We will work with civil designs and use retaining walls, planting beds, grass to create appropriate transition from adjacent property and the SRW. WestUrban will work with ISA Arborists to determine extent of root zones and ensure trees are protected and all exposed retaining walls are aesthetically treated.
14	Ensure the storm water on sloped sod landscape at north property line is captured onsite.	Storm water will be capture on site in compliance with all bylaws and regulations.
15	The proposed retaining wall may require a fence, due to a fall height issues.	Yes, as pre-building code fall protection will be included on all retaining walls.
16	The proposed sod along the northern property line may present maintenance issues.	We have added a planting bed along the north property line as requested - note the addition of the planting bed will increase maintenance issues and will not provide any additional screening to neighbours as the proposed fence already screens this area.
17	Ensure stormwater report and plans are provided to Planning Staff with resolution of storm water drainage on north and west property line.	Stormwater reports and plans will be provided in compliance with all bylaws and regulations at the appropriate time during the planning and development process.



# Public Comment Opportunity Summary of Feedback

*21783 Lougheed Highway, Maple Ridge*

## Executive Summary

This report provides a detailed summary of the Public Comment Opportunity (PCO) for the proposed Rezoning & Development Permit application for 21783 Lougheed Highway. The summary is being submitted to the Maple Ridge Planning Department on April 26, 2022. The summary includes completed notes including:

- Number of respondents, any emails or correspondence that have been submitted;
- A summary of the comments;
- A summary on how the issues and concerns identified through the PCO process will be addressed in the project.

This feedback is meant to inform the decision-making process for the Council of Maple Ridge when considering the 2<sup>nd</sup> reading of the zoning bylaw. The highlights of the information gathering process include:

- Number of letters mailed – 120
- Dates of newspaper advertisement – March 25 and April 1, 2022
- Dates of PCO – April 4 to April 14, 2022
- Comments received – 18

Concerns/Risks identified	Developer Mitigation/Solution
Rendering <ul style="list-style-type: none"> <li>• Cyclists side by side on Lougheed Hwy</li> <li>• Trees on multi-use pathway</li> </ul>	<ul style="list-style-type: none"> <li>• Renderings and landscape plans were updated</li> </ul>
Multi-use Path at front of building <ul style="list-style-type: none"> <li>• More details sought</li> <li>• Is Developer paying for construction</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments will provide for a multi-use path for pedestrians to safely access the commercial space &amp; surrounding amenities/transit etc.</li> </ul>
Soundproofing <ul style="list-style-type: none"> <li>• Traffic noise concern</li> </ul>	<ul style="list-style-type: none"> <li>• There is commercial space on the main floor and residential above. This is to help mitigate traffic noise from Lougheed Highway. The development will be built up to the applicable building code standards for construction quality and material.</li> </ul>
ROW to Howison Ave <ul style="list-style-type: none"> <li>• Request for pedestrian/cyclist</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments has provided the required SOW to the City. It is up to the City on the future development of this space.</li> </ul>



connection for the future West Ridge Greenway	
<p>Project size concerns</p> <ul style="list-style-type: none"> <li>• # of units</li> <li>• # of stories</li> <li>• Shade and privacy</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments is supportive of the City of Maple Ridge's policy on "Affordable, Rental and Special Needs Housing"</li> <li>• This proposal fulfills the need for the construction of rental units that vary in both size and number of bedrooms</li> <li>• WestUrban Developments has commissioned a detailed landscaping plan that includes a 6-foot privacy fence and tall, generous shrubs to screen adjacent properties from the proposed development.</li> <li>• The L-shaped building layout and the generous setbacks allow for more privacy</li> </ul>
<p>Existing trail along North side of property</p> <ul style="list-style-type: none"> <li>• What is the plan for this?</li> </ul>	<ul style="list-style-type: none"> <li>• This lane is currently existing and belongs to the City.</li> <li>• There are no plans for WestUrban Developments to develop this lane</li> </ul>
<p>Property Management Services</p> <ul style="list-style-type: none"> <li>• Short term rentals of &lt; 6 months may affect hotel business?</li> <li>• Request for details on the types of commercial uses being considered</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments doesn't permit short term rentals</li> <li>• The commercial space use will adhere to the permitted use options in the By-Law</li> </ul>
<p>Future laneway from Lougheed to Howison?</p> <ul style="list-style-type: none"> <li>• Concerned about increased vehicle/pedestrian traffic, privacy etc.</li> <li>• Surveyors observed in neighbours yards that have easements around them</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments has provided the required SOW to the City. It is up to the City on the future development of this space.</li> </ul>
<p>Barrier from Lougheed pedestrian traffic</p> <ul style="list-style-type: none"> <li>• Inquiry into type of barrier and protection being considered for homes adjacent to the development.</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments has provided the required SOW to the City. It is up to the City on the future development of this space.</li> <li>• The proposed development will be fenced off, within the P/L.</li> <li>• There is no plan for any development outside of the P/L</li> </ul>
Traffic light	<ul style="list-style-type: none"> <li>• WestUrban Developments has proposed a development according to proposed zoning parameters</li> </ul>

<ul style="list-style-type: none"> <li>• A suggestion to add a traffic light at the entrance to the building</li> </ul>	<ul style="list-style-type: none"> <li>• The Traffic Impact Assessment (TIA) demonstrates that no further upgrades are required</li> </ul>
<p>Adjacent Properties</p> <ul style="list-style-type: none"> <li>• Concerns on negative impacts on land values</li> </ul>	<ul style="list-style-type: none"> <li>• The proposed development is high quality residential infill that will bring a different mix and quality of housing to the area. The increase in zoning will provide an increase to the land value.</li> </ul>

# Introduction

The City of Maple Ridge typically requires that a Development Information Meeting be held between first and second reading of the zoning bylaw as part of the rezoning process. Due to the COVID-19 pandemic, The Development Information Meeting policy was replaced with the interim PCO. The purpose of the PCO is to share knowledge of the proposed rezoning and collect feedback from the public that will inform decision making. The PCO allowed interested stakeholders a meaningful opportunity to understand the project better and have their ideas and concerns heard.

## Process

WestUrban worked with the Maple Ridge Planning Department to ensure alignment with the interim policy. It was agreed that the PCO would occur between April 4, 2022 and April 14, 2022. These dates allowed Maple Ridge staff sufficient time to prepare for the next Council meeting, while also ensuring that the advertising and mail out could be done in advance of the 10-day PCO timeframe. Details of the schedule are shown in Figure 1.

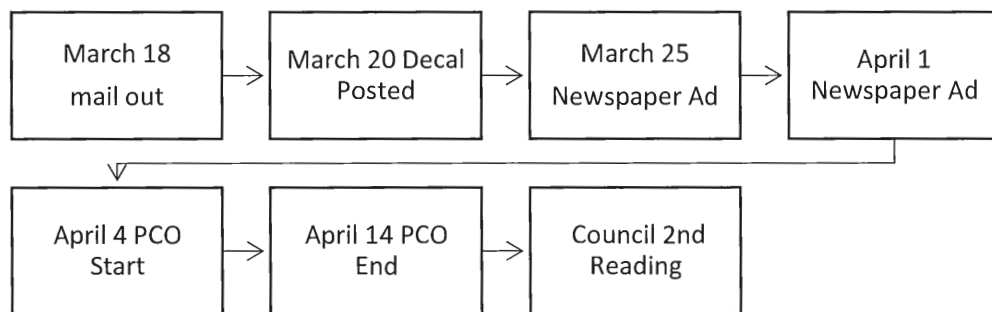


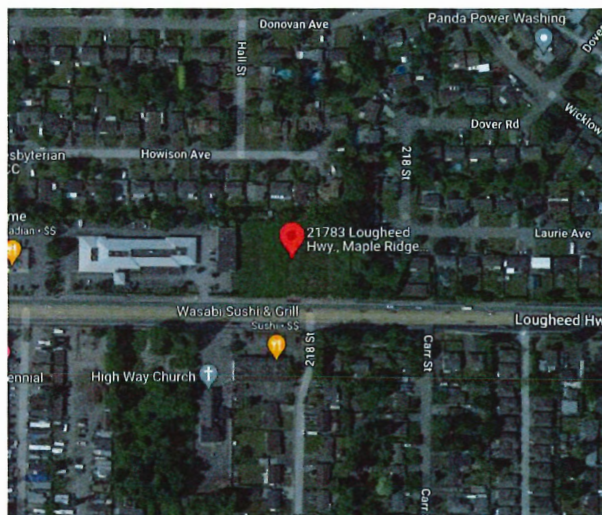
Figure 1 Timeline/Schedule

Rezoning applications usually contain materials such as detailed site and project information, technical analysis, professional reports and site plans. This following information was made available as required and detailed in the interim PCO policy:

- Site Plan showing:
  - Proposed zoning;
  - Building envelope;
  - Proposed variances; and
  - Road network and parking provision;
- Park dedication and green spaces;

- Amenities including common activity area and open space;
- Architectural and landscape plans, as outlined in Schedule D of the Maple Ridge Development Procedures Bylaw No. 5879 1999;
- Excerpts of Zoning Bylaw and Official Community Plan materials; and
- Supporting professional reports.

WestUrban mailed out 120 letters in early March 2022 to inform the recipients of the upcoming PCO. The letters were mailed to the property owners and residents within 100 metres of the development property; the approximate area is shown in Figure 2. The addresses and mailing labels were provided by the Maple Ridge Planning Department.



*Figure 2 Approximate Mail Out Area*

The letter (Attachment 1) contained the items as details in the interim policy. Including:

- The application rezoning number;
- The development site property address(es);
- A map showing the location of the development site;
- The purpose of the application;
- The dates of the 10-day Public Comment Opportunity;
- An invitation to obtain further information (material available through the PCO);
- The Planning Department's contact information; and
- A Disclaimer.

WestUrban also included the site plan, landscape plan, building rendering, parkade and floors plans in the letter to provide a bit more upfront detail. This additional information was provided to facilitate questions and comments about the proposed development, without the need to contact the City or WestUrban for the basic information such the current and proposed zoning, number of units, lot size and requested variances.

A notification decal (Figure 3) was added to the development sign to ensure drivers or pedestrians passing the site would be informed of the upcoming PCO.

Advertisements were placed in the local Maple Ridge-Pitt News to notify the broader community of Maple Ridge. The development advertisement was published in two consecutive publications on March 25, 2022 and April 1, 2022. Figure 4 shows the details of the publication.

Figure 3 Development Sign - Notification Decal

DEVELOPMENT APPLICATION		21783 Lougheed Highway NO. 2021-061-RZ	
<b>PROPOSED REZONING</b> To rezone from O-3 Community Commercial to B-7 (Lougheed Transit Corridor) High Density Mixed Use. The zone has an maximum height of 4 storeys with no height maximum. The proposal is for a 121 residential apartment units and 6750sq.m. (7263 sq.ft) of commercial space. FM: 1.55 Acres, 4 to 6 Office Community Plan (OCP), Commercial <small>(Owner consent and appropriate and change before final approval)</small>	<b>LOCATION</b> 	<b>PROPOSED BUILDING</b> 	<b>FOR MORE INFO</b> <b>APPLICANT:</b> WestUrban Developments Ltd. P: 250-914-8485 E: neighbours@westurban.ca W: westurban.ca <b>PLANNING DEPARTMENT:</b> P: 604-467-7341 E: planning@mapleridge.ca W: www.mapleridge.ca E: 604-467-7341 E: 604-467-7341
<b>REPORT OF THE PROCESS</b> Opportunity to comment from April 4, 2022 to April 14, 2022		For information and to provide comments: neighbours@westurban.ca 250-914-8485	

Figure 4 Publication in Maple Ridge-Pitt News

### Public Comment Opportunity for Proposed Development

You are invited to participate in a Public Comment Opportunity where representatives from *WestUrban Developments Ltd.* are available by email or phone to provide details on Rezoning Application (2021-061-RZ) and Development Permit Application (2021-061-OP).

**PUBLIC COMMENT OPPORTUNITY PERIOD:**  
April 4 - 14, 2022

**EMAIL OR CALL FOR INFO & TO PROVIDE COMMENTS:**  
neighbours@westurban.ca  
250-914-8485



The purpose of the application is to develop 21783 Lougheed Highway into a mixed-use building with 121 residential units and commercial space. The intent of this Public Comment Opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

Your thoughts are important to us. If you would like information regarding this proposal, please contact [neighbours@westurban.ca](mailto:neighbours@westurban.ca), 250-914-8485, or the City of Maple Ridge Planning Department, at 604-467-7341.



# Summary of Feedback

From the 120 letters mailed to the community and the advertisements in two publications of the Maple Ridge-Pitt newspaper, eight responses comprised of eighteen comments were received. Detailed of these responses are included in Attachment 2. Their concerns mainly focused on:

- Transportation: Vehicles (mentioned 3 times), traffic (mentioned 1 time), traffic light (mentioned 1 time)
- Building Form and Design: building height (mentioned 2 times), density (mentioned 2 times); and
- Impact on Adjacent Properties: Privacy (mentioned 3 times), protection of natural areas (mentioned 2 times), land values (mentioned 1 time).
- Commercial Use (mentioned 1 time)

Community Concerns	Addressing the Concerns
<b>Transportation</b>	
<b>Traffic/Vehicles</b> Concerns about future lane connecting additional traffic to the neighbourhood from Lougheed Highway	There is no lane being proposed from Lougheed Highway into the existing neighbourhood.
<b>Traffic Light</b> Request to install a traffic light in front of the development	The Traffic Impact Assessment (TIA) demonstrates that no further upgrades are required
<b>Building Form and Design</b>	
<b>Building Height</b> Concerns that the proposed building has too many storeys for the character of the neighbourhood as there are only single and two storey homes surrounding the building.	WestUrban Developments has proposed a detailed landscaping plan that includes a 6-foot privacy fence and tall, generous shrubs to screen adjacent properties from the proposed development.  The L-shaped building layout and the generous setbacks allow for more privacy
<b>Density</b> Concerns that the proposed number of units is too many for the character of the neighbourhood as there are primarily low-density	The proposed development will support many of the recommendations in the draft "Lougheed Transit Corridor Concept Plan" including locating higher - density residential along "high-streets" in mixed commercial zones, creating an attractive street scape. The OCP policies support the development of a variety



developments surrounding the building.	housing types, including apartments. The proposed development is located along a major corridor (Lougheed Highway) and are along a bus route(s). The unit sizes will include studios, 1-bedrooms, and 2-bedrooms to accommodate a variety of income and family sizes.
<b>Impact on Adjacent Properties</b>	
<b>Land Values</b> The proposed building will de-value the neighbouring properties.	The proposed development is high quality residential infill that will bring a different mix and quality of housing to the area. The increase in zoning will provide an increase to the land value resulting in an increase in property tax assessed value that can be used for operations or maintenance of new and existing infrastructure.
<b>Privacy</b> Neighbour expressed concern about privacy being impacted due to the scale and height of the proposed building.	WestUrban Developments has proposed a detailed landscaping plan that includes a 6-foot privacy fence and tall, generous shrubs to screen adjacent properties from the proposed development.  The L-shaped building layout and the generous setbacks allow for more privacy
<b>Commercial space</b> <b>Use of space</b> Adjacent hotel asked about the planned use for commercial space	The commercial space will be used as per the permitted use according to the amalgamated Zoning By-Law



June 8, 2021

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attention: Rene Tardif

Dear Ms. Tardif:

Re: File #: 2021-061-RZ  
Legal: D.L.: 247, Plan: EPP73031  
Location: 21783 Lougheed Highway  
From: C-2 (Community Commercial)  
To: C-7 (Lougheed Transit Corridor High Density Mixed-Use)

The proposed application would affect the student population for the catchment areas currently served by Glenwood Elementary and Maple Ridge Secondary School.

Glenwood Elementary has an operating capacity of 383 students. For the 2020-21 school year the student enrolment at Glenwood Elementary is 361 students (94% utilization) including 76 students from out of catchment.

Maple Ridge Secondary School has an operating capacity of 1300 students. For the 2020-21 school year the student enrolment at Maple Ridge Secondary School is 1165 students (89.6% utilization) including 467 students from out of catchment and 280 French Immersion students.

Sincerely,

Flavia Coughlan  
Secretary Treasurer

The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Rick Delorme  
David Vandergugten



**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **First and Second Reading**  
**Official Community Plan Amending Bylaw No. 7607-2020**  
**Second Reading**  
**Zone Amending Bylaw No. 7608-2020**  
**24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue**

**MEETING DATE:** June 21, 2022  
**FILE NO:** 2019-426-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties, located at 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue, from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential), to permit the future construction of approximately 165 townhouse units. Council granted first reading to *Zone Amending Bylaw No. 7608-2020* and considered the early consultation requirements for the Official Community Plan amendment on March 10, 2020.

This application is in compliance with the endorsed North East Albion Area Plan, which designates the properties for *Townhouse* use. This application requires an amendment to the Official Community Plan to re-designate the land use from *Low/Medium Density Residential* to the *Townhouse* use, as proposed in the North East Albion Area Plan. An Official Community Plan amendment is also required to designate the area around the watercourse (KA6) and the steeply sloped area as *Conservation*.

Pursuant to Council Policy 6.31, this application will be subject to the Community Amenity Contribution (CAC) Program at the rate applicable at the time this application receives third reading.

**RECOMMENDATIONS:**

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7607-2020* on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7607-2020* be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
3. That it be confirmed that *Official Community Plan Amending Bylaw No. 7607-2020* is consistent with the Capital Expenditure Plan and Waste Management Plan;
4. That *Official Community Plan Amending Bylaw No. 7607-2020* be given first and second reading and forwarded to Public Hearing;

5. That the development be permitted to have 31% tandem units, an increase of 1 unit, over the 30% allowed in Council Policy 6.35 - Tandem Parking Garage Units Within Townhouse Developments;
6. That the No Build Covenant CA9029534 be released from 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue to allow for the proposed townhouse development;
7. That the blanket Statutory Right-of-Way CA9029528 be released from 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue to allow for the proposed townhouse development as the required servicing corridor is to be dedicated as park;
8. That the Rezoning Servicing Agreement and Restrictive Covenant CA9029526 and the Geotechnical Restrictive Covenant CA9029530 be released from 24989 112 Avenue, to be replaced with new Restrictive Covenants related to the townhouse development;
9. That *Zone Amending Bylaw No. 7608-2020*, as amended, be given second reading and forwarded to Public Hearing;
10. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Amendment to Official Community Plan Schedule "A", Chapter 10.2 Albion Area Plan, Schedule 1: Albion Area Plan, Figure 1: Northeast Albion and Schedule "C";
  - iii) Road dedication on 112 Avenue, as required;
  - iv) Park dedication as required, including construction of walkways, multi-purpose trails, or emergency access roads; and removal of all debris and garbage from park land;
  - v) Consolidation of the subject properties;
  - vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
  - vii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
  - viii) Registration of a Restrictive Covenant for Stormwater Management;
  - ix) Removal of existing buildings;
  - x) Notification to the Department of Fisheries and Oceans and the Ministry of Environment for in-stream works on the site;
  - xi) A Professional Engineer's certification that adequate water quantity for domestic and fire protection purposes can be provided;
  - xii) If the Director of Waste Management from the Ministry of Environment determines that a site investigation is required based on the submitted Site Disclosure Statement, a rezoning,



development, or development variance permit cannot be approved until a release is obtained for the subject properties;

- xiii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;
- xiv) That a Density Bonus Contribution be provided equivalent to the total number of units times \$3,100.00 for a project having floor space ratio greater than 0.6, but less than 0.75; and
- xv) That a voluntary contribution be provided in keeping with the Council Policy 6.31, with regard to Community Amenity Contributions, at the rate applicable at the time this application receives third reading.

## DISCUSSION:

### 1. Background Context:

Applicant: EPIC NE Albion Homes Ltd.

Legal Descriptions: Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
Lot A Section 14 Township 12 New Westminster District Plan 72158;  
Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

OCP:  
Existing: Low/Medium Density Residential  
Proposed: Townhouse and Conservation

Zoning:  
Existing: RS-3 (Single Detached Rural Residential)  
Proposed: RM-1 (Low Density Townhouse Residential)

Surrounding Uses:  
North: Use: Kanaka Creek Regional Park  
Zone: RS-3 (Single Detached Rural Residential)  
Designation: Park and Park within the ALR  
South: Use: Single Family Residential  
Zone: RS-3 (Single Detached Rural Residential)  
Designation: Low/Medium Density Residential (the draft North East Albion Land Use and Servicing Concept Plan designates it as Townhouse)

East:	Use:	Conservation and Single Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Conservation and Single Family
West:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low/Medium Density Residential (the draft North East Albion Land Use and Servicing Concept Plan designates it as Townhouse)
Existing Use of Properties:		Single-Family Residential
Proposed Use of Properties:		Multi-Family Residential
Site Area:		3.67 ha (9.1 acres)
Access:		112 Avenue
Servicing requirement:		Urban Standard

## 2. Site Characteristics and Project Description:

The subject properties, located at 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue, are located on the north side of 112 Avenue, at the end of Lockwood Street (see Appendices A and B). There are currently single family homes on the properties, with some steep slopes and a watercourse.

The applicant is proposing to rezone the subject properties from the RS-3 (Single Detached Rural Residential) zone to develop approximately 165 townhouse units under the RM-1 (Low Density Townhouse Residential) zone. Out of the 165 units, 34 are four-bedroom units, 80 are three-bedroom units, and 51 are two-bedroom (tandem garage) units.

## 3. Planning Analysis:

### i. Official Community Plan

The subject properties are located within the North East Albion Area Plan and are currently designated *Low/Medium Density Residential* in the Albion Area Plan, but are shown as *Townhouse* in the North East Albion Land Use and Servicing Concept Plan. This application is moving in advance of the North East Albion Official Community Plan (OCP) amendment; however, the proposed use is in keeping with the designation shown in the North East Albion Land Use and Servicing Concept Plan. An OCP amendment will be required to re-designate the properties to *Townhouse* to allow the proposed multi-family development and the remaining areas of the northern and eastern portions of the properties as *Conservation* adjacent to Kanaka Creek Regional Park (see Appendix C).

The *Townhouse* designation is intended to accommodate urban townhouses in areas with access to major circulation routes, commercial areas, and public amenities. The proposed townhouse developments are in close proximity to amenities and services, where residents can walk or bike, rather than drive their vehicles. Typical townhouse developments may consist of primarily two to three-storey buildings that house multiple dwelling units and provide some form of indoor and outdoor amenity spaces. These developments will feature private strata parking. Stacked townhouses up to three-storeys are permitted along arterial roads, adjacent to commercial nodes, with surface or underground parking. 112 Avenue will be considered a minor arterial road and a potential Park site is proposed to be located to the south of the subject properties, on the south-east corner of 112 Avenue and Lockwood Street (under application 2020-237-RZ).

There are significant tree clusters identified along the northern boundary of the subject properties, adjacent to Kanaka Creek Regional Park, and a multi-use trail is proposed to run along the northern end of the subject properties, within the dedicated Park area.

Development in North East Albion must be designed to buffer and protect watercourses in order to preserve and improve the water quality and quantity within the watercourses and subsequently in Kanaka Creek and its tributaries. *Conservation* areas around the watercourses and to Kanaka Creek Regional Park to the north are proposed with this development. This proposed townhouse development is consistent with the proposed land use designation within the North East Albion Area Plan.

ii. **Zoning Bylaw**

The application proposes to rezone the subject properties from the RS-3 (Single Detached Rural Residential) zone to develop approximately 165 townhouse units under the RM-1 (Low Density Townhouse Residential) zone (see Appendix D). The RM-1 (Low Density Townhouse Residential) zone allows for a floor space ratio (FSR) of 0.6; however a density bonus up to a maximum of 0.75 may be permitted for a contribution rate of \$3,100 per unit up to an FSR of 0.75. This development has a proposed FSR of 0.69, therefore a density bonus contribution will be required.

Out of the proposed 165 units, 51 units are intended to have tandem parking, with one enclosed parking space and one parking space on the driveway apron. This ratio works out to 31%, which is just over the 30% recommended in *Council Policy 6.35 – Tandem Parking Garage Units Within Townhouse Developments*. Up to 50% tandem parking may be permitted by the Director of Planning, if there are geotechnical, watercourse, or natural features impacting the developable area of the properties and if there is on-street parking available. As there is no on-street parking available in the area, Council is required to determine if they would like to approve the additional tandem parking unit, as noted in the Recommendations.

The proposed 165 units are to be developed within 34 blocks and built out over approximately seven phases, with the indoor amenity building being constructed in the fifth phase. An amendment to the RM-1 (Low Density Townhouse Residential) zone has been added to *Zone Amending Bylaw No. 7608-2020*, to allow for a taller amenity building to provide the required Indoor Amenity Area, with appropriate setbacks which are proposed to be 7.5m (24.6 ft.). The Indoor Amenity Building for this development is proposed to be 8.4m (27.6 ft.) in height, with a minimum setback of 7.6m (24.9 ft.) from the nearest townhouse block.

Any variations from the requirements of the proposed zone will require a Development Variance Permit application, as discussed below.

iii. **Off-Street Parking and Loading Bylaw**

The *Off-Street Parking and Loading Bylaw No. 4350-1990* requires two parking spaces per dwelling unit, plus 0.2 parking spaces per dwelling unit designated for visitor parking. Based on 165 units, 330 parking spaces are required for the residents, with an additional 33 spaces required for visitor parking, and five accessible parking spaces. The development is meeting the parking requirements of the *Off-Street Parking and Loading Bylaw*, with an additional 17 visitor parking spaces provided, for a total of 50 visitor parking spaces.

#### iv. Proposed Variances

A Development Variance Permit application has been received for this project and involves several relaxations based on the current bylaws. It should be noted that the application had first reading under the previous *Zoning Bylaw No. 3510-1985* and before the *Off-Street Parking Bylaw No. 4350-1990* was amended with minimum internal garage dimensions and minimum apron parking dimensions, therefore the application is deemed to be grandfathered and was not required to meet the current regulations based on the detailed design that is required between first and second reading. In order to be consistent between the current and previous regulations, the variances are described below according to the current regulations (see Appendix E):

##### a) **Off-Street Parking and Loading Bylaw No. 4350-1990:**

- Part IV Off-Street Parking Design, 4.1 vii) For Townhouse units with an enclosed single-car parking garage in tandem configuration in the RM-1 zone:
  - to reduce the minimum driveway apron width from 3.0 m (9.8 ft.) to 2.8 m (9.2 ft.) in width;
  - to reduce the internal finished garage dimensions from 3.7 m (12.1 ft.) in width to 3.0 m (9.8 ft.)
  - to reduce the internal finished garage dimensions from 6.7 m (22.0 ft.) in length to 6.2 m (20.3 ft.);
- Part IV Off-Street Parking Design, 4.1 viii) a) For Townhouse units with an enclosed double-car parking garage in a side-by-side configuration in the RM-1 zone:
  - to reduce the internal finished garage dimensions from 6.5 m (21.3 ft.) in width to 5.6 m (18.4 ft.) for A units, and to 5.0 m (16.4 ft.) in width for B units;
  - to reduce the internal finished garage dimensions from 6.7 m (22.0 ft.) in length to 5.7 m (18.7 ft.) for A units, and to 5.8 m (19.0 ft.) for B units.

##### b) **Zoning Bylaw No. 7600-2019:**

- Part 4 – General Regulations, Section 405 Landscaping and Fencing Regulations
  - To reduce the minimum required percentage of permeable area for any Residential zoned lot from 40% to 38.4%.
- Part 4 – Residential Zones, Section 617 RM-1 Low Density Townhouse Residential
  - To reduce the minimum **front yard setback** (112 Avenue) from 7.5 m (24.6 ft.) to 5.03 m (16.5 ft.) to the deck and 4.68 m (15.4 ft.) to the roof overhang, and to 6.0 m (19.7 ft.) to the building face;
  - To reduce the minimum **rear yard setback** from 7.5 m (24.6 ft.) to:

Block Number	Setback to Building Face	Setback to Deck	Setback to Eaves	Setback to Bay Window
10	5.00m (16.4 ft.)	4.41m (14.5 ft.)	3.95m (13.0 ft.)	4.61m (15.1 ft.)
11	5.00m (16.4 ft.)	NA	4.53m (14.9 ft.)	NA
14	5.00m (16.4 m)	4.41m (14.5 ft.)	3.98m (13.1 ft.)	4.93m (16.2 ft.)
15	5.00m (16.4 ft.)	4.43m (14.5 ft.)	4.30m (14.1 ft.)	4.84m (15.9 ft.)
17	3.27m (10.7 ft.)	4.56m (15.0 ft.)	2.31m (7.6 ft.)	2.98m (9.8 ft.)
23	4.60m (15.1 ft.)	4.84m (15.9 ft.)	3.38m (11.1 ft.)	4.12m (13.5 ft.)
24	5.00m (16.4 ft.)	4.41m (14.5 ft.)	4.32m (14.2 ft.)	4.82m (15.8 ft.)



- To reduce the minimum **interior yard setback** from 7.5 m (24.6 ft.) to:

Block Number	Setback to Building Face	Setback to Deck	Setback to Eaves	Setback to Bay Windows
25 (west)	5.00m (16.4 ft.)	4.43m (14.5 ft.)	4.37m (14.3 ft.)	4.83m (15.8 ft.)
26 (west)	5.00m (16.4 ft.)	4.34m (14.2 ft.)	4.40m (14.4 ft.)	NA
29 (west)	5.00m (16.4 ft.)	4.72m (15.5 ft.)	4.37m (14.3 ft.)	NA
30 (west)	5.00m (16.4 ft.)	5.05m (16.6 ft.)	4.49m (14.7 ft.)	NA
31 (west)	4.73m (15.5 ft.)	3.78m (12.4 ft.)	3.90m (12.8 ft.)	4.50m (14.8 ft.)
7 (east)	5.00m (16.4 ft.)	4.49m (14.7 ft.)	4.29m (14.1 ft.)	4.81m (15.8 ft.)
9 (east)	5.00m (16.4 ft.)	4.50m (14.8 ft.)	4.29m (14.1 ft.)	4.82m (15.8 ft.)

- To increase the number of attached units in one block from six up to seven attached units for proposed Blocks 1, 5, 20, 32, 33, 34; and up to eight attached units for proposed Block 2.

The requested variances will be the subject of a future report to Council.

#### **v. Development Permits**

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses. The Development Permit will be the subject of a future report to Council; however, Building Elevations and Landscape Plans have been attached to this report (see Appendices F and G).

Pursuant to Sections 8.9 and 8.10 of the OCP, a Watercourse Protection and Natural Features Development Permit application has been received to ensure the preservation and protection of the natural environment of Kanaka Creek and its tributaries. The developer will provide restoration, enhancement and replanting works as required, and a security will be taken as a condition of the issuance of the Development Permit. Adherence of this project to the guidelines will be the subject of a future report to the Director of Planning, to ensure that the Development Permit Area guidelines are met.

#### **vi. Advisory Design Panel**

The application was reviewed by the Advisory Design Panel (ADP) at a meeting held on February 16, 2022 and their comments and the applicant's responses can be seen in Appendix H. A detailed description of the projects form and character will be included in a future Development Permit report to Council.

**vii. Development Information Meeting**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between March 5 and March 24, 2022. The required date range was extended to account for the School District's Spring Break, providing an extra week for comment, to allow residents time to respond prior to the Spring Break beginning.

A summary of the main comments and discussions with the attendees was provided by the applicant (see Appendix I). The public will have an additional opportunity to provide comments at the Public Hearing, should Council forward this report.

**4. Interdepartmental Implications:**

**i. Engineering Department**

The Engineering Department has indicated that the following servicing upgrades will be required through a Rezoning Servicing Agreement:

- a) Road dedication as required to meet the design criteria of the *Subdivision and Development Services Bylaw No. 4800-1993*.
- b) Utility servicing as required to meet the design criteria of the *Subdivision and Development Services Bylaw No. 4800-1993*.
- c) Frontage upgrades to the applicable road standard.

**ii. Parks, Recreation and Culture Department**

A multi-use gravel trail is to be provided above the sanitary sewer service along the north end of the development. Access points to the trail are provided from the common areas of the strata.

**iii. License, Permits and Bylaws Department**

Preliminary comments on the building designs were provided to the applicant to be addressed at the Building Permit stage. Site addressing will also be addressed at the Building Permit stage. A geotechnical report and Stormwater Management Plan will be required to be registered on Title.

**iv. Fire Department**

The Fire Department provided their requirements for access design, fire safety plans, and private hydrant requirements.

## **5. Intergovernmental Issues:**

### **i. Environmental Implications**

There are two un-named watercourses (KA5.5 and KA6) and a pond identified on the subject properties, which have been identified as permanent, non-fish bearing watercourses, requiring a 15m (49.2 ft.) setback from the top of bank (see Appendix J). The habitat loss for the sanitary sewer and trail is compensated for with habitat enhancements, resulting in a net habitat gain of 1,003m<sup>2</sup> (10,797 ft<sup>2</sup>) (see Appendix K).

The storm sewer outfalls, the daylighting of the pipe between the pond and KA5.5 with sanitary sewer and trail crossings, and the enhancement of KA6 will require authorizations under the provincial Water Sustainability Act (WSA) and a Request for Project Review to the Department of Fisheries and Oceans. The crossing of Kanaka Creek by the sanitary force-main and clear-span trestle will require WSA authorization, as will the relocation of the road-side ditch on the north side of 112 Avenue for the proposed sanitary sewer pump station. The Provincial and Federal authorizations will be requirements of the Watercourse Protection and Natural Features Development Permit.

### **ii. Agricultural Impact**

The lands to the north of this development are within the Agricultural Land Reserve (ALR). The Agricultural Land Commission reviewed the proposed development and had no objection to the proposed development as the ALR boundary is within the Kanaka Creek Regional Park.

### **iii. School District No. 42 Comments**

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 and the following comments were provided:

*The proposed application would affect the student population for the catchment areas currently served by ċəsqənelə Elementary and Garibaldi Secondary School.*

*ċəsqənelə Elementary has an operating capacity of 611 students. For the 2019-20 school year the student enrolment at ċəsqənelə Elementary was 450 students (74% utilization) including 106 students from out of catchment.*

*Garibaldi Secondary School has an operating capacity of 1050 students. For the 2019-20 school year the student enrolment at Garibaldi Secondary School was 898 students (86% utilization) including 272 students from out of catchment.*

### **v. Metro Vancouver**

As Metro Vancouver has been involved in the North East Albion Area Planning Process, a referral on this townhouse development application was sent to Metro Vancouver. Metro Vancouver requested that a post-and-rail fence be provided along the northern edge of the trail, which is being provided, and that some of the re-planting tree species be revised, which is also being accommodated.

### **vi. Local Government Act**

An amendment to the OCP requires the Local Government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, to change the land use designation to *Townhouse*, has been reviewed by the affected parties when the North East Area Plan was reviewed. This designation is consistent with the North East Albion Area Plan. The amendment for the

Conservation areas is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

## **7. Citizen Implications:**

In addition to the Public Comment Opportunity discussed above, the North East Albion Land Use and Servicing Concept Planning Process included an extensive engagement process to gain insights from landowners and residents, including pop-up stands with planners, stakeholder meetings, landowner workshops, technical design charrettes, two open houses and community surveys. The resulting North East Albion Land Use and Servicing Concept Plan was endorsed by Council on October 1, 2019.

## **CONCLUSION:**

It is recommended that first and second reading be given to *OCP Amending Bylaw No. 7607-2020*, that second reading be given to *Zone Amending Bylaw No. 7608-2020*, as amended, and that application 2019-426-RZ be forwarded to Public Hearing.

“Original signed by Michelle Baski”

---

*Prepared by:* **Michelle Baski, ASCT, MA**  
**Planner**

“Original signed by Charles Goddard”

---

*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

“Original signed by Scott Hartman”

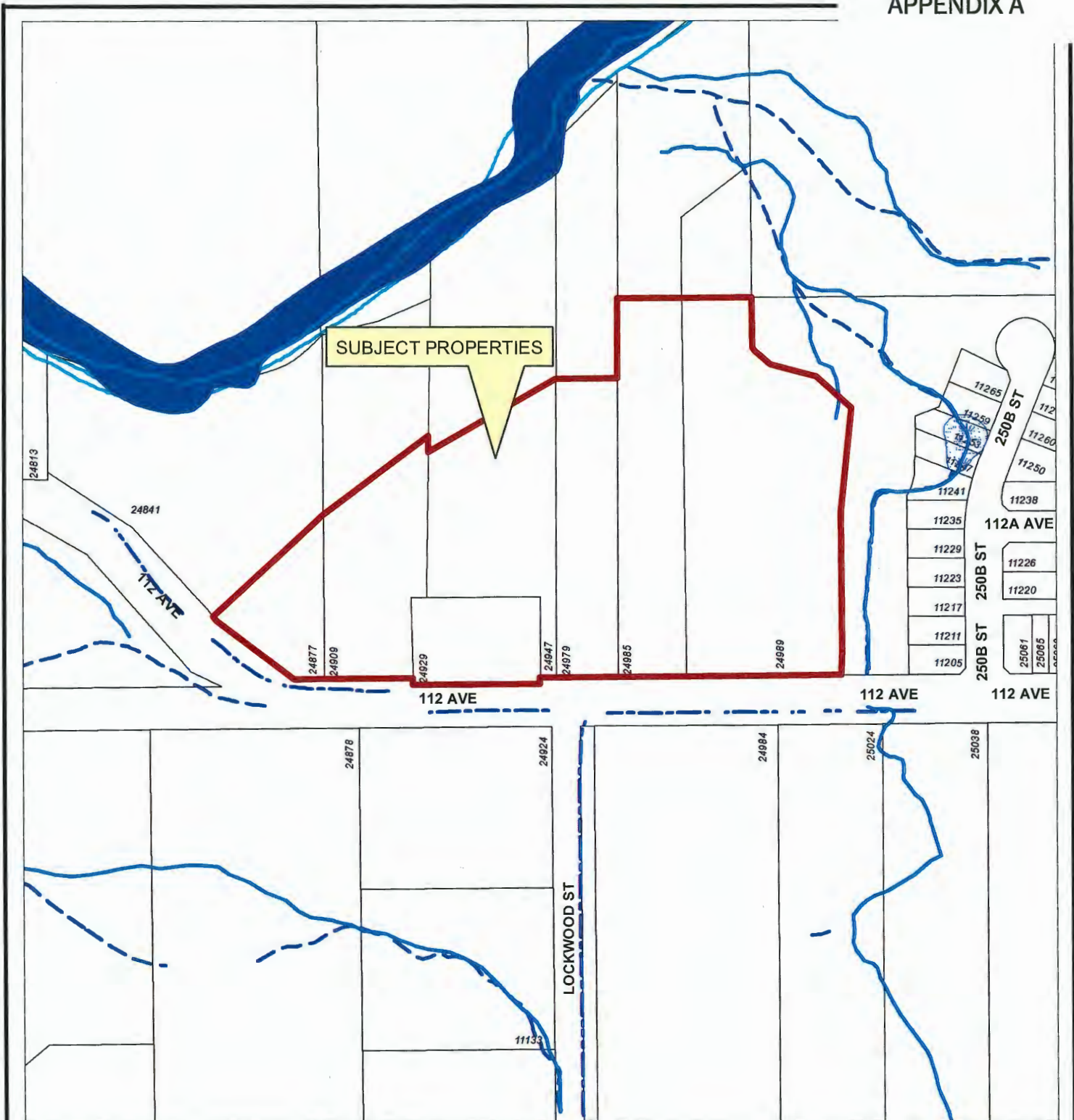
---

*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – OCP Amending Bylaw No. 7607-2020  
Appendix D – Zone Amending Bylaw No. 7608-2020  
Appendix E – Site Plan  
Appendix F – Example Building Elevations and Streetscape  
Appendix G – Landscape Plan  
Appendix H – Advisory Design Panel Comments  
Appendix I – Public Comment Opportunity Summary  
Appendix J – Environmental Setback Map  
Appendix K – Habitat Compensation Plan





Scale: 1:2,500

### Legend

- Stream
- - - Ditch Centreline
- Edge of River
- - - Edge of Marsh
- Indefinite Creek
- [Marsh Symbol] Marsh
- [River Symbol] River
- Major Rivers & Lakes

24877 & 24909/29/47/79/85/89 112 AVENUE  
 PID'S:000-788-121, 004-513-371,  
 007-420-994, 001-432-168, 005-483-841,  
 001-430-467 & 031-552-048

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-426-RZ/DP  
 DATE: Jan 31, 2022

BY: AH





Aerial Imagery from the Spring of 2020



Scale: 1:2,500



24877 & 24909/29/47/79/85/89 112 AVENUE  
PID'S:000-788-121, 004-513-371,  
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001-430-467 & 031-552-048

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

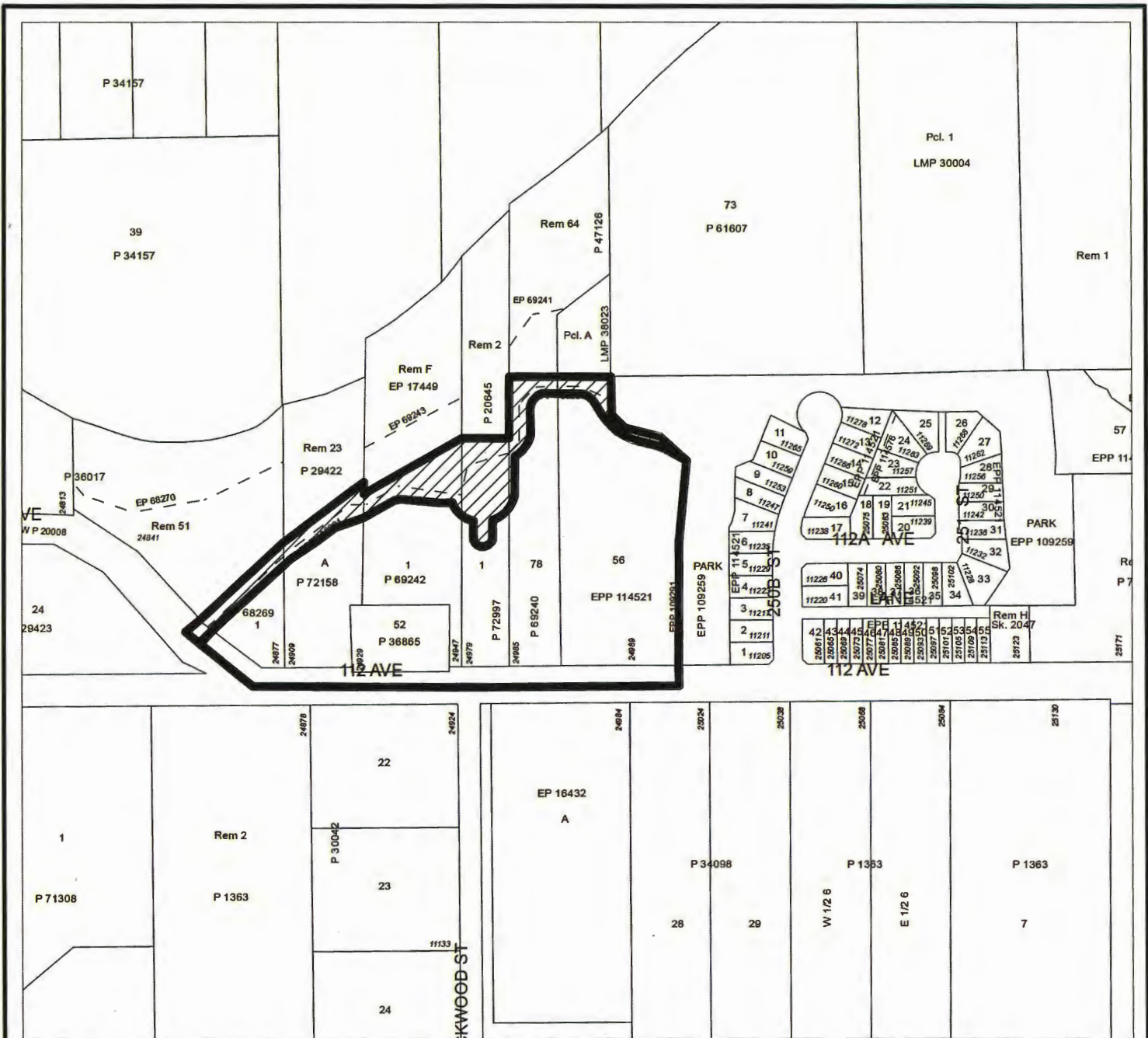
[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-426-RZ/DP  
DATE: Jan 31, 2022

BY: AH



CORPORATE OFFICER



# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7607-2020

Map No. 1014

Purpose: To Amend Albion Area Plan Schedule 1 and Figure 1

From: Low/Medium Density Residential

To:  Townhouse

 Conservation



SCALE 1:3,500





**CITY OF MAPLE RIDGE  
BYLAW NO. 7608-2020**

A Bylaw to amend Schedule 'A' Zoning Map forming part of  
Zoning Bylaw No. 7600-2019, as amended

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019, as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7608-2020."
2. Those parcels or tracts of land and premises known and described as:

Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
Lot A Section 14 Township 12 New Westminster District Plan 72158;  
Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

and outlined in heavy black line on Map No. 1823 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-1 (Low Density Townhouse Residential).

3. That Section **617.7 Setbacks** be amended by adding in Point 3. e. below:  
  
3.e. for an Accessory Structure for an Indoor Amenity Area, the structure shall be set back a minimum of 7.5m from a Principal Building or Principal Structure, if it is not attached to a Principal Building or Structure.
4. That Section **617.8 Height** be amended by adding in Point 4 below and re-numbering in correct sequential order:  
  
4. Building Height for Accessory Buildings and Accessory Structures used for an Indoor Amenity Area shall not exceed 9.5 metres.
5. Maple Ridge Zoning Bylaw No. 7600-2019, as amended, and Map 'A' attached thereto are hereby amended accordingly.

**READ** a first time the 10<sup>th</sup> day of March, 2020.

**READ** a second time, as amended, the                      day of                      , 20

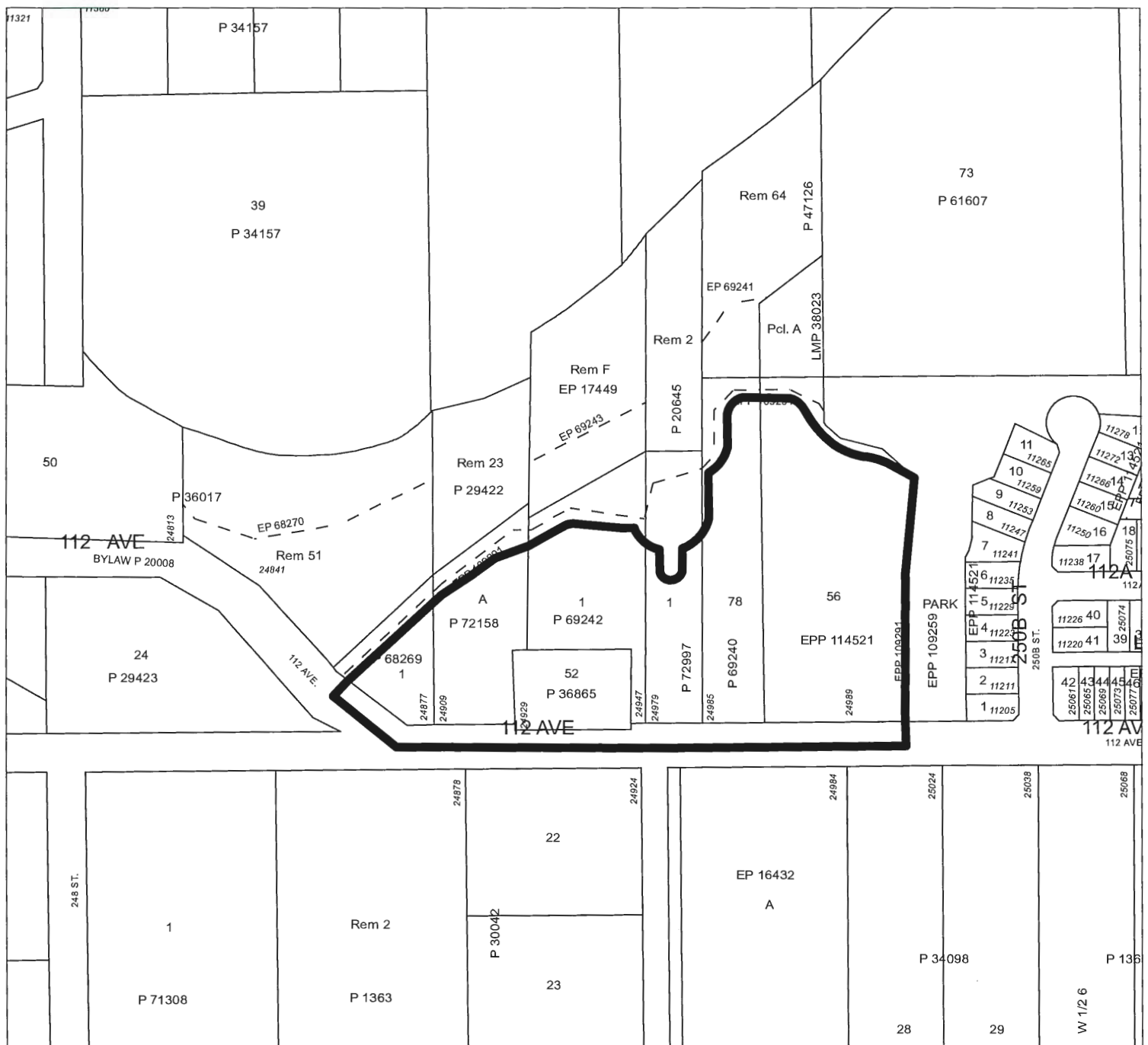
**PUBLIC HEARING** held the                      day of                      , 20

**READ** a third time the                      day of                      , 20

**ADOPTED**, the                      day of                      , 20

**PRESIDING MEMBER**

**CORPORATE OFFICER**



# MAPLE RIDGE ZONE AMENDING

Bylaw No. 7608-2020

Map No. 1823

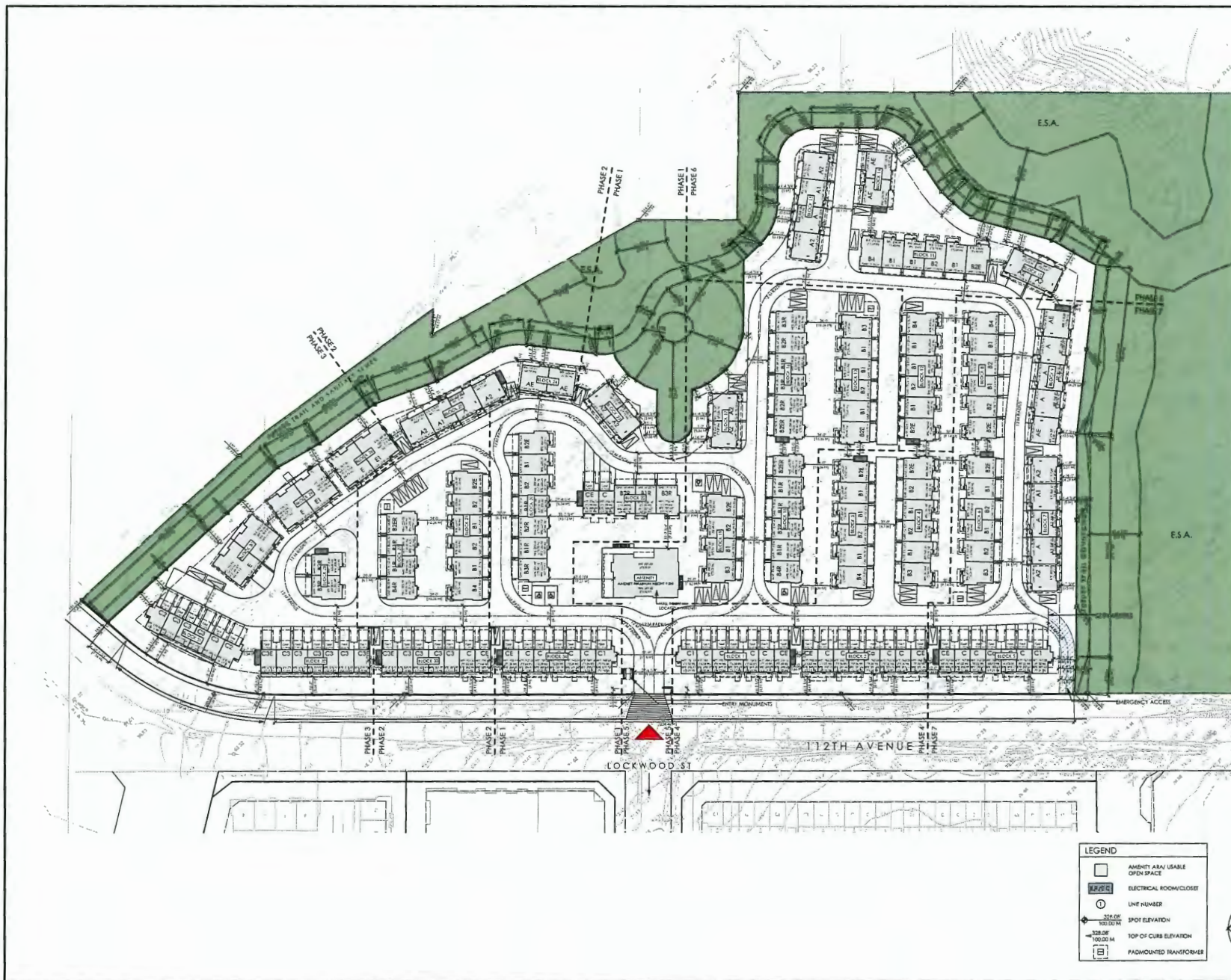
From: RS-3 (Single Detached Rural Residential)

To: RM-1 (Low Density Townhouse Residential)



SCALE 1:3,000





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REVISIONS	
ISSUED FOR REDLINING	FEB 15 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 15 2020
REDESIGNED FOR DEVELOPMENT PERMIT	MAY 29 2021
REDESIGNED FOR DEVELOPMENT PERMIT	SEP 17 2021
ISSUED FOR ADP	JAN 25 2022
REDESIGNED FOR DEVELOPMENT PERMIT	MAR 16 2022



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PROJECT

**THE FALLS**  
**KANAKA SPRINGS**

112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING

**SITE PLAN**

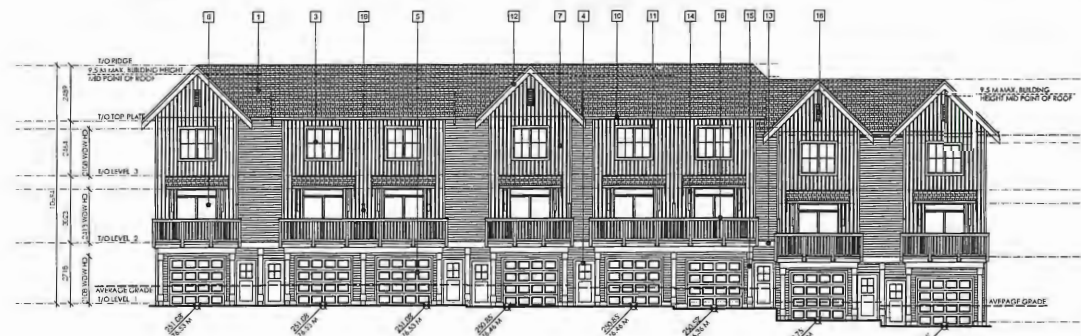
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JOB #	8032

APPENDIX E

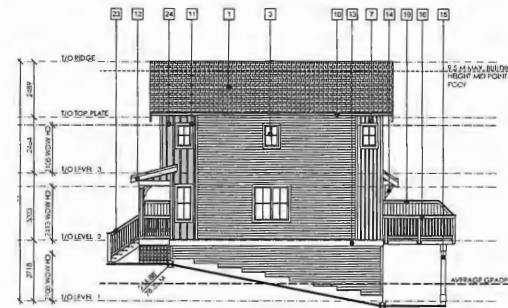




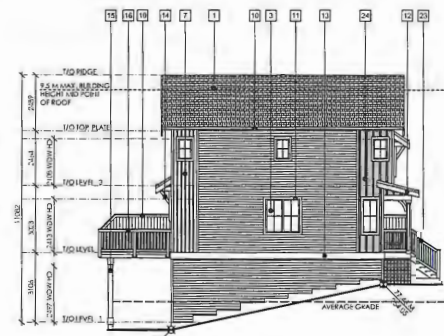
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BUILDING 2



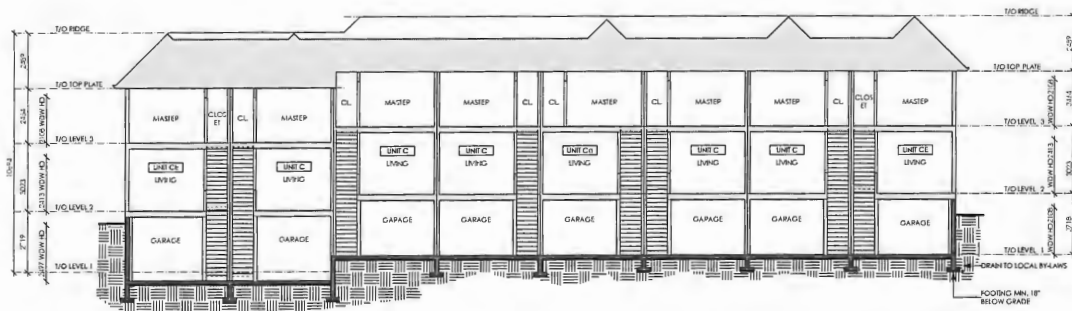
REAR ELEVATION  
BUILDING 2



SIDE ELEVATION  
BUILDING 2



SIDE ELEVATION  
BUILDING 2

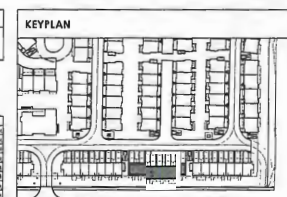


SECTION  
BUILDING 2

BUILDING HEIGHT CALCULATION - UNIT 15	BUILDING HEIGHT CALCULATION - UNIT 14	BUILDING HEIGHT CALCULATION - UNIT 13	BUILDING HEIGHT CALCULATION - UNIT 12	BUILDING HEIGHT CALCULATION - UNIT 11	BUILDING HEIGHT CALCULATION - UNIT 10	BUILDING HEIGHT CALCULATION - UNIT 9	BUILDING HEIGHT CALCULATION - UNIT 8
GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m	GARAGE NORTH EAST 78.42 m NORTH WEST 78.42 m SOUTH EAST 78.42 m SOUTH WEST 78.42 m AVERAGE GRADE 77.42 m MAX. HEIGHT 78.42 m TOP OF GARAGE ELEVATION 78.42 m TOP OF ROOF ELEVATION 78.42 m

FINISH SCHEDULE			
1. FIBROGLASS SHINGLE	7. 4" EXPOSURE VINYL BOARD	13. PAINTED 2X10 BILLY BOARD	19. VERTICAL WOOD SLAT PANELED SCREEN
2. CORRUGATED METAL ROOFING	8. PAINTED FIBRE CEMENT PANEL WITH 1X TRIMS	14. PAINTED WOOD BRACKETS	20. DECORATIVE DOWNER
3. DOUBLE PANELED SEaled UNIT VINYL WINDOWS	9. WOOD WINDOW BOX	15. WOOD CLAD PANEL POST	21. FAUX CHIMNEY
4. INSULATED METAL PANEL DOOR	10. PREFINISHED FASCIA CUTTER	16. ALUMINUM RAISING	22. METAL CHIMNEY CAP
5. PAINTED METAL PANEL ROLL UP GARAGE DOOR	11. PAINTED WOOD TRIM	17. FAUX BARN DOOR	23. PAINTED WOOD RASING
6. DOUBLE PANELED SEaled UNIT VINYL SUGERS	12. PAINTED 2X BARGE BOARD WITH 1X TRIMS	18. DECORATIVE GLOVER	24. PAINTED FIBRE CEMENT BOARD AND BATTENS

LEGEND	
	FIBRE CEMENT BOARD AND BATTEN



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REVISIONS	
ISSUED FOR REVISION	FEB 18, 2025
ISSUED FOR DEVELOPMENT PERMIT	MAY 28, 2025
RE-REQUIRED FOR DEVELOPMENT PERMIT	MAR 29, 2021
RE-REQUIRED FOR DEVELOPMENT PERMIT	SEP 7, 2011
ISSUED FOR ACP	JAN 15, 2022
RE-REQUIRED FOR DEVELOPMENT PERMIT	MAR 14, 2022



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PROJECT  
**THE FALLS KANAKA SPRINGS**  
112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING  
**BUILDING ELEVATIONS**

SCALE	1:100	SHE
JOB #	8032	A

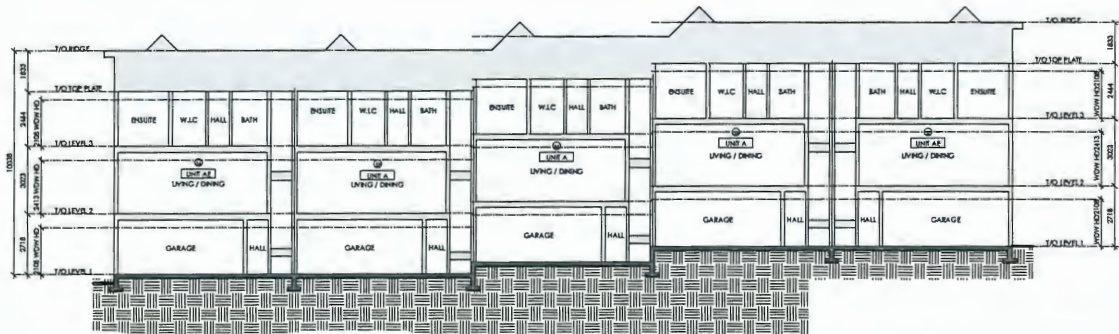




FRONT ELEVATION  
BLOCK 9



REAR ELEVATION  
BLOCK 9



SECTION  
BLOCK 9

BUILDING HEIGHT CALCULATION - UNIT 56

GRADE	73.45M
1/2 LEVEL 1	73.45M
1/2 LEVEL 2	73.45M
1/2 LEVEL 3	73.45M
1/2 ROOF	73.45M
AVERAGE GRADE	73.45M
MAX. HEIGHT (1/2 ROOF)	83.35M
TOP OF ROOF ELEVATION	83.35M
MIN. HEIGHT (1/2 LEVEL 1)	73.45M

BUILDING HEIGHT CALCULATION - UNIT 55

GRADE	73.45M
1/2 LEVEL 1	73.45M
1/2 LEVEL 2	73.45M
1/2 LEVEL 3	73.45M
1/2 ROOF	73.45M
AVERAGE GRADE	73.45M
MAX. HEIGHT (1/2 ROOF)	83.35M
TOP OF ROOF ELEVATION	83.35M
MIN. HEIGHT (1/2 LEVEL 1)	73.45M

BUILDING HEIGHT CALCULATION - UNIT 54

GRADE	73.45M
1/2 LEVEL 1	73.45M
1/2 LEVEL 2	73.45M
1/2 LEVEL 3	73.45M
1/2 ROOF	73.45M
AVERAGE GRADE	73.45M
MAX. HEIGHT (1/2 ROOF)	83.35M
TOP OF ROOF ELEVATION	83.35M
MIN. HEIGHT (1/2 LEVEL 1)	73.45M

BUILDING HEIGHT CALCULATION - UNIT 53

GRADE	73.45M
1/2 LEVEL 1	73.45M
1/2 LEVEL 2	73.45M
1/2 LEVEL 3	73.45M
1/2 ROOF	73.45M
AVERAGE GRADE	73.45M
MAX. HEIGHT (1/2 ROOF)	83.35M
TOP OF ROOF ELEVATION	83.35M
MIN. HEIGHT (1/2 LEVEL 1)	73.45M

BUILDING HEIGHT CALCULATION - UNIT 52

GRADE	73.45M
1/2 LEVEL 1	73.45M
1/2 LEVEL 2	73.45M
1/2 LEVEL 3	73.45M
1/2 ROOF	73.45M
AVERAGE GRADE	73.45M
MAX. HEIGHT (1/2 ROOF)	83.35M
TOP OF ROOF ELEVATION	83.35M
MIN. HEIGHT (1/2 LEVEL 1)	73.45M

LEGEND



KEYPLAN



FINISH SCHEDULE

- |  |   |                           |   |
|--|---|---------------------------|---|
| 1. IRREGULAR SINGLE                        | 7. 2" EXPOSURE VINYL BOARD & BATH           | 12. PAINTED 2X10 BUILT UP | 19. VERTICAL WOOD SLAT FINISH SCREEN      |
| 2. CORRUGATED METAL ROOFING                | 8. PAINTED FIRE CEMENT PANEL WITH 1X10 TRIM | 13. PAINTED WOOD BRACKETS | 20. DECORATIVE DORMER                     |
| 3. DOUBLE PANELED SEALED UNIT WARE WINDOWS | 9. WOOD WINDOW BOX                          | 14. WOOD CLAD PANEL POST  | 21. MIX CHIMNEY                           |
| 4. INSULATED METAL PANEL DOOR              | 10. REFINISHED BRICK GUTTER                 | 15. ALUMINUM BALING       | 22. METAL CHIMNEY CAP                     |
| 5. PAINTED METAL PANEL ROLL UP GARAGE DOOR | 11. PAINTED WOOD TRIM                       | 16. MIX BARN DOOR         | 23. PAINTED WOOD BALING                   |
| 6. DOUBLE PANELED SEALED UNIT WARE SLIDES  | 12. PAINTED 2X BARGE BOARD WITH 1X10 TRIM   | 17. DECORATIVE LOUVER     | 24. PAINTED FIRE CEMENT BOARD AND BATHING |

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REVISIONS

ISSUED FOR BEGINNING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 25, 2020
RE-ISSUED FOR DEVELOPMENT PERMIT	MAY 29, 2021
RE-ISSUED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	MAY 25, 2022
RE-ISSUED FOR DEVELOPMENT PERMIT	MAY 14, 2022



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PROJECT

THE FALLS  
KANAKA SPRINGS

112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING

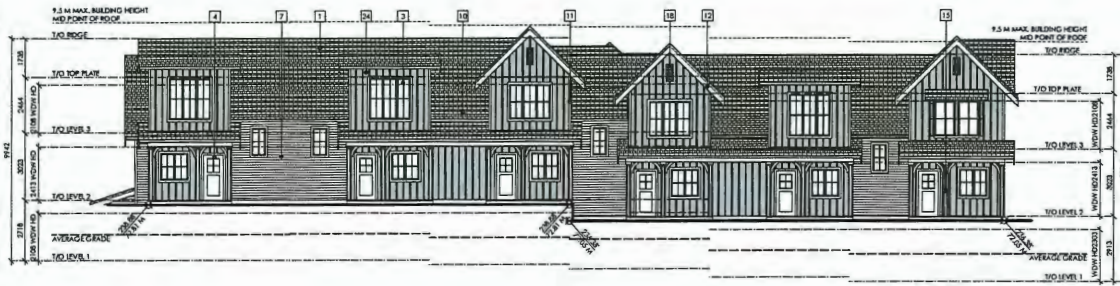
BUILDING 9  
ELEVATIONS

SCALE 1:100 SHEET

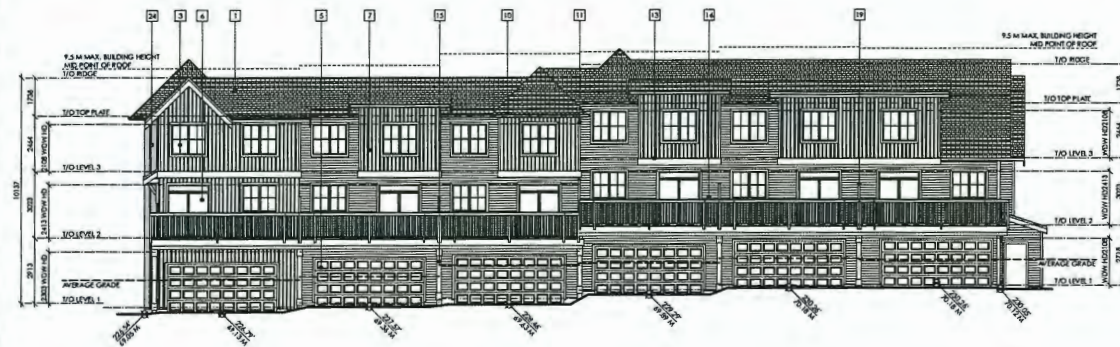
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A2.24

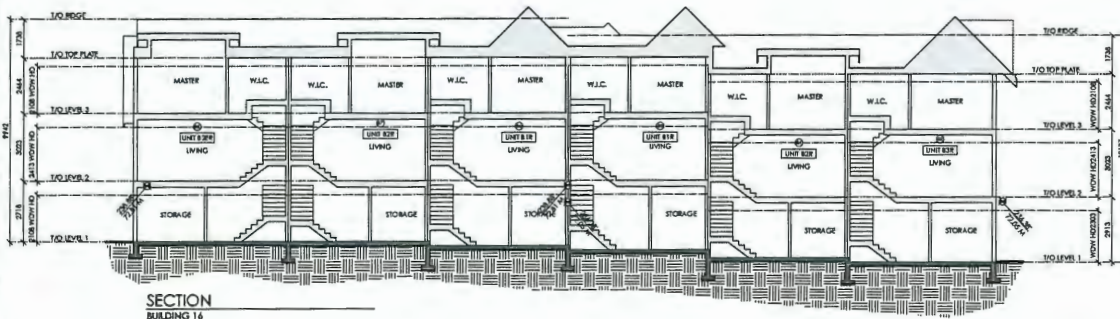




FRONT ELEVATION  
BUILDING 16

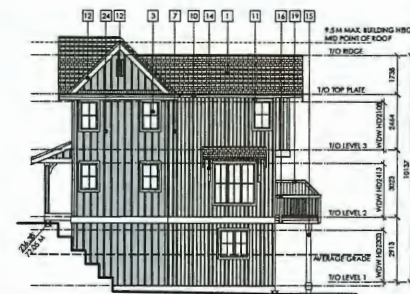


REAR ELEVATION  
BUILDING 16

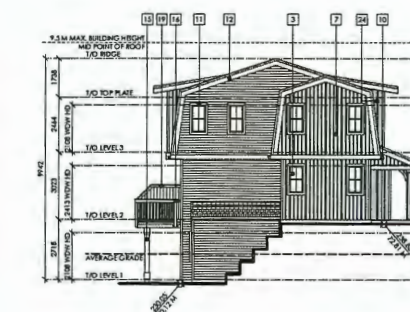


SECTION  
BUILDING 16

BUILDING HEIGHT CALCULATION - UNIT 85				BUILDING HEIGHT CALCULATION - UNIT 87				BUILDING HEIGHT CALCULATION - UNIT 84				BUILDING HEIGHT CALCULATION - UNIT 85				BUILDING HEIGHT CALCULATION - UNIT 84				BUILDING HEIGHT CALCULATION - UNIT 83			
GRADE:				GRADE:				GRADE:				GRADE:				GRADE:				GRADE:			
-NORTH EAST	72.81 M			-NORTH EAST	72.81 M			-NORTH EAST	72.81 M			-NORTH EAST	72.81 M			-NORTH EAST	72.81 M			-NORTH EAST	72.81 M		
-NORTH WEST	72.81 M			-NORTH WEST	72.81 M			-NORTH WEST	72.81 M			-NORTH WEST	72.81 M			-NORTH WEST	72.81 M			-NORTH WEST	72.81 M		
-SOUTH EAST	72.81 M			-SOUTH EAST	72.81 M			-SOUTH EAST	72.81 M			-SOUTH EAST	72.81 M			-SOUTH EAST	72.81 M			-SOUTH EAST	72.81 M		
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AVERAGE GRADE:	72.81 M			AVERAGE GRADE:	72.81 M			AVERAGE GRADE:	72.81 M			AVERAGE GRADE:	72.81 M			AVERAGE GRADE:	72.81 M			AVERAGE GRADE:	72.81 M		
MAX. HEIGHT (T.E.M.):	80.31 M			MAX. HEIGHT (T.E.M.):	80.31 M			MAX. HEIGHT (T.E.M.):	80.31 M			MAX. HEIGHT (T.E.M.):	80.31 M			MAX. HEIGHT (T.E.M.):	80.31 M			MAX. HEIGHT (T.E.M.):	80.31 M		
TOP PLATE ELEVATION:	75.35 M			TOP PLATE ELEVATION:	75.35 M			TOP PLATE ELEVATION:	75.35 M			TOP PLATE ELEVATION:	75.35 M			TOP PLATE ELEVATION:	75.35 M			TOP PLATE ELEVATION:	75.35 M		
TOP OF ROOF ELEVATION:	80.24 M			TOP OF ROOF ELEVATION:	80.24 M			TOP OF ROOF ELEVATION:	80.24 M			TOP OF ROOF ELEVATION:	80.24 M			TOP OF ROOF ELEVATION:	80.24 M			TOP OF ROOF ELEVATION:	80.24 M		
MEAN POINT ELEVATION:	79.37 M			MEAN POINT ELEVATION:	79.37 M			MEAN POINT ELEVATION:	79.37 M			MEAN POINT ELEVATION:	79.37 M			MEAN POINT ELEVATION:	79.37 M			MEAN POINT ELEVATION:	79.37 M		



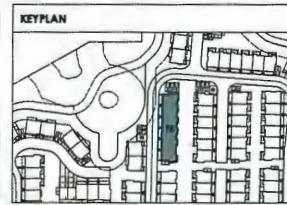
SIDE ELEVATION  
BUILDING 16



SIDE ELEVATION  
BUILDING 16

FINISH SCHEDULE			
1. FRAMEGLASS SINGLE	2. 6" EXPOSURE VINYL BOARD & BATTEN	3. PAINTED 2X10 BUILT BOARD	10. VERTICAL WOOD SLAT PRIVACY SCREEN
4. CORRUGATED METAL ROOFING	5. PAINTED FIBRE CEMENT PANEL WITH 1X TREES	6. PAINTED WOOD BRACKETS	11. DECORATIVE DORMER
7. DOUBLE PANELED SEALED UNIT WARE WINDOWS	8. WOOD WINDOW BOX	9. WOOD CLAD PINE POST	12. WALK CHIMNEY
13. INSULATED METAL PANEL DOOR	14. PREFINISHED ALUMINUM GUTTER	15. ALUMINUM BALING	16. METAL CHIMNEY CAP
17. PAINTED METAL PANEL ROLL UP GARAGE DOOR	18. PAINTED WOOD TRIM	19. WALK BARN DOOR	20. PAINTED WOOD BALING
21. DOUBLE PANELED SEALED UNIT VINYL SLIDERS	22. PAINTED 2X BARGE BOARD WITH 1X TREES	23. DECORATIVE LOUVER	24. PAINTED FIBRE CEMENT BOARD AND BATTENS

LEGEND	
	FIBRE CEMENT BOARD AND BATTEN



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REVISIONS	
ISSUED FOR REWORKING	FEB 16, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 26, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 26, 2021
ISSUED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	JAN 20, 2022
ISSUED FOR DEVELOPMENT PERMIT	MAY 14, 2022



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Tel: (604) 273-1111 Fax: (604) 273-1111

PROJECT

THE FALLS  
KANAKA SPRINGS  
112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING

BUILDING 16  
ELEVATIONS

SCALE	SHEET
1:100	A2.42
JOB #	8032

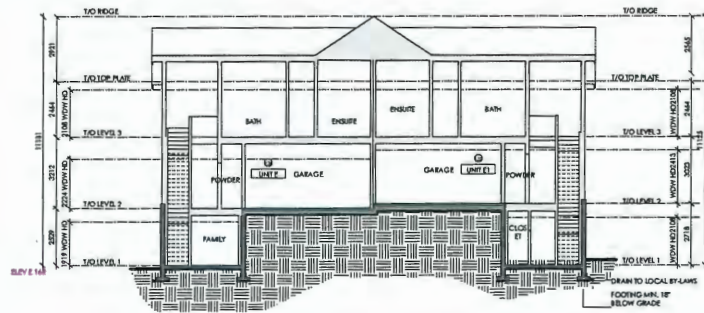




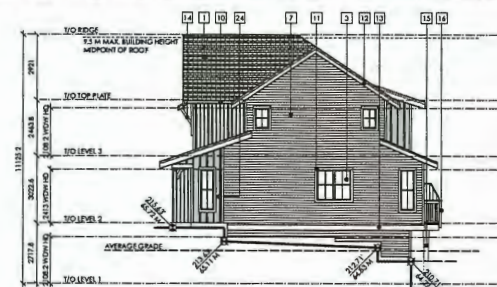
FRONT ELEVATION  
BUILDING 26



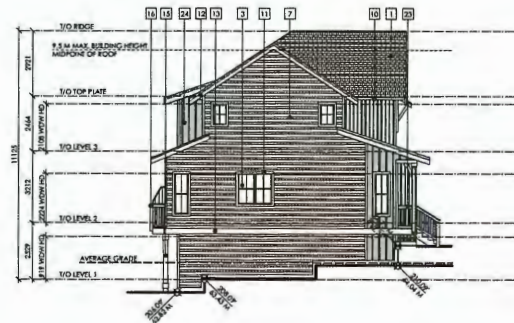
REAR ELEVATION  
BUILDING 26



SECTION  
BUILDING 26



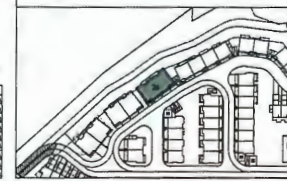
SIDE ELEVATION  
BUILDING 26



SIDE ELEVATION  
BUILDING 26

FINISH SCHEDULE			
1. IRONCLASH SHINGLE	7. 2" EXPOSED VINYLS BOARD & BATTIN	13. PAINTED 2X10 BILLY BOARD	19. VERTICAL WOOD SLAT PANA CY SCREEN
2. CORRUGATED METAL ROOFING	8. PAINTED FIBRE CEMENT PANEL WITH 1X TRIMS	14. PAINTED WOOD BRACKETS	20. DECORATIVE DORMER
3. DOUBLE PANELED SEALED UNIT VINYL WINDOWING	9. WOOD WINDOW BOX	15. WOOD CLAD PANEL POST	21. WALK CHIMNEY
4. INSULATED METAL PANEL DOOR	10. PREFINISHED INSULA GUTTER	16. ALUMINUM RAILING	22. METAL CHIMNEY CAP
5. PAINTED METAL PANEL ROLL UP GARAGE DOOR	11. PAINTED WOOD TRIM	17. WALK BARN DOOR	23. PAINTED WOOD RAILING
6. DOUBLE PANELED SEALED UNIT VINYL SLIDERS	12. PAINTED 2X BARGE BOARD WITH 1X TRIM	18. DECORATIVE LOUVER	24. PAINTED FIBRE CEMENT BOARD AND BATTIN

KEYPLAN



BUILDING HEIGHT CALCULATION - UNIT 128

SECTOR	HEIGHT
NORTH-EAST	47.82M
NORTH-WEST	48.56M
SOUTH-EAST	48.47M
SOUTH-WEST	48.72M
AVERAGE GRADE	48.18M
MAX. ROOF 12.8M	71.41M
TOP OF ROOF 12.8M	71.41M
W.D. POINT ELEVATION	71.38M

BUILDING HEIGHT CALCULATION - UNIT 127

SECTOR	HEIGHT
NORTH-EAST	48.22M
NORTH-WEST	48.51M
SOUTH-EAST	48.72M
SOUTH-WEST	48.81M
AVERAGE GRADE	48.42M
MAX. ROOF 12.8M	71.41M
TOP OF ROOF 12.8M	71.41M
W.D. POINT ELEVATION	71.38M

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REVISIONS	DATE
ISSUED FOR REWORKING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 26, 2020
REDESIGNED FOR DEVELOPMENT PERMIT	MAY 26, 2021
REDESIGNED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	JAN 26, 2022
REDESIGNED FOR DEVELOPMENT PERMIT	MAY 14, 2022



FORMWORKS  
ARCHITECTURAL

1425 West 5th Ave., Vancouver, BC V6J 1H5  
Tel: 604-273-1111 Fax: 604-273-1111

PROJECT

THE FALLS  
KANAKA SPRINGS  
112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING

BUILDING 26  
ELEVATIONS

SCALE

1:100

JOB #

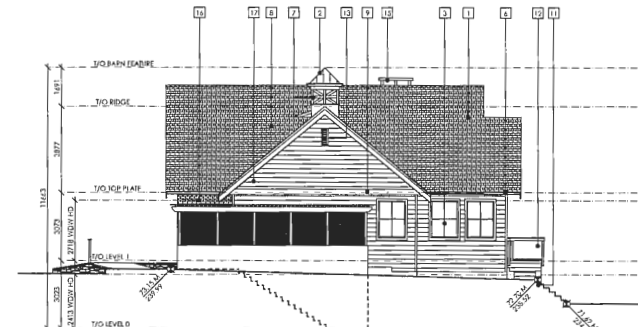
8032

A2.65

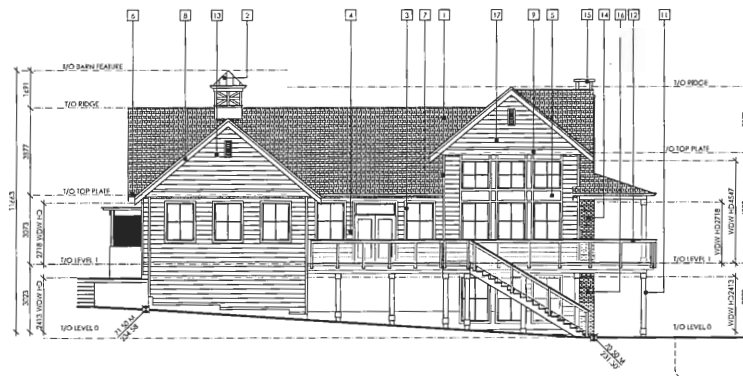




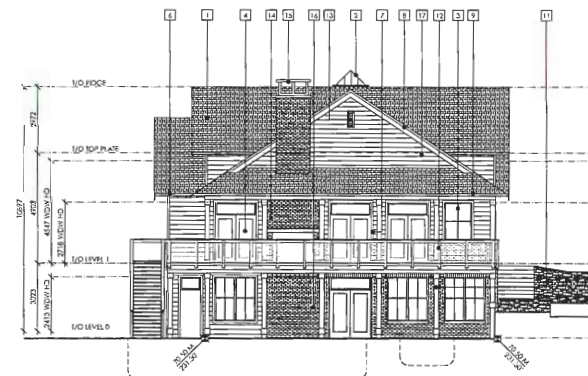
**SOUTH ELEVATION**  
AMENITY BUILDING



**EAST ELEVATION**  
AMENITY BUILDING

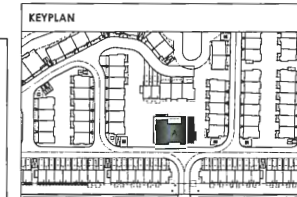


**NORTH ELEVATION**  
AMENITY BUILDING



**WEST ELEVATION**  
AMENITY BUILDING

FINISH SCHEDULE		
1 FIBREGLASS SHINGLE	7 PAINTED WOOD TRIM	13 DECORATIVE LOUVER
2 STANDING SEAM METAL ROOFING	8 PAINTED 2X BARGE BOARD WITH 1X TRIM	14 CHIMNEY
3 DOUBLE PANELED SEALED LAR VINYL WINDOWS	9 PAINTED 2X10 BULKY BOARD	15 METAL CHIMNEY CAP
4 INSULATED METAL PANEL DOOR	10 PAINTED WOOD BRACKETS	16 SPICE
5 PAINTED FIBRE CEMENT PANEL PANEL WITH 1X TRIM	11 WOOD CLAD PANEL POST	17 8" EXPOSURE FIBRE CEMENT LAP SIDING
6 PRE-FINISHED PASCIA GUTTER	12 ALUMINUM AND GLASS RAILING	



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**REVISIONS**

ISSUED FOR REDLINING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 18, 2020
RE-DESIGNED FOR DEVELOPMENT PERMIT	MAY 28, 2021
RE-DESIGNED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	JAN 25, 2022
RE-DESIGNED FOR DEVELOPMENT PERMIT	MAY 14, 2023

**EPIC HOMES**

**FORMWERKS ARCHITECTURAL**

1122 MILLIKEN AVE., VICTORIA B.C. V8N 1K5  
Tel: 250-607-1111 Fax: 250-607-1111

**PROJECT**

**THE FALLS KANAKA SPRINGS**

112 TH AVENUE  
MAPLE RIDGE, B.C.

**DRAWING**

**AMENITY ELEVATIONS**

**SCALE** 1:100

**SHEET** AB2.01

**JOB #** 8032



112TH AVENUE STREETSCAPE

NTS



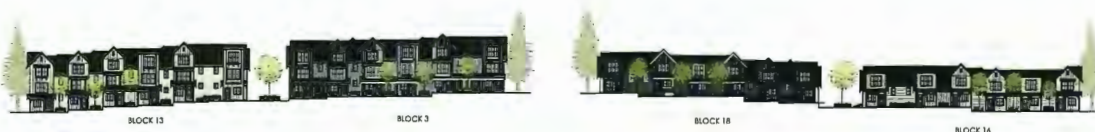
VARIETY STREETSCAPE

NTS



INTERNAL ROAD STREETSCAPE

NTS



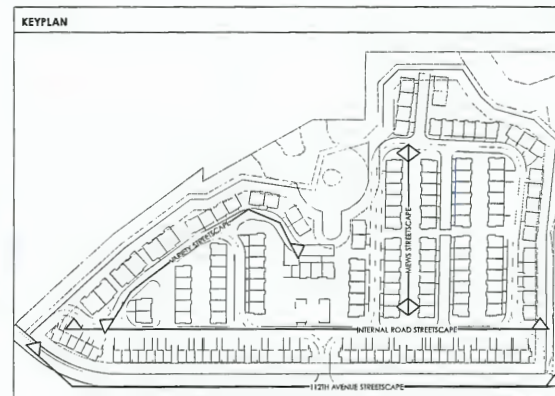
MEWS (LOOKING WEST)

NTS



MEWS (LOOKING EAST)

NTS



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REVISIONS	
ISSUED FOR REDLINING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 28, 2020
RE-REQUIRED FOR DEVELOPMENT PERMIT	MAY 29, 2021
RE-REQUIRED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	JAN 5, 2022
RE-REQUIRED FOR DEVELOPMENT PERMIT	MAR 14, 2022



**FORMWERKS  
ARCHITECTURAL**

1425 West 58th Ave., Vancouver, BC V6J 1N4  
Tel: 604-278-1111 Fax: 604-278-1111

PROJECT

**THE FALLS  
KANAKA SPRINGS**

112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING

**STREETSCAPES**

SCALE	SHEET
NTS	A1.07
JOB #	
8032	





No.	By	Description	Date
9	JW	Re-issued for DP	Mar. 18, 2022
8	JW	Re-issued for DP	Jan. 26, 2022
7	JW	Re-issued for DP	Sept. 7, 2021
6	ET	Issued for DP	May 24, 2021
5	ET	Issued for Review	Mar. 10, 2021
4	AL	Issued for Re-submission	Mar. 05, 2021
3	AL	For Re-submission	Feb. 09, 2021
2	AL	For Re-submission	Dec. 16, 2020
1	DC	For Development Permit	May 27, 2020
1	DC	For Review	May 1, 2020
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS  
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No.	By	Description	Date
1	JW	Issued for DDM	March 7, 2022
No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:  
 Kanaka Springs Townhomes  
 Phase 1

Location:  
 24877 - 24929 112th Ave  
 Maple Ridge, BC

Drawn: ET	Stamp:
Checked: JW	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:500	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT. THE WORK SHALL BE CONSIDERED COMPLETE WHEN ALL DIMENSIONS AND SPECIFICATIONS ARE MET. CONSTRUCTION SHALL BE LABELED BRACK FOR TOLERANCE CONSTRUCTION.

1 OVERALL PLAN AND SHEET TILES  
 Scale 1:500



The following resolution was passed regarding **2019-426-DP** at the February 16, 2022 Regular Meeting of the Advisory Design Panel (ADP).

R/2021-020

It was moved and seconded

**That the Advisory Design Panel has reviewed application 2019-426-DP and recommends that**

**The application be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up:**

## Architectural Comments:

- Consider including amenity building in phase one; **Per our June 12 meeting, the amenity building has been proposed in the 5th phase**
- Consider equal colour distribution throughout the site; **Color schemes have been revised and redistributed throughout site**
- Consider increasing front yard setbacks; **The setback is still consistent with 6m under the old zoning bylaw (now 4.5m). See further comments in February 24 email**
- Consider opportunity for visible pedestrian access in southeast corner; **The emergency access material has been modified to emphasize a pedestrian corridor from 112th to the interior of the site**
- Ensure architectural language is consistent on all four sides of elevations. **Elevations have been revised on Buildings with the gambrel roof (B units) per ADP comments**

## Landscape Comments:

- Increase 112 Avenue setback areas to improve usability of yard spaces; **Same issue as setbacks above. The private outdoor space for the units fronting 112th Avenue is 5 times the bylaw requirement**
- Consider additional stormwater management through green infrastructure on the site; **In the VDZ drawings, the stormwater management infrastructure has been highlighted. This is the plan that was approved after extensive review with engineering to comply with NE Albion LUP SWM requirements**
- Consider incorporating additional street trees on the internal road system; **Street trees have been added internally between buildings along the roads**
- Consider providing additional landscaping to screen tandem parking; **This is not possible as the C units main floor is cantilevered over top of the single exterior parking stall.**
- Consider the incorporation of childrens' programming in the space next to the amenity building as well as the distribution of childrens' programming throughout the phasing of the development. **To the north of the amenity building, there has been a new children's amenity area added with features including canoe and play houses**

CARRIED UNANIMOUSLY

Thank you for your time,





March 25, 2022

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attn: Michelle Baski

**Re: Summary of Public Opportunity Comment Period for 2019-426-RZ**

In conjunction with the above-noted rezoning application and per the amended Public Comment Opportunity – Developer Process guidelines, Epic NE Albion Homes Ltd. held an open comment opportunity period from Monday, March 5 to Thursday, March 24.

Per the guidelines, the public comment opportunity was advertised in two consecutive editions of the Maple Ridge News (March 4 & March 11), posted via the onsite signage, and mailers were sent out to all residents within 100m of the development site. For your records, copies of the material above have been attached to this letter.

Throughout the public comment opportunity period, Epic Homes received two inquiries directly:

1. On March 10<sup>th</sup>, a resident emailed asking for a site plan that was clearer than the ad in the paper. A site plan was provided, and the resident did not offer any further comments.
2. On March 14<sup>th</sup>, a resident phoned requesting information on the OCP amendment. The question was answered when it was confirmed that the OCP amendment on this application was to match the designations and densities approved in the NE Albion Land Use and Servicing Concept Plan. The resident was a resident of Grant Hill and was familiar with the approved NE Albion plan.

In addition, the planning department received a letter dated March 21, 2022. A response to those queries would be that the application is consistent with the newly approved NE Albion Official Community Plan Amendment and that City water and sanitary sewers will be provided to the development via future rezoning servicing agreements.

Outside of the items above, we did not receive any additional inquiries or comments. Should you have any additional questions or concerns, please do not hesitate to contact the writer directly.

I trust the above and enclosed to be in order.

Kind Regards,  
**Epic NE Albion Homes Ltd.**



Cole Lambert

To Planning Department  
City of Maple Ridge

march 21, 2022

re: Rezoning Application 2019-426 RZ  
Public Comment

1. I question the wisdom of this development in this location. It is very close to Kanaka Creek and with climate changing it may be at risk.
2. I don't expect there is room for septic tanks and fields. What will happen to the sewage?
3. Where will the drinking water come from?
4. The loss of trees contributes to climate change and poor health.
5. The decision to develop North Albion is short sighted.





Scale: 1:1,632

Preliminary Environmental Context  
for properties at 24909, 24947,  
24979, 24985, 24989, 25011 and  
25071 112th Avenue

The City of Maple Ridge makes no guarantee  
regarding the accuracy or present status of  
the information shown on this map.

PLANNING DEPARTMENT



**MAPLE RIDGE**  
British Columbia

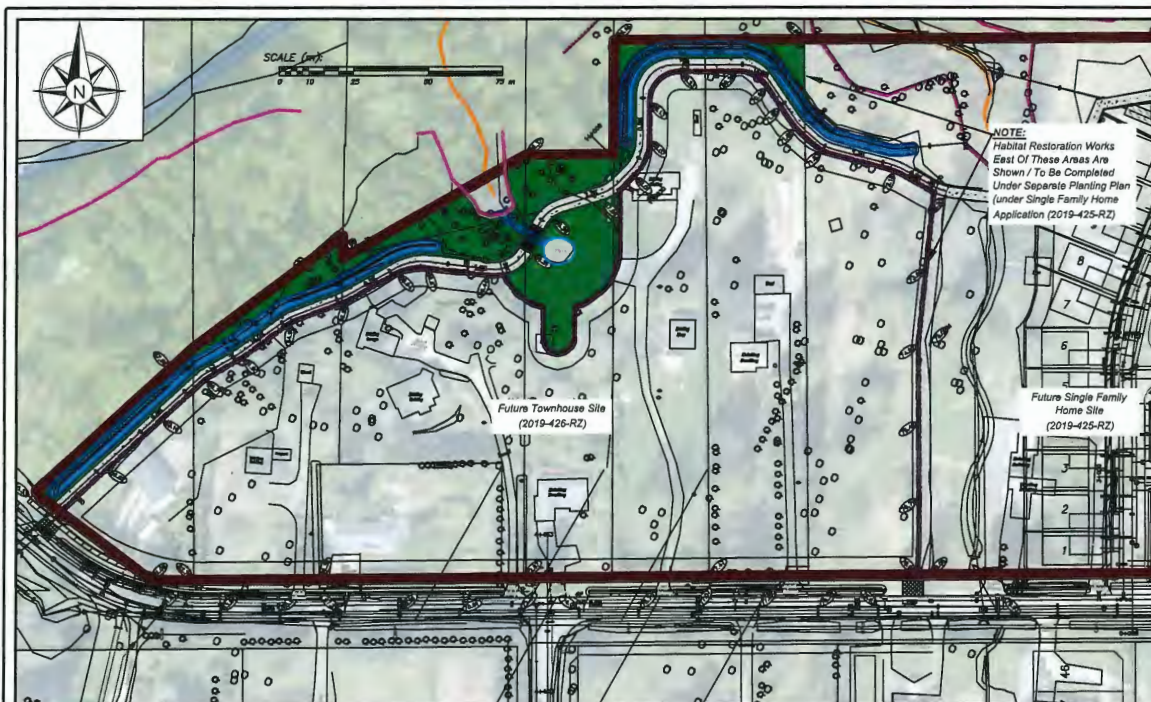
**mapleridge.ca**

FILE: Subject Map 2018

DATE: Feb 19, 2020

BY: MP





#### RESTORATION PLANTING PLAN LIST:

Restoration Planting List	Amount	Botanical Name	Common Name	Spacing	Size
3,358 m²	25	<i>Acer macrophyllum</i>	Big-leaf maple	3-4 m	5 gallon
	25	<i>Pseudotsuga menziesii</i>	Douglas Fir	3-4 m	5 gallon
	45	<i>Thuja plicata</i>	Western Red Cedar	3-4 m	5 gallon
	20	<i>Picea sitchensis</i>	Sitka Spruce	3-4 m	5 gallon
	15	<i>Sorbus aucuparia</i>	Mountain Ash	3-4 m	5 gallon
	20	<i>Tsuga heterophylla</i>	Western Hemlock	3 m	5 gallon
	25	<i>Prunus emarginata</i>	Bitter Cherry	3 m	5 gallon
	45	<i>Crataegus douglasii</i>	Black Hawthorne	1 m	2 gallon
	150	<i>Sambucus racemosa</i>	Red Elderberry	1 m	2 gallon
	125	<i>Physocarpus capitatus</i>	Pacific Ninebark	1 m	2 gallon
	225	<i>Mahonia nervosa</i>	Oregon Grape	1 m	2 gallon
	200	<i>Rubus parviflorus</i>	Thimbleberry	1 m	2 gallon
	325	<i>Rubus spectabilis</i>	Salmonberry	1 m	2 gallon
	275	<i>Symphoricarpos albus</i>	Snowberry	1 m	2 gallon
	100	<i>Acer circinatum</i>	Vine Maple	2 m	2 gallon
	275	<i>Rosa nutkana</i>	Nootka Rose	1 m	2 gallon
	355	<i>Cornus stolonifera</i>	Red-osier Dogwood	1 m	2 gallon
	500	<i>Polystichum munitum</i>	Western Sword Fern	< 1 m	1 gallon
	500	<i>Gaultheria shallon</i>	Salal	< 1 m	1 gallon

Total Plants = 3250

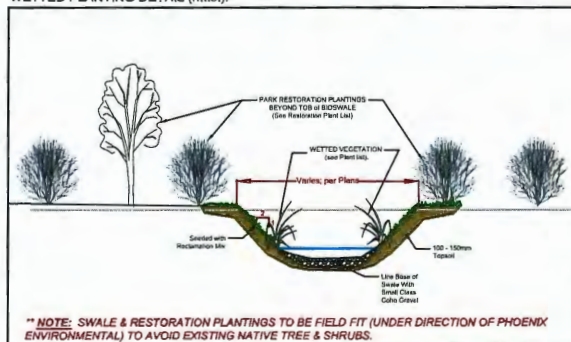
Total amount estimated includes wholesale plant cost, delivery, and labour costs for initial install works.

Bioswale Planting List	Amount	Botanical Name	Common Name	Spacing	Size
1,199 m²	200	<i>Rubus spectabilis</i>	Salmonberry	1 m	2 gallon
	275	<i>Polystichum munitum</i>	Sword Fern	0.75 m	1 gallon
	350	<i>Spiraea douglasii</i>	Hardhack	0.5 m	1 gallon
	650	<i>Carex obnupia</i>	Slough Sedge	0.5 m	1 gallon
	650	<i>Scirpus microcarpus</i>	Bulrush	0.5 m	1 gallon

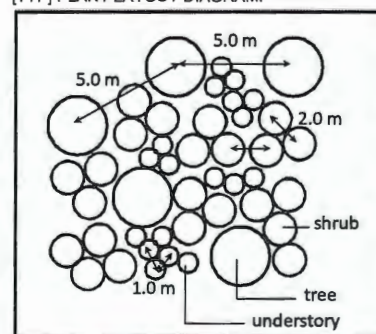
Total Plants = 2125

Total amount estimated includes wholesale plant cost, delivery, and labour costs for initial install works.

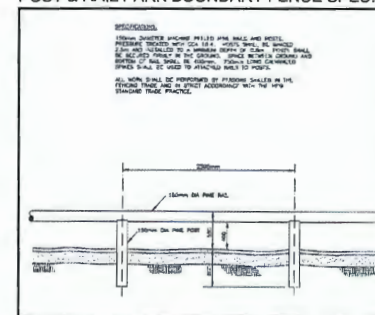
#### WETTED PLANTING DETAIL (n.t.s.):



#### [TYP] PLANT LAYOUT DIAGRAM:



#### POST & RAIL PARK BOUNDARY FENCE SPEC:



#### General Notes:

1. All landscape / planting operations are to comply with the *City of Maple Ridge Planting Requirements*.
2. Topsoil is to be placed in the planting areas, and be a minimum depth of 150mm.
3. A field visit should be conducted prior to restoration works to verify and flag planting areas. Bioswale and plant installation locations may need to be adjusted in the field based Phoenix Environmental is to be present on site to direct planting works.
4. All Invasive/Noxious species must be grubbed out and removed from the Site prior to plant installation; invasives are to be disposed at an approved dump/composting site.
5. A post & rail fence is to be installed along the Park Boundary, per City of Maple Ridge specification shown.
6. Any changes/alterations made to this planting plan must be approved by Phoenix Environmental Services Ltd.

- SITE BOUNDARY
- NON-FISH BEARING STREAMS
- SURVEYED TOP-OF-BANK (TOB)
- SURVEYED HIGH WATER MARK (HWM) of CONSTRUCTED POND
- PROPOSED PARK BOUNDARY / POST & RAIL FENCE LOCATION

- RIPARIAN HABITAT ENHANCEMENT PLANTING AREA = 3,358 m²
- STORM WATER MANAGEMENT BIOSWALE & DAYLIGHTED CHANNEL PLANTING AREA = 1,199 m²

Figure 4: HABITAT ENHANCEMENT & RESTORATION PLANTING PLAN

**EPIC NE ALBION HOMES LTD.**  
PROPOSED RESIDENTIAL TOWNHOUSES  
24909 - 25057 112th Ave, Maple Ridge, BC



DATE: AUG. 2021 | DRAWN BY: NGL | SCALE: AS SHOWN | DWG: Epic\_KanakaTwnhs\_EIAmaps.dwg

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
Official Community Plan Amending Bylaw No. 7834-2022  
Second Reading  
Zone Amending Bylaw No. 7539-2019  
11839 and 11795 267 Street

**MEETING DATE:** June 7, 2022  
**FILE NO:** 2019-055-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties, located at 11839 and 11795 267 Street, from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential), to permit a future subdivision of approximately fifteen single-family lots, consisting of three fee simple lots and twelve bare-land strata lots. Council granted first reading to *Zone Amending Bylaw No. 7539-2019* on April 9, 2019. The minimum lot size for the proposed zone is 1 acre (0.4 ha).

The proposed RS-2 zoning complies with the policies of the Official Community Plan (OCP). However, an amendment to the OCP is required to amend the *Park* boundary.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program and the rates applicable at third reading of this application.

**RECOMMENDATIONS:**

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7834-2022* on the municipal website, and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7834-2022* be given first and second reading and forwarded to Public Hearing;
3. That *Zone Amending Bylaw No. 7539-2019*, as amended, be given second reading and forwarded to Public Hearing;
4. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Road dedication and upgrading to the Rural Local Road standard, on 118 Avenue and 267 Street, as required;

- iii) Park dedication as required, including construction of walkways; and a letter confirming removal of all debris and garbage from park land;
- iv) Consolidation of the properties;
- v) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
- vi) Registration of a Restrictive Covenant for the protection of an Agricultural Landscape Buffer adjacent to Agricultural Land Reserve lands to the west;
- vii) Registration of a Statutory Right-of-Way plan for a municipal storm sewer;
- viii) Registration of a Restrictive Covenant for Tree Protection;
- ix) Registration of a Restrictive Covenant for Stormwater Management;
- x) Registration with Fraser Health for septic disposal, and registration of a Restrictive Covenant for the protection of the septic field areas;
- xi) Registration with the Ministry of Environment Water Protection and Sustainability Branch for water wells;
- xii) A Professional Engineer's certification that adequate water quantity for domestic and fire protection purposes can be provided;
- xiii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, then a Stage 1 Site Investigation Report is required to ensure that the subject properties are not contaminated sites; and
- xiv) That a voluntary contribution be provided, in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.

## DISCUSSION:

### 1. Background Context:

Applicant: David Laird, Aplin & Martin Consultants

Legal Description: Lot 2 Section 18 Township 15 New Westminster District Plan 7439;  
 Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235)  
 Section 18 Township 15 New Westminster District Plan 5612

OCP:

Existing:	Suburban Residential
Proposed:	Suburban Residential



Within Urban Area Boundary:	No
Area Plan:	No
OCP Major Corridor:	No
Zoning:	
Existing:	RS-3 (Single Detached Rural Residential)
Proposed:	RS-2 (Single Detached Suburban Residential)
Surrounding Uses:	
North:	Use: Single-Family Residential
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Suburban Residential
South:	Use: Regional Kanaka Creek Park and Single-Family Residential
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Park and Agricultural and Suburban Residential
East:	Use: Single-Family Residential and Park
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Suburban Residential and Park
West:	Use: Vacant land and Single-Family Residential
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Agricultural and Suburban Residential
Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	9.0 hectares (22.2 acres)
Access:	New extension of 118 Avenue to be constructed
Servicing:	Rural standard
Fraser Sewer Area:	No
Flood Plain:	No
Companion Applications:	2019-055-SD, 2021-261-DP and 2019-055-DP

## 2. Background:

The application as originally submitted, proposing RS-2 zoning, aligns with the *Suburban Residential* designation, which at that time has been discussed extensively by Council. Previous Councils have expressed concern about allowing residential development outside of the Urban Area Boundary and have previously denied applications for this purpose. On September 5, 2017, Council reaffirmed the *Suburban Residential* designation with the following resolution:

*That no changes be made to the current policies in the Official Community Plan for Estate Suburban Residential and Suburban Residential Land Use Designations, as discussed in the Council report dated September 5, 2017.*

On this basis, this proposal remains consistent with the OCP, and Council granted first reading to *Zone Amending Bylaw No. 7539-2019* on April 9, 2019. The isolation of this site relative to City water and street access has taken time for the project engineer to work through servicing details.

### **3. Project Description:**

The subject properties, located at 11839 and 11795 267 Street, are designated *Suburban Residential*. The southwest boundary of the subject properties is adjacent to Agricultural Land Reserve land, and Kanaka Creek Regional Park intersects at the southeast corner. A watercourse traverses the subject properties along the eastern edge and the north portion of the western edge. The subject properties are also within the vicinity of the Whonnock Aquifer.

This rezoning application proposes a 15 lot subdivision of RS-2 (Single Detached Suburban Residential) parcels, three of which will be fee simple lots, and 12 will be bare-land strata lots. Each of the two subject properties currently has an existing house, and both dwellings are proposed to be retained with this proposal.

The proposed road layout for this development will enable the development potential for adjacent properties that are also designated *Suburban Residential*. This development proposal is consistent with the *Suburban Residential* land use designation for the subject properties (see Appendix A).

### **4. Planning Analysis:**

#### **i) Official Community Plan:**

The subject properties are currently designated *Suburban Residential*. This designation permits single detached and duplex housing in areas outside of the Urban Area Boundary, that may have municipal water service but which are not connected to the municipal sanitary sewer system. For the proposed development an OCP amendment will be required to amend the parkland boundary, to include required dedicated *Park* (see Appendix C). The designation supports the proposed development under the RS-2 zone.

#### **ii) Zoning Bylaw:**

The current application proposes to rezone the subject properties from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential) to permit a subdivision into 15 single-family lots (see Appendix D). *Zone Amending Bylaw No. 7539-2019* has been updated to reflect the new Zoning Bylaw No. 7600-2019

#### **iii) Development Permits:**

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments and building permits within 50 metres of the top of bank of all watercourses and wetlands. The purpose of the Watercourse Protection Development Permit is to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated *Conservation* on Schedule "B" or all areas within 50 metres of an area designated *Conservation* on Schedule "B", or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15 percent; and
- All floodplain areas and forest lands identified on Schedule "C"

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

Identification of environmentally sensitive areas (watercourse and steep slopes), park dedication and identifying pervious areas and stormwater management has been incorporated into the design (see Appendix F). The Watercourse Protection and Natural Features Development Permit report will be subject of a future report to the Director of Planning

**iv) Development Information Meeting:**

In lieu of an in-person Development Information Meeting, a public comment opportunity was presented to the neighbourhood, between December 8 and December 20, 2021. Seven people used to opportunity to provide feedback to the applicant (see Appendix G).

A summary of the main comments and discussions with the attendees was provided by the applicant and include the following main points:

- Traffic impact to the rural neighbourhood, by new residents driving to/from work;
- Light impact by the light fixtures on and in the dwellings; and
- Seeking clarification If this development has any impact to the regional park

The following responses were provided by the applicant in response to the fore-mentioned issues raised by the public:

- Not disputing traffic impact. Clarification was provided that the feedback will be forwarded on to Council for further consideration;
- Lighting will mostly be centered around the dwelling units on the lots, and a natural buffer will be created towards the park area; and
- Clarification was provided on the implemented buffers along the perimeter, and no comments were received after.

**v) Parkland Requirement:**

As there are more than two additional lots proposed to be created, the developer is required to comply with the park dedication requirements of Section 510 of the *Local Government Act* prior to subdivision approval.

For this project, there is sufficient land that is proposed to be dedicated as *Park* on the subject properties and this land will be required to be dedicated as a condition of final reading.

**5. Environmental Implications:**

A tree protection area will be covenanted along the dedicated *Park* land on the eastside of the subject properties, with a log rail fence for visual boundary. The tree retention opportunities on proposed lots 5 and 6 will be further investigated, to provide retention recommendations from the project arborist to the healthier trees in this area. Fencing around the tree cluster would be required, including signage.

The Qualified Environmental Professional (QEP) needs to provide a final cost estimate, including the invasive management plan and maintenance/monitoring portion for the enhancement and restoration plan. A security deposit is required for these works.



This site is located on the Whonnock Aquifer and thus a ground water impact assessment will be required by an engineer at the subdivision stage to ensure protection of existing area wells and ground water.

## **6. Agricultural Impact:**

Agricultural lands are adjacent to the west side of the subject properties. A 15 metre wide buffer zone is provided to the west side of proposed lots 1 to 5 of the bare land strata lots. The buffer is in accordance with best practices on development adjacent to agricultural lands. This vegetated agricultural setback area will be required to be placed into a Restrictive Covenant on the east side, including appropriate fencing and signage for the boundary.

## **7. Interdepartmental Implications:**

### **i) Engineering Department:**

The Engineering Department has indicated that the following servicing upgrades will be required through the Rezoning Servicing Agreement:

- a) Road dedication on 267 Street and 118 Avenue as required to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*. Dedication for a new road will be a condition of the future subdivision application.
- b) Utility servicing as required to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*
- c) Frontage upgrades to the applicable road standard.
- d) The development will be required to comply with the requirements of the *Best Management Practice – Water Service for Large Lot Suburban Residential Development*.

### **ii) Parks, Recreation and Culture Department:**

Environmental setbacks of 15m will be provided adjacent to Kanaka Creek Regional Park. Planting details for the proposed bioswale along the new Warner Way (strata maintained), and along 118 Avenue allow for maintenance by way of flail mowing. This review will take place as part of the Watercourse Protection and Natural Features Development Permit application. A trail connection is required along 118 Avenue for a future connection to trails in Kanaka Creek Regional Park.

## **8. Intergovernmental Implications:**

### **i) Metro Vancouver:**

Policy 5-7 of the Official Community Plan recognizes the role of senior agencies in managing the City's natural resources, as follows:

*Maple Ridge will work in co-operation with Regional, Provincial, and Federal authorities and plans that contribute to the management and protection of the District's natural features, and many include but are not limited to the Blue Mountain Provincial Forest Recreation Management Strategy, Blaney Bog Regional Park, the Kanaka Creek Regional Park Management Plan, and the policies and regulations of the Agricultural Land Commission.*

In order to meet this objective, this development application, adjacent to the Kanaka Creek Regional Park, was referred to the parks planning section of Metro Vancouver prior to second reading. Metro Vancouver staff has provided City staff with the following comments to the proposal, in reference to the adjacent Kanaka Creek Park:

1. **East property boundary:** *The east side of the application borders the new land that Metro Vancouver recently purchased, which is now parkland. We would like to have a pro-active approach regarding potential property encroachment as it is an issue we frequently see in our system. We would like to work with the City and the applicant to find ways to protect that boundary. Here are a few ideas how to discuss further:*
  - a. *Install a property marker on the ground such as low fence (like post and rail fence as shown elsewhere in the plan), confirmed by a survey, along the property line between park and private development.*
  - b. *Define a building setback for residential development and conduct a hazard tree assessment survey. This would help identify potential hazard trees located on our property and limit risk factor for both.*
2. **Connectivity:** *The park management plan identifies a high-level connection around the area in question, north of Kanaka Creek. With the property we recently purchased and this proposed development, we see opportunities to create more trails through the forest and that connects to the park trail network. We would like to work with you and the applicant to find ways to create a pedestrian trail along 118 Street. This new trail would connect in the park through future trails to the west, new property purchased, and to the east, existing park. We hope that this proposed connection to the park's trail system would also limit the likelihood of new residents potentially creating their own trails through the park, as Kanaka's creek is a sensitive watershed.*
3. **South property boundary:** *Metro Vancouver would like to see stronger protection through a wider setback at the top of bank to further protect Kanaka Creek if possible.*

Staff Comment: City staff have negotiated a 15 metre setback and tree protection buffer including a low level fence and signage along the southern boundary of the subdivision that abuts the Kanaka Creek Regional Park. No access to the Regional Park has been accommodated by the bare land strata subdivision which will limit negative impacts to the park by the general public.

ii) **Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment for new Park boundary as required for this application, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

## CONCLUSION:

It is recommended that first and second reading be given to *Official Community Plan Amending Bylaw No. 7834-2022*, that second reading be given to *Zone Amending Bylaw No. 7539-2019* as amended, and that application 2019-055-RZ be forwarded to Public Hearing.

"Original signed by Charles Goddard" for

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Prepared by: **Therese Melser**  
**Planning Technician**

"Original signed by Charles Goddard"

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

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Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

"Original signed by Christine Carter" for

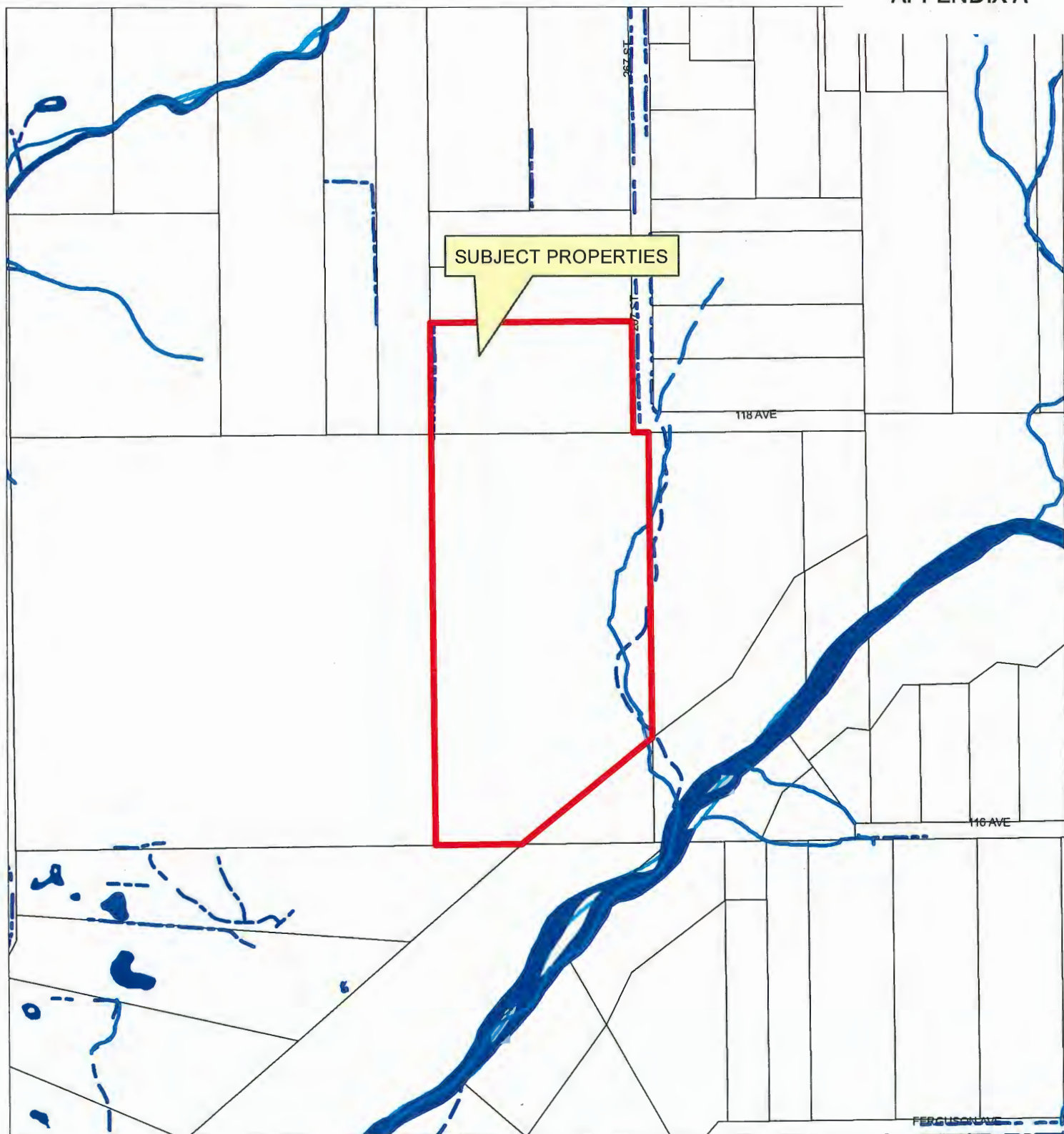
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Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Official Community Plan Amending Bylaw No. 7834-2022
- Appendix D – Zone Amending Bylaw No. 7539-2019
- Appendix E – Proposed Subdivision Plan
- Appendix F – Preliminary Environmental Context Map
- Appendix G – Development Information Meeting Feedback





### Legend

-  Stream
-  Ditch Centreline
-  Edge of River
-  Indefinite Creek
-  Lake or Reservoir
-  River
-  Major Rivers & Lakes



Scale: 1:5,000

11795 267 St, PID 007-976-640  
11839 267 St, PID 011-231-386

PLANNING DEPARTMENT



MAPLE RIDGE

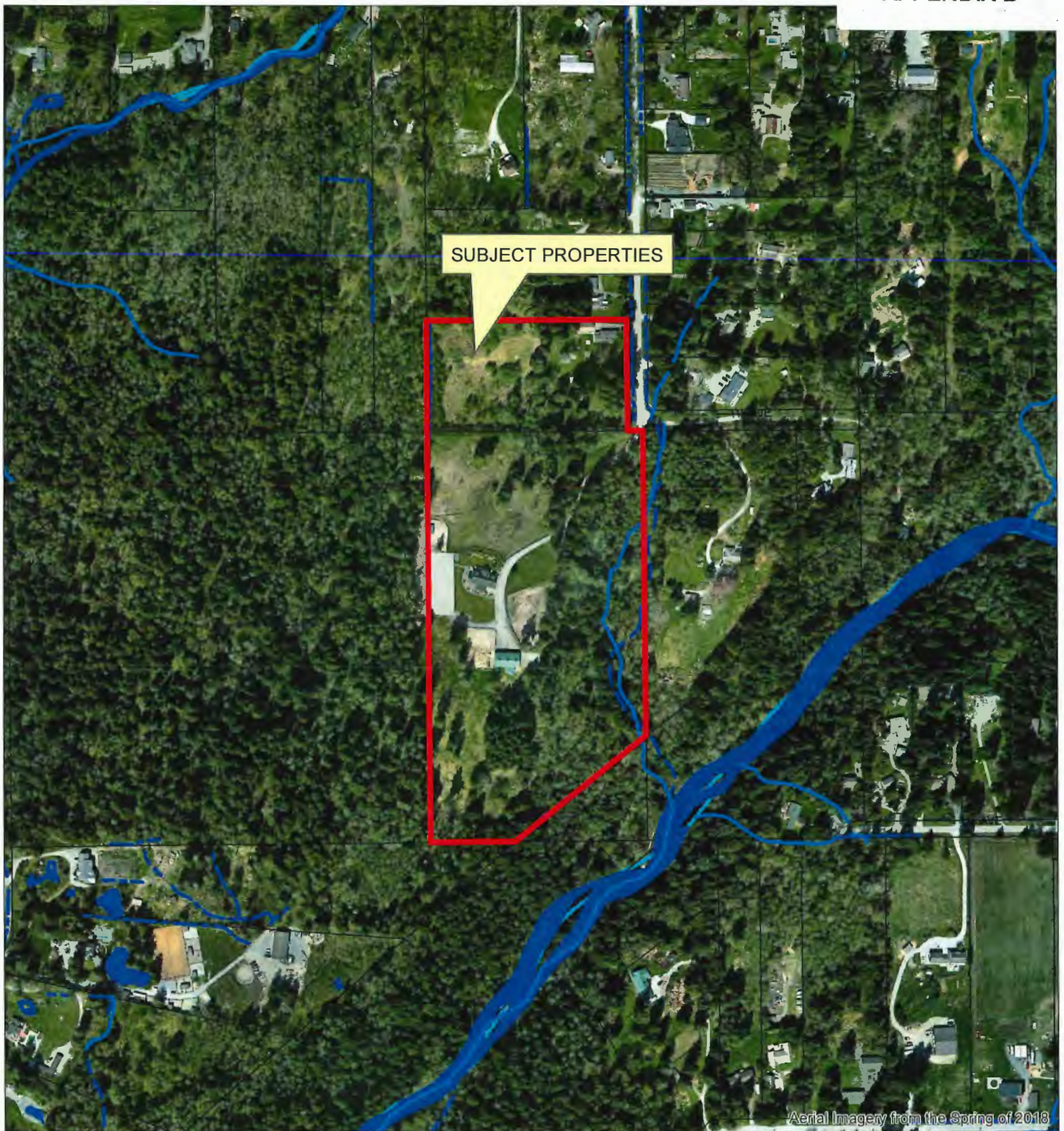
British Columbia

[mapleridge.ca](http://mapleridge.ca)

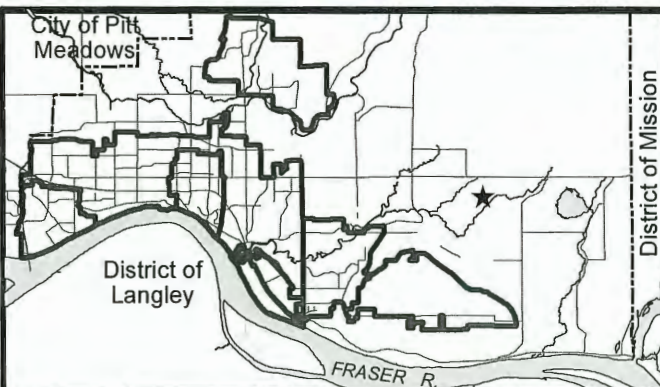
FILE: 2019-055-RZ  
DATE: Feb 14, 2019

BY: MC





Scale: 1:5,000



11795 267 St, PID 007-976-640  
11839 267 St, PID 011-231-386

PLANNING DEPARTMENT



MAPLE RIDGE  
British Columbia

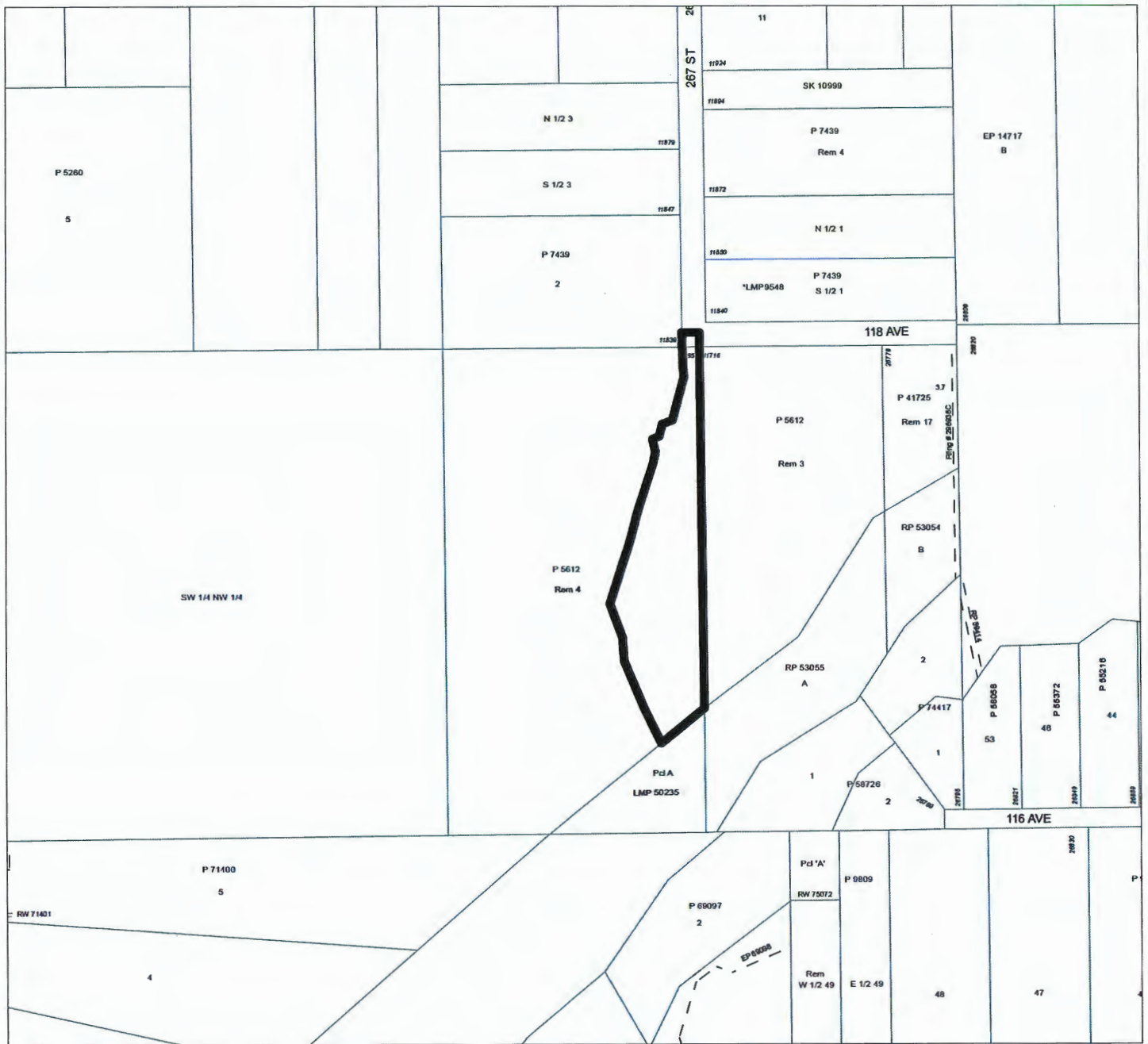
[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-055-RZ  
DATE: Feb 14, 2019

BY: MC



CORPORATE OFFICER



# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7834-2022  
 Map No. 1055  
 From: Suburban Residential  
 To: Park





**CITY OF MAPLE RIDGE  
BYLAW NO. 7539-2019**

A Bylaw to amend Schedule "A" Zoning Map forming part of  
Zoning Bylaw No. 7600-2019 as amended

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7539-2019."
2. Those parcels or tracts of land and premises known and described as:  
  
 Lot 2 Section 18 Township 15 New Westminster District Plan 7439;  
 Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235) Section 18 Township 15  
 New Westminster District Plan 5612  
  
 and outlined in heavy black line on Map No. 1793, a copy of which is attached hereto  
 and forms part of this Bylaw, are hereby rezoned to RS-2 (Single Detached Suburban  
 Residential).
3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Schedule "A" Zoning Map  
 attached thereto are hereby amended accordingly.

**READ** a first time the 9<sup>th</sup> day of April, 2019.

**READ** a second time as amended the            day of            , 20

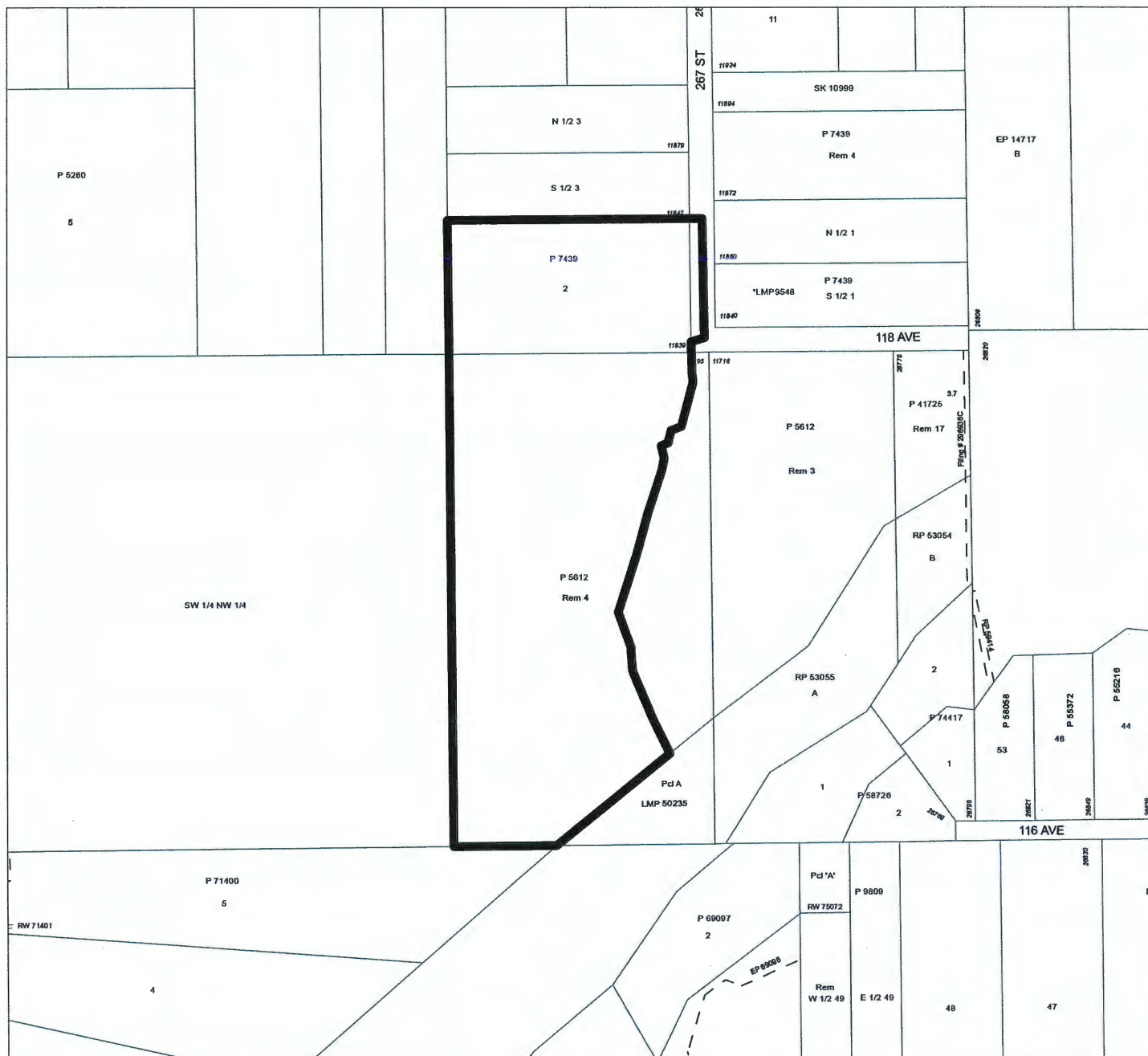
**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

**ADOPTED**, the            day of            , 20

\_\_\_\_\_  
**PRESIDING MEMBER**

\_\_\_\_\_  
**CORPORATE OFFICER**



# MAPLE RIDGE ZONE AMENDING

Bylaw No. 7539-2019

Map No. 1793

From: RS-3 (Single Detached Rural Residential)

To: RS-2 (Single Detached Suburban Residential)



SCALE 1:4,500

PROPOSED SUBDIVISION OF LOT 4 EXCEPT<sup>TM</sup> PARCEL A (STATUTORY  
RIGHT OF WAY PLAN LMP50235) PLAN 5612 AND  
LOT 2 PLAN 7439  
ALL OF SECTION 18 TOWNSHIP 15 NEW WESTMINSTER DISTRICT

DIVID ADDRESS:  
1178 867th Street, Maple Ridge, B.C.  
P.O. 007-878-610  
1183 867th Street, Maple Ridge, B.C.  
P.O. 011-231-368

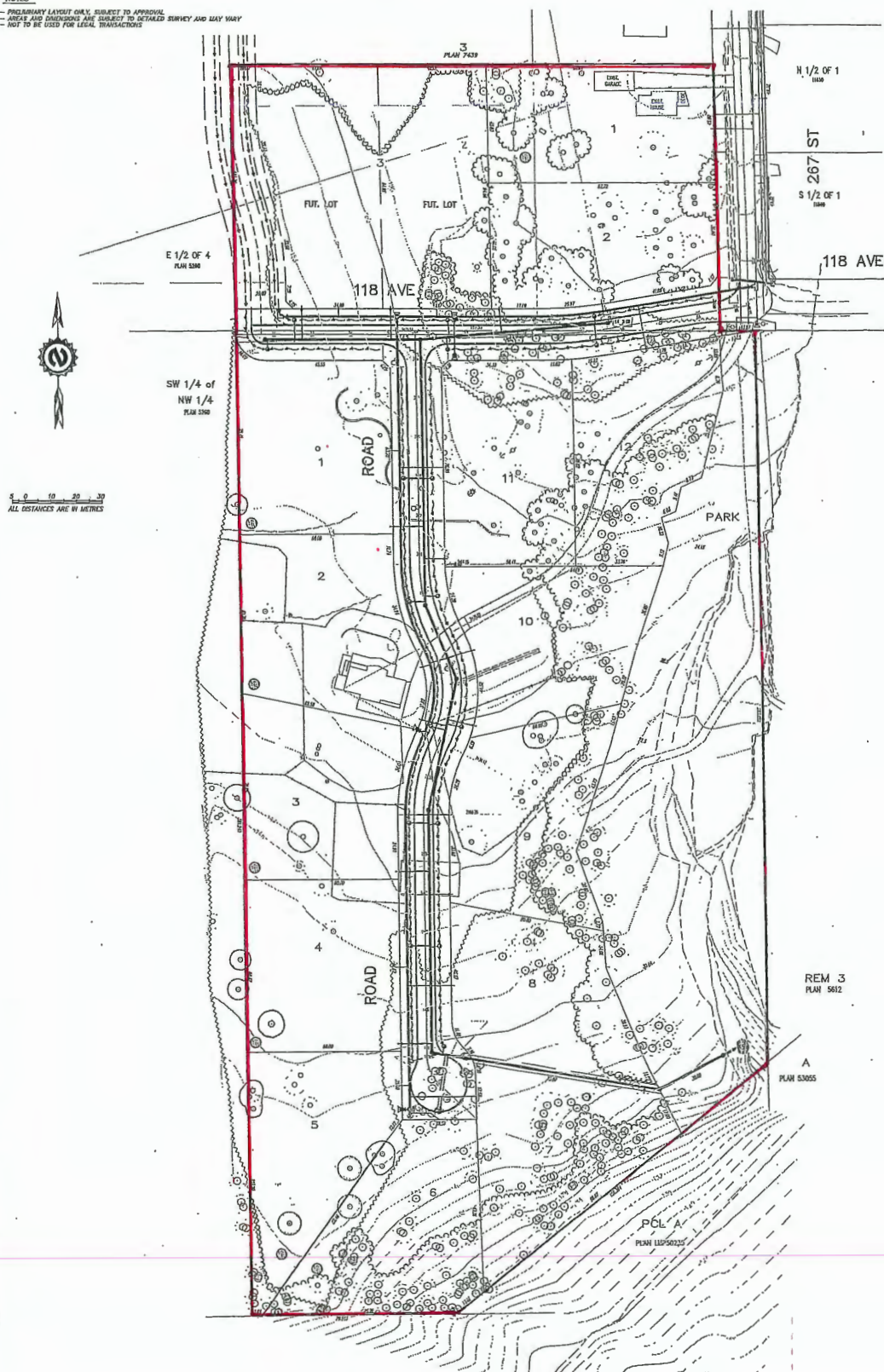
(DRAFT)

DECEMBER 21, 2015

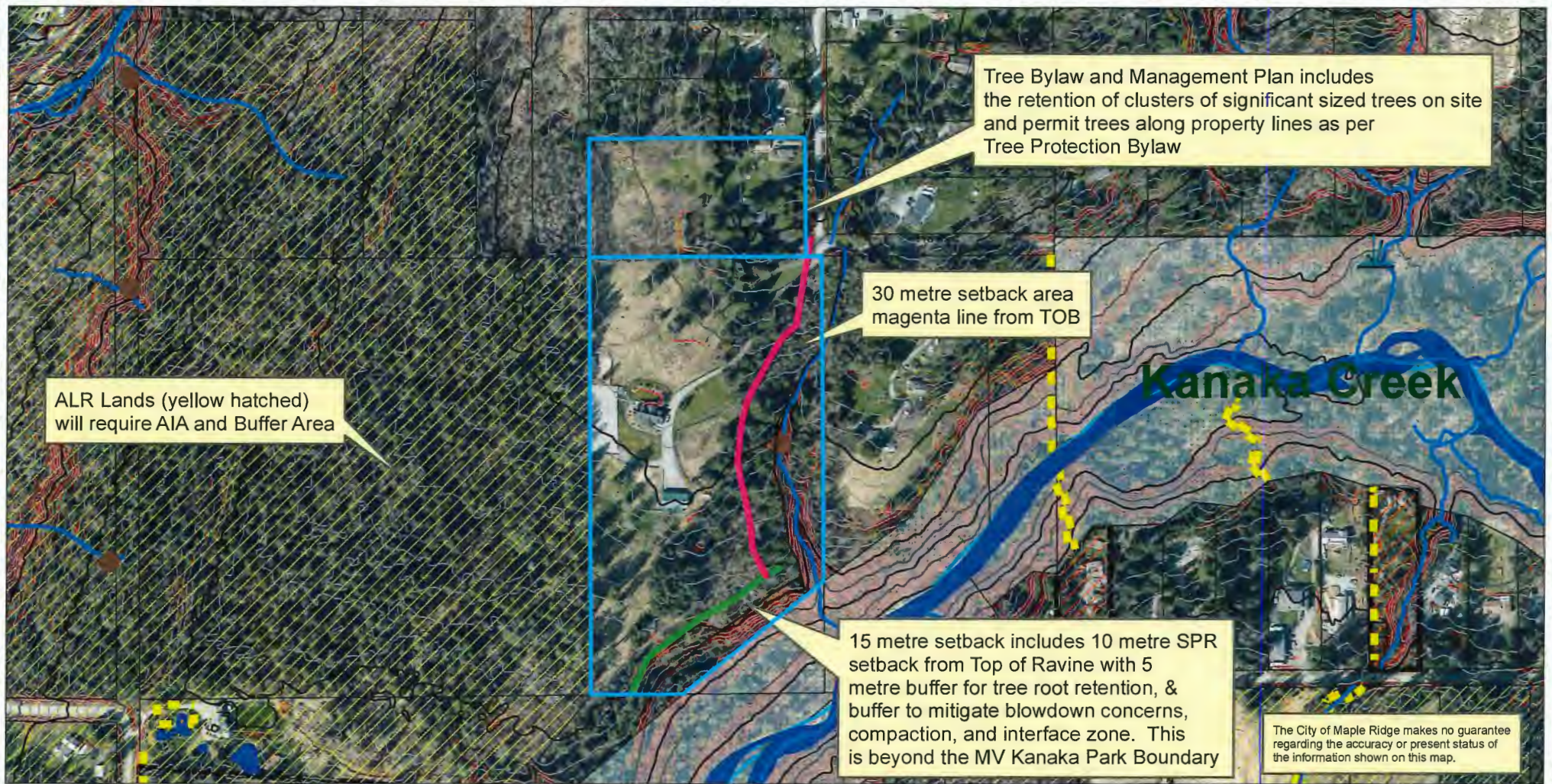
ALL LOTS COMPLY WITH RS-2  
- MINIMUM AREA: 0.40HA (4000 Sq.m.)  
- MINIMUM LOT WIDTH: 36.0m  
- MINIMUM LOT DEPTH: 60.0m  
\*\* LOT 9 WILL REQUIRE A D.V.P. MIN DEPTH 52.35m

## NOTES

- PRELIMINARY LAYOUT ONLY, SUBJECT TO APPROVAL
- AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL SURVEY AND MAY VARY
- NOT TO BE USED FOR LEGAL TRANSACTIONS













Scale: 1:5,000

### Legend

-  Culvert
-  Pond
-  Wetland
-  Stream
-  Encumbrance Edge
-  Flood/Drainage Problems

### Slope (2014 LiDAR)

- | Percent   |         |
|---|---------|
|  | 0 - 14  |
|  | 15 - 25 |
|  | 26 - 30 |
|  | 30+     |

Preliminary Site Context Map 1  
11795 & 11839 River Rd



FILE: Rods Subject Map3  
DATE: Jan 31, 2022

BY: [Redacted]





# APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

December 23, 2021

Maple Ridge File No.: 2019 - 055 - RZ

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC, V2X 6A9

**Attention: Therese Melser**

Dear Sir,

Re: Summary of Public Comment Opportunity (PCO) - File No. 2019 - 055 - RZ

Aplin & Martin Consultants Ltd as the agent on file for 2019 - 055 - RZ held a Public Comment Opportunity regarding subdivision application for the properties located at 11839 & 11795 267th Maple Ridge, BC.

The following is a summary of the conversations and comments received during the comment period, and afterward up to the date of this letter.

Date Range: December 8<sup>th</sup> - December 20<sup>th</sup>, 2021

Consultants: David Laird, Aplin & Martin Consultants Ltd

## NOTIFICATION

### Notification Decal

A Public Comment Opportunity (PCO) notification decal was posted on the site's development sign on **November 19, 2021** over ten days prior to the PCO date. The decal included the contact email and date range to submit comments.

A photo of the decal has been included in this summary.

### Newspaper Ad

A Public Comment Opportunity advertisement was published in two consecutive issues of the local newspaper, The Maple Ridge Pitt Meadows News, as per Maple Ridge Council Policy No. 6.20. The first ad was located on **Page A31 of the November 26<sup>th</sup>** issue and the second ad was located on page **A28 of the December 3<sup>rd</sup>** issue.

Copies of the newspaper ads are included in this summary.

### PCO Notification Letter

A list of **26 mailing labels** was prepared for all property owners and residents within 100 meters of the development site by the City of Maple Ridge. Aplin Martin mailed all 26 notification letters on **November 26, 2021**, over ten days in advance of the PCO date range, as per Maple Ridge Council Policy No. 6.20. A copy of the postcard mailout is included in this summary.

As of December 23, 2021, none (0) of the mailouts have been returned to Aplin Martin.

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## PCO RESULTS & ANALYSIS

During the comment date range, Aplin Martin received comments from various neighbours regarding the proposed development.

A copy of all emails sent in during the Public Comment Opportunity date range and our reply to any inquiries are included in this summary.

Should you have any further questions, please contact the undersigned at 604-817-4695 or at [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com).

Yours truly,

**APLIN & MARTIN CONSULTANTS LTD**



David Laird, P. Eng  
Project Manager

DL:CC  
Enclosures  
15-144 - PCO Summary for 11839 & 11795 267th Maple Ridge, BC - City No. 2019 - 055 - RZ

# APPENDIX I:

---

Development Sign Decal  
Installed November 19, 2021



Nov. 19/ 2021

# DEVELOPMENT APPLICATION

11839 & 11795 267 STREET  
NO. 2019-055-RZ

## PROPOSED REZONING

From RS-3 to RS-2 to allow  
the future subdivision into  
approximately 15 lots.

Minimum lot size: 0.4 ha.

## LOCATION



## PROPOSED SUBDIVISION



**APPLICANT:**  
Apex & North Development  
504.812.6805  
info@apexnorth.com  
www.apexnorth.com

**PLANNING DEPARTMENT:**  
604.467.7341  
planning@fraser.ca  
planning@fraser.ca  
LandDevelopment@fraser.ca

SEE PART OF  
THE PROJECT

Project subject to a development agreement with the City of Fraser  
approved December 18 - December 19, 2019



# APPENDIX II:

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November 26<sup>th</sup> and December 3<sup>rd</sup>  
Newspaper Ads

### Real Estate

#### Mobile Homes & Parks

A-Frame Cabin Kits,  
\$6,750.00, call Archie 604-  
754-4076 dwellyframes.ca

**Tiny House Sale!!**  
Homes ready to deliver  
starting at:  
\$32,500.00,  
Contact Archie  
604-754-4076 or  
archie@dwellytech.ca

### Real Estate

**DIFFICULTY SELLING?**  
WE BUY HOMES  
Any Situation, Any Condition  
604-812-3718  
GVCPS INC. / gvcps.ca

### Rentals

#### Apt/Condo for Rent

**Polo Club Apartments**  
19071 Ford Rd.  
Pitt Meadows  
Clean, Quiet,  
Well Maintained Bldg.  
3 Blocks to W.C. Express  
• 1-2 Bdrm Suites • 3 appl.  
• Secured Garage Parking  
• Adult Oriented • Ref's.  
• Absolutely No Pets  
604.465.7221

Ridgewood Place 12161  
223 St. BRAND NEW 1,2 &  
3 Bdrm Condos 4 rent.  
Free Amenities incl Gym &  
more! ridgewoodplace.ca  
604-861-7541

#### Rooms for Rent

**\$75 OFF**  
**1ST MONTH**  
Rooms from \$485/mo.  
Fully Furn, weekly maid  
service, cable TV,  
private bath, on bus  
route, 5/min walk to  
commuter rail.  
Haney Motor Hotel  
22222 Lougheed Hwy.,  
Maple Ridge  
Inquire in person btwn  
9am - Noon or  
Call 604-467-3944

**LOCATION  
LOCATION  
LOCATION  
FEATURES  
FEATURES  
FEATURES  
PRICE  
PRICE  
PRICE**

### Legal

#### Legal Notices

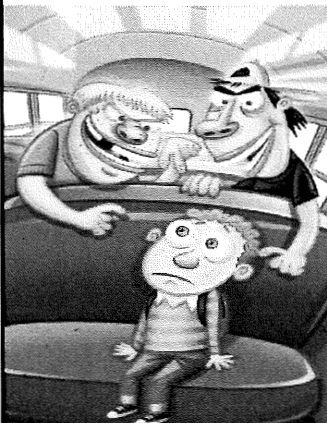
## WAREHOUSE LIEN

Maple Ridge Towing (1981) LTD,  
23283 McKay Ave, Maple Ridge BC  
will auction the following vehicles on  
December 10, 2021 for non-payment.

2000 Chevrolet Silverado 2500 VIN# 1GCGC24U3YE241855 Debtor: Mary Cecelia Morris Amount Owning: 3,826.72	2007 Honda Accord VIN# 1HGC M66507A802397 Debtor: Gledinning-Anthony Janessa Amount Owning: 1,898.02
2003 GMC Savana 2500 VIN# 1GTGG25U531199563 Debtor: Asgard Glass And Property S Amount Owning: 7,301.67	2007 Kia Sportage VIN# KNDJE723977309991 Debtor: Shalynn Holdsworth Amount Owning: 2,036.29
1979 Kawasaki VIN# KZT00E000655 Debtor: Stenback Walter Brent Amount Owning: 2,577.06	2000 BMW 3 Series VIN# WBAAM3349YKC73544 Debtor: William Goddard Amount Owning: 2,958.15
2010 Mazda 5 VIN# JM1CR2W39A0379324 Debtor: Benjamin Francis Yull Amount Owning: 2,117.69	2013 Dodge Avenger VIN# 1C3CDZC86DN759543 Debtor: GD Auto Finance Inc Amount Owning: 10,415.75

**1800 668 6868**  
**KidsHelpPhone.ca**

**Kids Help Phone**  
**Stop Bullies in**  
**their Tracks!**



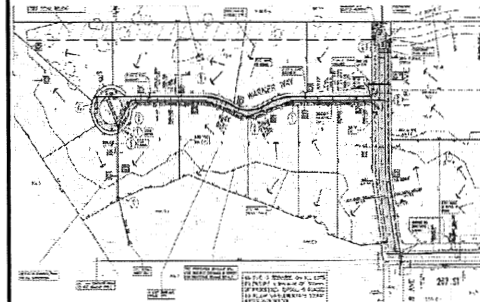
### Legal

#### Legal Notices

## PUBLIC COMMENT OPPORTUNITY FOR PROPOSED DEVELOPMENT

11839 & 11795 267 STREET, MAPLE RIDGE, BC

You are invited to participate in a Public Comment Opportunity where representatives from Aplin Martin will be available by phone and email to provide details on the Rezoning Application 2019-055-RZ.



### PROPOSED DEVELOPMENT PLAN

#### HOW TO SUBMIT COMMENTS:

P: 604-817-4695  
E: [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

Submit your comments between Wednesday, December 8th and Monday, December 20th 2021.

#### FOR MORE INFORMATION:

Aplin Martin David Laird, Project Engineer 604-817-4695 <a href="mailto:dlaird@aplinmartin.com">dlaird@aplinmartin.com</a>	City of Maple Ridge Planning Department 604-467-7341 <a href="mailto:planning@mapleridge.ca">planning@mapleridge.ca</a>
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**PREVENTING CANCER**

**Get involved Live well Be aware Get involved Live well Be aware Get involved Live well Be aware**

Contact the **Canadian Cancer Society**  
for more information: 1.888.939.3333

Help protect our wildlife and forests by reporting illegal hunting, fishing, dumping waste and damage to natural habitat's.

**Report All Poachers and Polluters (RAPP)**

**1-877-952-7277 or #7277**

Call the anonymous tip line

**LOOKING FOR A NEW CAREER?**  
**CHECK OUT LOCALWORK.CA!**







## Sto:lo Aboriginal Skills & Employment Training (SASET)

Employment Assistance services are provided for Indigenous individuals who are under unemployed residing in the service area that extends from Katzie to Boston Bar and 3 FN communities of Samahquam, Skatin and XA'xtsa. Full-time services are provided at Sto:lo Nation on Vedder Road in Chilliwack, at Seabird Island and Sts'ailes First Nation. Part-time services are provided throughout the catchment area, for more information of the services you can access please call 604-858-3691, toll free at 1-888-845-4455 to speak to an employment counselor or visit the SASET website at [www.saset.ca](http://www.saset.ca) for more information. SASET is here to assist you with your employment & training needs. Don't forget to friend us on Facebook at SASET EAS for the latest in job postings and training program information.



### Sto:lo Aboriginal Skills & Employment Training

Bldg #5A - 7201 Vedder Road, Chilliwack, B.C. Canada V2R 4G5  
Tel: (604) 858-3691 or toll-free 1-888-845-4455 Fax: (604) 858-3528  
E-mail: [info@saset.ca](mailto:info@saset.ca)

November 24, 2021

#### EMPLOYMENT RESOURCE ROOM/RECEPTIONIST (EXTERNAL)

Sto:lo Nation requires the services of a qualified administrative Resource Room/Receptionist to fill a vacancy with the Sto:lo Aboriginal Skills & Employment Training (SASET) Department. Pursuant to section 41 of the BC Human Rights Code, preference may be given to applicants of Aboriginal ancestry. Please self-identify on your cover letter or resume.

The Resource Room/Receptionist will: a) provide professional courteous reception and resource room greetings referring clients to the employment services as required; b) promote programs and initiatives supported by the Indigenous Skills & Employment Training (ISET) funding agreement; c) provide administrative support to the Outreach Supervisor; d) maintain resource room, classrooms information boards in the employment resource centre and e) maintenance and archival of Employment Resource Centres filing systems.

The successful candidate will work out of the Central (Chilliwack) office.

#### QUALIFICATIONS/REQUIREMENTS:

- Post-Secondary education and/or equivalent 2 years of training and experience in administrative support and reception/resource room duties.
- Familiarity with the Indigenous Skills & Employment Training Contribution Agreement (ISET CA), SASET catchment area, First Nation Community's culture, and working knowledge of First Nations economic, social, and political issues.
- Must have strong professional written and verbal communications skills.
- Willingness to expand their skills set if required by SASET funded professional development.
- Strong computer skills: MS Word, MS Excel, data base and organizational and multi-tasking abilities.
- Ability to maintain a healthy courteous working relationship with staff, community staff, members, and representatives of other organizations; adhere to the confidentiality guidelines of all records, materials and communications concerning clients, staff, SASET and Sto:lo Service Agency/Nation.
- Successful candidates will be required to provide the following if screened in for an interview:
  - Must possess and maintain a valid Class 5 BC Drivers' License
  - Must successfully pass the required pre-employment RCMP Criminal records Check.

#### SALARY RANGE:

Based on qualifications and experience.

#### TYPE OF POSITION:

Full-time with benefits, subject to 3-month probationary period, successful annual performance evaluations and continued funding.

APPLICATIONS DEADLINE: 4:00 pm January 14<sup>th</sup>, 2022

Candidates will be screened according to the qualifications/requirements. Interested candidates are required to submit a resume and covering letter. Please include position title on subject line. Send to:

Sto:lo Aboriginal Skills & Employment Training  
Attention: Director Anna Celesta  
Bldg. #5A 7201 Vedder Road  
Chilliwack, BC V2R 4G5  
Email: [anna.celesta@saset.ca](mailto:anna.celesta@saset.ca)

For more information about this and other employment opportunities, visit [www.stolonation.bc.ca](http://www.stolonation.bc.ca) or [www.saset.ca](http://www.saset.ca)

We regret that we will only respond to those applicants chosen for an interview. We thank all applicants for their interest.

#### Family Announcements

#### In Memoriam Gifts

**RIDGE MEADOWS HOSPITAL FOUNDATION**  
SUPPORTING THE BEST IN HEALTH

The Foundation appreciates your thoughtful support. Please call or mail with:

Name of deceased  
Name and address of next of kin  
Name and address of donor for tax receipt

**Ridge Meadows Hospital Foundation**  
PO Box 5000  
Maple Ridge, BC V2X 7G5  
Telephone 604.463.1822  
[www.rmhfoundation.com](http://www.rmhfoundation.com)

**CHANGING LIVES AT**  
Ridge Meadows Hospital  
Bullitt House  
McKenney Creek Hospice  
Home & Community Care  
Public Health  
Mental Health Substance Abuse

#### Community Announcements

#### Cards of Thanks

**PRAYER TO THE HOLY SPIRIT**

Holy Spirit: You who makes me see everything and who shows me the way to reach my ideal. You who gives me the divine gift to forgive and forget from all that is done to me and You who are in all instance of my life with me. I, in this short dialogue want to thank you for everything and confirm once more that I never want to be separated from You no matter how great the material desires may be. I want to be with You and my loved ones in your perpetual glory. A person may pray this prayer 3 consecutive days without asking for their wish, after the third day their wish will be granted, no matter how difficult it may be and promise to publish this dialogue as soon as your favour is granted. Amen.

100s of JOB Vacancies  
[www.localwork.ca](http://www.localwork.ca)

#### Employment

#### Career Opportunities

Multi-axle Lowbed and Sow Bed Operators  
Mamic Transport Ltd located in beautiful Chetwynd BC is looking for multi-axle lowbed and sow bed operators for full time work. High mountain /steep terrain experience a must, clean abstract, oilfield safety tickets, pre-employment testing, Shift and accommodations available with great compensation & benefits package. 250-788-5261

#### JAMIE'S PROFILE CLEANING INC.

#### Now Hiring!!! Cleaning Supervisor

Permanent Full Time, Work Detail:  
1am - 9am Monday to Friday, Requires driving from various sites.

For more info email: [info@profileclean.com](mailto:info@profileclean.com)

#### Employment

#### Farm Workers

**FARM WORKERS**  
required by OLERA ORGANIC FARMS to start early May, 2022. General Labour. Must be willing & able to work outside & lift up to 50 pounds. Salary \$15.20/hour to start. [olerafarms@shaw.ca](mailto:olerafarms@shaw.ca)

#### Trades, Technical

**EXCAVATOR OPERATORS REQUIRED**  
With minimum 5 Years experience. Fax: 604-460-7853 Email: [wmader@telus.net](mailto:wmader@telus.net)

**PIPELAYERS**  
Experienced Pipers for Residential Drain Tile & Sewer Connections Required for Job Sites in the Lower Mainland. Fax resume to: 604-460-7853 or email: [wmader@telus.net](mailto:wmader@telus.net)

#### Legal

#### Legal Notices

#### Legal

#### Legal Notices

#### Legal

#### Legal Notices

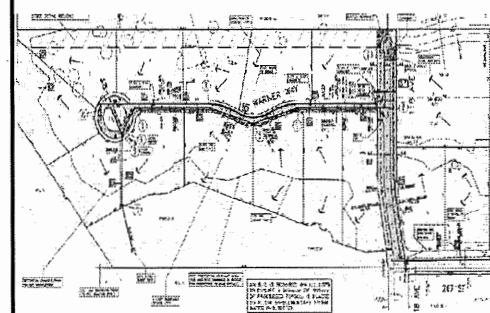
#### Legal

#### Legal Notices

## PUBLIC COMMENT OPPORTUNITY FOR PROPOSED DEVELOPMENT

11839 & 11795 267 STREET, MAPLE RIDGE, BC

You are invited to participate in a Public Comment Opportunity where representatives from Aplin Martin will be available by phone and email to provide details on the Rezoning Application 2019-055-RZ.



The purpose of the application is to develop 11839 & 11795 267th Street, Maple Ridge, BC into fifteen (15) single family lots (3 Fee Simple and 12 Bareland Strata).

The intent of this Public Comment Opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

Your comments and questions are important to us.

### PROPOSED DEVELOPMENT PLAN

#### HOW TO SUBMIT COMMENTS:

P: 604-817-4695  
E: [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

Submit your comments between Wednesday, December 8th and Monday, December 20th 2021.

#### FOR MORE INFORMATION:

Aplin Martin  
David Laird, Project Engineer  
604-817-4695  
[dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

City of Maple Ridge  
Planning Department  
604-467-7341  
[planning@mapleridge.ca](mailto:planning@mapleridge.ca)



# APPENDIX III:

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## Postcard Notification



# APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

201 - 12448 82 Avenue Surrey BC V3W 3E9

## PUBLIC COMMENT OPPORTUNITY

**for the Proposed Development at 11839 & 11795 267th Street, Maple Ridge, BC | File No. 2019 - 055 - RZ**

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 11839 & 11795 267th Street, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

**PUBLIC COMMENT OPPORTUNITY DATE RANGE:**

**Wednesday, December 8th - Monday, December 20th**

**EMAIL FOR INFO OR TO PROVIDE COMMENTS:**

David Laird, Project Manager  
Aplin & Martin Consultants Ltd  
dlaird@aplinmartin.com | 604-817-4695

ADDRESS LABEL  
HERE



# APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

201 - 12448 82 Avenue Surrey BC V3W 3E9

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**for the Proposed Development at 11839 & 11795 267th Street, Maple Ridge, BC | File No. 2019 - 055 - RZ**

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David Laird, Project Manager  
Aplin & Martin Consultants Ltd  
dlaird@aplinmartin.com | 604-817-4695

ADDRESS LABEL  
HERE



# PUBLIC COMMENT OPPORTUNITY | File No. 2019-055-RZ

11839 & 11795 267th Street, Maple Ridge, BC

## OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

Current: Suburban Residential  
Proposed: Suburban Residential

## ZONING

Current: RS-3  
Proposed: RS-2

## # OF LOTS

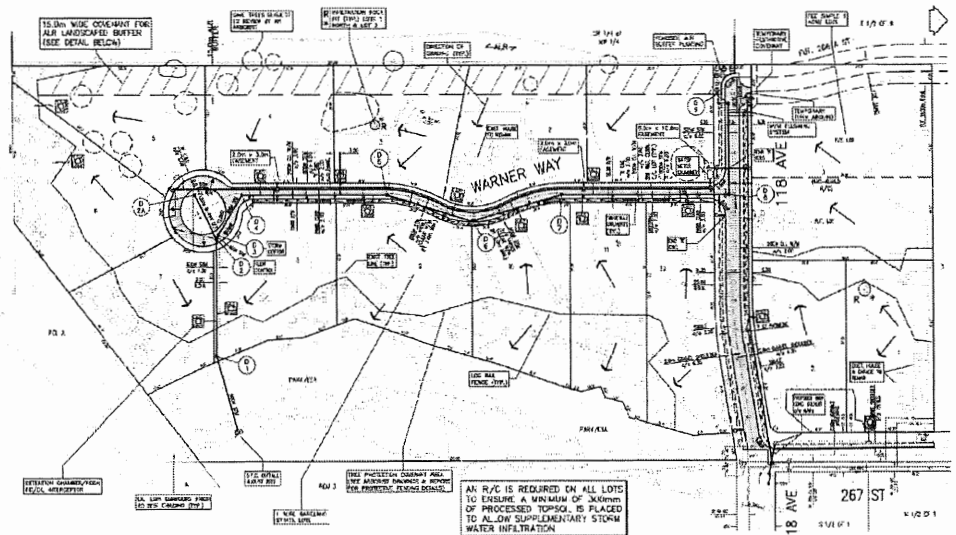
Current: 2  
Proposed: 15  
(3 Fee Simple and 12 Bareland Strata)

## PROPOSED LOT SIZE RANGE

Current: 95,500 sq. m.  
(entire subject site)

Proposed: minimum 4,000 sq. m.

Your thoughts are important to us. If you require additional information or and/or would like to provide your comments, please do not hesitate to contact David Laird at [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com) or 604-817-4695 or the City of Maple Ridge Planning Department at 604-467-7341 or [planning@mapleridge.ca](mailto:planning@mapleridge.ca).



# PUBLIC COMMENT OPPORTUNITY | File No. 2019-055-RZ

11839 & 11795 267th Street, Maple Ridge, BC

## OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

Current: Suburban Residential  
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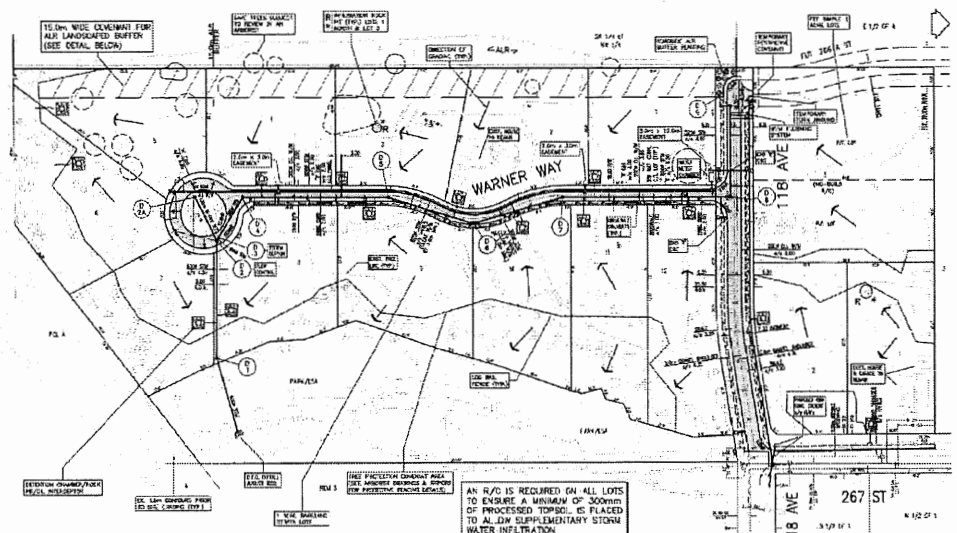
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(entire subject site)

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# APPENDIX IV:

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## Emails from Neighbours and Our Responses

## David Laird

---

**From:** David Laird  
**Sent:** December-19-21 10:21 PM  
**To:**  
**Subject:** RE: 11839 & 11795 267th Street, Maple Ridge, BC

Thanks for your support.  
Dave

**From:**  
**Sent:** December-19-21 6:57 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** 11839 & 11795 267th Street, Maple Ridge, BC-

---

[EXTERNAL]

---

Dear David,

Thank you for taking the time to review my comments regarding the proposed development for 11795 267th Street.

My husband and I have invested countless hours discussing our dreams of living in this beautiful area, building and being a part of this unique community and raising our three young children here.. Growing up surrounded by nature on a sizeable piece of land I can see first hand the benefit that it had on my upbringing and truly look forward for our kids having a similar experience.

We often look at this raw land and already feel like it's our home.

I can confidently say that this new development and those that are comparable would be an asset to the city of Maple Ridge and the families that live here.

Best Regards,

*Bringing you home*



## David Laird

---

**From:** David Laird  
**Sent:** December-19-21 10:16 PM  
**To:**  
**Subject:** RE: Feedback on 267th street proposed subdivision

Thank you

**David Laird, | Project Manager**  
Office: 604-597-9058 | Cell: 604-817-4695

APLIN & MARTIN CONSULTANTS LTD. | WWW.APLINMARTIN.COM  
3862 W 14 Ave, Vancouver, BC, V6R 2W9



**APLIN MARTIN**

ENGINEERING ARCHITECTURE PLANNING SURVEYING

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**From:**  
**Sent:** December-19-21 6:48 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** Feedback on 267th street proposed subdivision

---

[EXTERNAL]

---

Good morning David

Thank you for providing us an opportunity to give some feedback on the proposed subdivision at 267th street Maple Ridge File No. 2019 - 055 - RZ

I wanted to send a note that we are excited, and have been looking for a subdivision that will allow us to have a private one acre estate to raise our young family. We have been looking for a quiet neighbourhood outside of downtown while still being in reach of city services and shops and feel creating this community in East Maple Ridge will provide just this. We feel this sort of development is essential to attract growing families to the community, as well as giving those of us who have grown up in Maple Ridge, a logical reason to stay.

As shown we are highly supportive of this development.

Thank you for your consideration

## David Laird

---

**From:**  
**Sent:** December-20-21 2:17 PM  
**To:** David Laird  
**Cc:**  
**Subject:** Re proposed development at 11839 & 11795 267th

[EXTERNAL]

Hi David,

I'm writing in response to your invitation for public comment regarding the above-noted development proposal. I understand you're looking primarily for input from area residents, which I am not, but perhaps my input will still be considered. I live in Port Moody with my husband and 3 small children and we hope to purchase a lot and move to Warner Way if the development proceeds.

One of the two couples spearheading this project, the \_\_\_\_\_ are my in-laws. Our hope is for them, us, and my sister-in-law and her young family (currently living in Poco) to each purchase lots in this development. We are aware of another young family, including the adult daughter of the other couple involved in this project, who plan to live there too. We're young professionals who take excellent care of, and pride in, our homes, our yards and our environment. If this development proceeds, there's no doubt it will be a warm, well-kept, family-focused and close-knit community that will serve and represent Maple Ridge well.

It's also a once-in-a-lifetime opportunity for our family to all live so close together, in nature, and be able to be integral parts of each others' lives. We are really hopeful and excited about this development and opportunity.

Yours truly,

**David Laird**

---

**From:**  
**Sent:** December-14-21 9:45 AM  
**To:** David Laird  
**Subject:** Proposed development at 11839 and 11795 267th street, Maple Ridge

---

[EXTERNAL]

---

To whom it may concern

We are sending this email in our support for proposed development at 11839 and 11795 267th street, Maple Ridge. Our property is on , Maple Ridge and is adjacent to the proposed development.

Regards

Get [Outlook for Android](#)

**David Laird**

---

**From:** David Laird  
**Sent:** December-18-21 11:26 AM  
**To:**  
**Subject:** RE: 267th Subdivision Comments

Thank you  
Dave

-----Original Message-----

**From:** !  
**Sent:** December-18-21 11:12 AM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** 267th Subdivision Comments

[EXTERNAL]

Hello,

I am writing to show my support & excitement for the subdivision proposed on 267th in Maple Ridge. I feel this subdivision is important for east Maple Ridge & am in full support in seeing this development happen. Growing up & living in east Maple Ridge, this is the type of development our community needs to continue to attract the type of people who appreciate & give back to this beautiful area.

Kind regards,



## David Laird

---

**From:** David Laird  
**Sent:** December-18-21 11:24 AM  
**To:**  
**Subject:** RE: Public Comment on 2019-055-RZ

Thanks  
Please see my comments below in UPPER CASE  
Dave

**David Laird, | Project Manager**  
Office: 604-597-9058 | Cell: 604-817-4695

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3862 W 14 Ave, Vancouver, BC, V6R 2W9



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-----Original Message-----

**From:**  
**Sent:** December-18-21 10:57 AM  
**To:** David Laird <DLaird@aplinmartin.com>; planning@mapleridge.ca  
**Subject:** Public Comment on 2019-055-RZ

[EXTERNAL]

This development will double the number of residential units on 267 St.

Our concerns are:

1. Will the new units be required to contribute their share of the funding that was required to install the water line along 267 St? Will the past contributors get a refund or will the development just free load on the current residents?  
I DON'T THINK THE CITY WOULD ORGANISE A REFUND PROGRAM BUT IT MIGHT BE WORTH YOUR WHILE TO CHECK WITH THEM.  
BECAUSE IT'S A LONG DEAD END PIPE THE DEVELOPMENT WILL BE INSTALLING A FLUSHING SYSTEM WHICH WILL IMPROVE THE QUALITY OF YOUR WATER. THE DEVELOPER WILL BE PAYING A YEARLY MAINTENANCE FEE TO THE CITY FOR THIS.
2. Many new residential developments, like that on the corner of 264 St and DTR, have excess lights on during the night. Will there be any restrictions in this development to mitigate the effect on wild life.  
THERE WILL BE LESS LIGHTS THAN A NORMAL SUBDIVISION AS 12 OF THE LOTS WILL BE BARE LAND STRATA WITH A PRIVATE ROAD. MOST OF THE LIGHTING WILL BE FROM EACH INDIVIDUAL HOUSE.  
NEARLY 50% WILL BE PROTECTED AS PARK OR COVENANT. THIS WILL LEAVE WILDLIFE CORRIDORS.

3. Will the development be staged to reduce the amount of construction traffic on 267 St?

NO IT WILL BE BUILT IN ONE STAGE, WOULD IT NOT BE BETTER TO GET THE INCREASED TRAFFIC OVER AND DONE WITH?

4. What is the difference between Fee Simple and Bareland Strata lots?

Will the Bareland Strata lots be owned and maintained by the home occupants?

If there is a holding/maintenance company for the lots, who will own the lots?

FOR BARELAND EACH LOT IS 100% OWNED BY THE RESIDENT AND EACH OWNS A 1/12 TH SHARE OF THE PRIVATE ROAD AND SHARES THE MAINTENANCE COSTS.

FOR FEE SIMPLE THE OWNER PAYS THE CITY WITH PROPERTY TAXES TO MAINTAIN THE ROADS AND SERVICES.

THE BARELAND WILL ALSO PAY THESE PROPERTY TAXES TO THE CITY EVEN THOUGH THERE WILL BE LESS MAINTENANCE COSTS.

Maple Ridge, BC

David Laird

---

**From:**  
**Sent:** December-09-21 4:58 PM  
**To:** David Laird  
**Subject:** Re: Development proposal 2019-055-RZ; 11839 & 11795 267 St., Maple Ridge

---

[EXTERNAL]

---

Hi Dave,

You're very welcome.

Dave, it time to start looking at ALL trips, not just trips commuting to work. About **68%** of ALL trips originating in Maple Ridge, end in Maple Ridge. All those trips matter. Many of them are made by those who can't drive, don't want to drive or **don't need to** drive. According to CleanBC Road Map to 2030 we need to reduce the kilometers traveled by private motor vehicle (whether fossil fuel powered or electric) by 25% by 2030. Building more subdivisions such as the one you're proposing is most certainly not going to help. It's not just this subdivision. It's any subdivision like it.

I agree with you that it's unfortunate that many people leave Maple Ridge to go to work every day, but that's a different issue, and that has nothing to do with this development proposal.

With kind regards,

On Thursday, December 9, 2021, 03:34:34 p.m. PST, David Laird <dlaird@aplinmartin.com> wrote:

Thank you for your comments.

You make some good points.

Would it be right to point out ,however,that about 65% of people who live in Mapleridge work out side the City.

Not denying that there is a long distance to downtown Mapleridge from this development but do you not think that the number of cars from this subdivision pall in comparison to the number of cars that leave the City everyday to go to work else where. Is that not a much bigger issue? I'm not saying two wrongs make a right.

I will pass your comments on to the City at the end of the review period.

You will have an opportunity later to express your concerns to Council at the Public Hearing-probably in March next year.

Please give me a buzz if you'd like to talk more.

OK?

Thanks

Dave Laird 604 817 4695

**David Laird, | Project Manager**  
Office: 604-597-9058 | Cell: 604-817-4695

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**From:**  
**Sent:** December-09-21 2:11 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** Development proposal 2019-055-RZ; 11839 & 11795 267 St., Maple Ridge

---

[EXTERNAL]

---

Dear Mr. Laird,

Our community absolutely needs to get serious about reducing its energy use and greenhouse gas emissions. This proposed development is problematic, a.o. as it relates to transportation. The 15 or 16 suburban 1-acre lots that you propose to develop are about 9 kms from downtown Maple Ridge (as the crow flies), and the nearest supermarket is a 6 km drive away. There aren't any other amenities nearby and anywhere that the residents of this subdivision need to go, they need to drive.

Furthermore, what tends to happen with 1 acre lot subdivisions, much of the area will be cleared of trees and shrubs to make way for expansive lawns, which often tend to be mowed and watered. Trees are carbon sinks and should be preserved as much as possible. Mowing lawns is a wasteful use of energy, and watering lawns is a very wasteful use of water in periods of drought. We are being told that we should expect increasingly drier and hotter summers, so this is a bad idea.



This is not the right location for a subdivision and I do not support it.

With kind regards,

Maple Ridge



**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **Second Reading**  
**Zone Amending Bylaw No. 7699-2021**  
**10366 240 Street**

**MEETING DATE:** June 7, 2022  
**FILE NO:** 2020-413-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 10366 240 Street, from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential), to permit the future construction of approximately 30 townhouse units. Council granted first reading to *Zone Amending Bylaw No. 7699-2021* on January 26, 2021. The minimum lot size for the RM-1 (Low Density Townhouse Residential) zone is 1,000m<sup>2</sup>. This application is in compliance with the Official Community Plan.

The application is proposing a density of 0.75 FSR, which is possible by utilizing the Albion Density Bonus provisions of the RM-1 (Low Density Townhouse Residential) zone. The applicant is enabled to increase the FSR from 0.60 to 0.75 in exchange for making a Density Bonus Amenity Contribution in accordance with Section 602 9 (1) of the Zoning Bylaw. This contribution is \$3,100 per unit (30 x \$3,100 per unit) for a total of \$93,000.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution Program at a rate of \$4,100 per townhouse dwelling unit, for an estimated amount of \$123,000, or such rate applicable at third reading of this application.

**RECOMMENDATIONS:**

1. That Zone Amending Bylaw No. 7699-2021 be given second reading and forwarded to Public Hearing;
2. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Road dedication on 240 Street, 240A Street and the Lane as required;
  - iii) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
  - iv) Registration of a Restrictive Covenant for the protection of Visitor Parking;
  - v) Registration of a Restrictive Covenant for Stormwater Management with a schedule describing maintenance requirements;

- vi) Removal of existing buildings;
- vii) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
- viii) That a voluntary contribution, in the amount of \$123,000.00 (\$4,100.00 x units), or such rate applicable at third reading of this application, be provided in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.
- ix) That a voluntary contribution under the Albion Density Bonus Program, in the amount of \$93,000.00 (\$3,100.00 x units).

## DISCUSSION:

### 1) Background Context:

Applicant:	Kunwar Bir Singh
Legal Description:	Lot A Section 3 Township 12 Plan NWP13554
OCP:	
Existing:	Medium Density Residential
Proposed:	Medium Density Residential
Within Urban Area Boundary:	Yes
Area Plan:	Albion Area Plan
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-2 (Single Detached Suburban Residential)
Proposed:	RM-1 (Low Density Townhouse Residential)
Surrounding Uses:	
North:	Use: Vacant Lots
	Zone: RM-1 (Low Density Townhouse Residential)
	Designation: Medium Density Residential
South:	Use: Single Family Residential and Multi-Family Residential
	Zone: R-3 (Single Detached (Intensive) Urban Residential and RM-1 (Low Density Townhouse Residential)
	Designation: Medium Density Residential
East:	Use: Multi-Family Residential
	Zone: RM-1 (Low Density Townhouse Residential)
	Designation: Medium Density Residential
West:	Use: Multi-Family Residential
	Zone: RM-1 (Low Density Townhouse Residential)
	Designation: Urban Residential
Existing Use of Property:	Vacant Lot
Proposed Use of Property:	Townhouse Development
Site Area:	0.647 ha
Access:	240A Street
Servicing:	Urban
Fraser Sewer Area:	Yes
Flood Plain:	No

## 2) Background:

The subject property is located at 10366 240 Street and is on the east side of 240 Street just south of 104 Avenue. The site is 0.649 ha. (1.6 acres) in size, sparsely treed and slopes gently down toward 240 Street from east to west. The site is surrounded by both multi-family townhouse development to the east and west, as well as intensive single family development to the south. The subject site is directly to the south of another recently approved Rezoning Application No. 2017-510-RZ, which proposes to construct approximately thirty-one townhouse units under the RM-1 (Low Density Townhouse Residential) zone.

## 3) Project Description:

The applicant is proposing a townhouse development with 30 units in five buildings as part of a rezoning of the property from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential). The proposed site will be one hooked strata lot across a newly dedicated portion of 240A Street. Access will be provided via two driveways off of 240A Street, one for each side of the strata. All of the townhouse units are three bedroom units that are clustered into five buildings.

The outdoor amenity areas are located on both the west and east sides of the site. The buildings are contemporary in style and three stories in massing with gable roofs. The proposed materials include cementitious board wall shingles and hardi panel.

## 4) Planning Analysis:

### i) Official Community Plan:

The development site is located within the Albion Area Plan and is currently designated *Medium Density Residential* (see Appendix B). The *Medium Density Residential* designation allows for a range of housing styles and densities, including smaller lot single detached housing, townhouse and duplex dwelling units.

The Albion Area Community Amenity Program provides the opportunity for a Density Bonus within a number of zones identified within the Albion Zoning Matrix. Within these zones, 'bonus' density may be achieved through a contribution toward community amenities that will be located within the boundaries of the Area Plan.

The applicant intends to take advantage of the Albion Area Community Amenity Program and Density Bonus Framework in Section 10.2.2 of the Albion Area Plan, which provides as follows:

***Albion Plan Policy 10 - 6*** Where the density bonus option is utilized in a multi-family development, the density bonus framework provisions established in the Maple Ridge Zoning Bylaw will apply to all dwelling units that exceed the base density permitted in the zone, in addition to the city-wide Community Amenity Program established in Official Community Plan Section 2.1.2 Compact and Unique Community.

***Albion Plan Policy 10 - 8*** A Density bonus will only be permitted on those lands that are located entirely within the boundaries of the Albion Area Plan and Urban Area Boundary.

***Albion Plan Policy 10 - 12*** The siting, form, character and massing of multi-family residential development and their areas for parking, storage and landscaping should be designed to facilitate orderly development of the area and to be compatible with single family residential developments.



ii) **Zoning Bylaw:**

This project requires a number of variances as described in other section 4 of this report.

For density, the site is eligible for the Albion Area Plan density bonus to allow the usual RM-1 (Low Density Townhouse Residential) density of 0.60 FSR to be increased to 0.75 FSR in exchange for contributing a Density Amenity Bonus Contribution in accordance with Section 617.5.2.a of RM-1 (Low Density Townhouse Residential). This amenity fee is \$3,100 per unit (30 times \$3,100 per unit) for a total of \$93,000.00.

iii) **Off-Street Parking and Loading Bylaw:**

The *Off-Street Parking and Loading Bylaw No. 4350 – 1990* requires that the RM-1 (Low Density Townhouse Residential) zone provide two off-street parking spaces per dwelling unit, plus 0.2 spaces per dwelling unit designated for visitors. As there are 30 dwelling units proposed, 60 resident parking spaces are required and provided. Furthermore, six visitor parking spaces are required, while a total of seven have been provided. One space for vehicles for people with disabilities is to be provided for developments that require 26 - 75 spaces. The development includes eight units with tandem parking, which is 26.6% of all units and within the 30% supported by City policy.

iv) **Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations to the Zoning Bylaw, the Off Street Parking and Loading Bylaw and the Subdivision and Development Servicing Bylaw:

The following setbacks in the RM-1 (Townhouse Residential District) Zone in *Maple Ridge Zoning Bylaw No. 7600-2019*, are requested to be varied:

- west (front yard) setback reduced from 7.5 metres to 3.47 metres;
- east (rear yard) setback reduced from 7.5 metres to 3.82 metres;
- north (side yard) setback reduced from 7.5 metres to 3.74 metres;
- south (side yard) setback reduced from 7.5 metres to 1.94 metres;
- building height increased from 9.5 metres to 11.0 metres; and
- to increase the maximum number of units in an attached townhouse dwelling block from six units to eight units.

The following variances to the *Off Street Parking and Loading Bylaw No. 4350-1990* are requested:

**Tandem Units**

- To reduce the minimum driveway apron length from 6.0 metres to 4.88 metres;
- To reduce the minimum single-car garage internal finished dimensions from 3.7 metres width to 3.5 metres; and
- To reduce the minimum single-car garage internal finished dimensions from 6.7 metres length to 6.11 metres.

**Side by Side Units**

- To reduce the minimum double-car garage internal finished dimensions from 6.5 metres width to 5.74 metres; and
- To reduce the minimum double-car garage internal finished dimensions from 6.7 metres length to 6.1 metres.

New Tandem Parking and Zoning Bylaw regulations have been adopted as part of the updated Tandem Parking Policy. The Zone Amending Bylaw and accompanying Policy were adopted June 22, 2021, and the Off-Street Parking Bylaw, specifying new garage dimension requirements was adopted on July 13, 2021. As this application had already received first reading from Council on January 26, 2021, it is being allowed to proceed under the previous regulations, however, a Development Variance Permit is still required.

The following variance to the *Subdivision and Development Servicing Bylaw No. 4800-1993* is requested:

The overhead wiring along 240 Street is to be varied by waving the requirement to convert the existing overhead utilities to underground wiring, in accordance with Council Policy 9.05 – Conversion of Existing Overhead Utility Wiring to Underground Wiring.

**v) Development Permits:**

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

**vi) Advisory Design Panel:**

The application was reviewed by the Advisory Design Panel at a meeting held on January 19, 2022 and their comments and the applicant's responses can be seen in Appendix G.

A detailed description of the projects form and character will be included in a future development permit report to Council.

**vii) Development Information Meeting:**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between April 11 and April 20, 2022. The developer received correspondence from three residents. A summary of the Public Comment Opportunity is attached to this report (see Appendix H).

**5) Interdepartmental Implications:**

**i) Engineering Department:**

The Engineering Department requires the following items be addressed:

- Road dedication as required to meet the design criteria of the Subdivision & Development Bylaw
- Utility servicing as required to meet the design criteria of the Subdivision & Development Bylaw

- Frontage upgrades to 240 Street to an urban arterial road standard including extension of the multi-use path
- Construction of a new lane and the extension of 240A Street to the applicable urban road standard

ii) **Fire Department:**

The applicant was provided with comments from the Fire Department about matters to be addressed through the Building Permit process.

6) **School District No. 42 Comments:**

A referral was sent to School District No. 42 and their response on how this development would affect student population for the catchment area is attached to this report (see Appendix I).

**CONCLUSION:**

It is recommended that second reading be given to *Zone Amending Bylaw No. 7699-2021* and that application 2020-413-RZ be forwarded to Public Hearing.

“Original signed by Rene Tardif”

---

Prepared by: **Rene Tardif**  
**Planner 1**

“Original signed by Lisa Zosiak” for

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

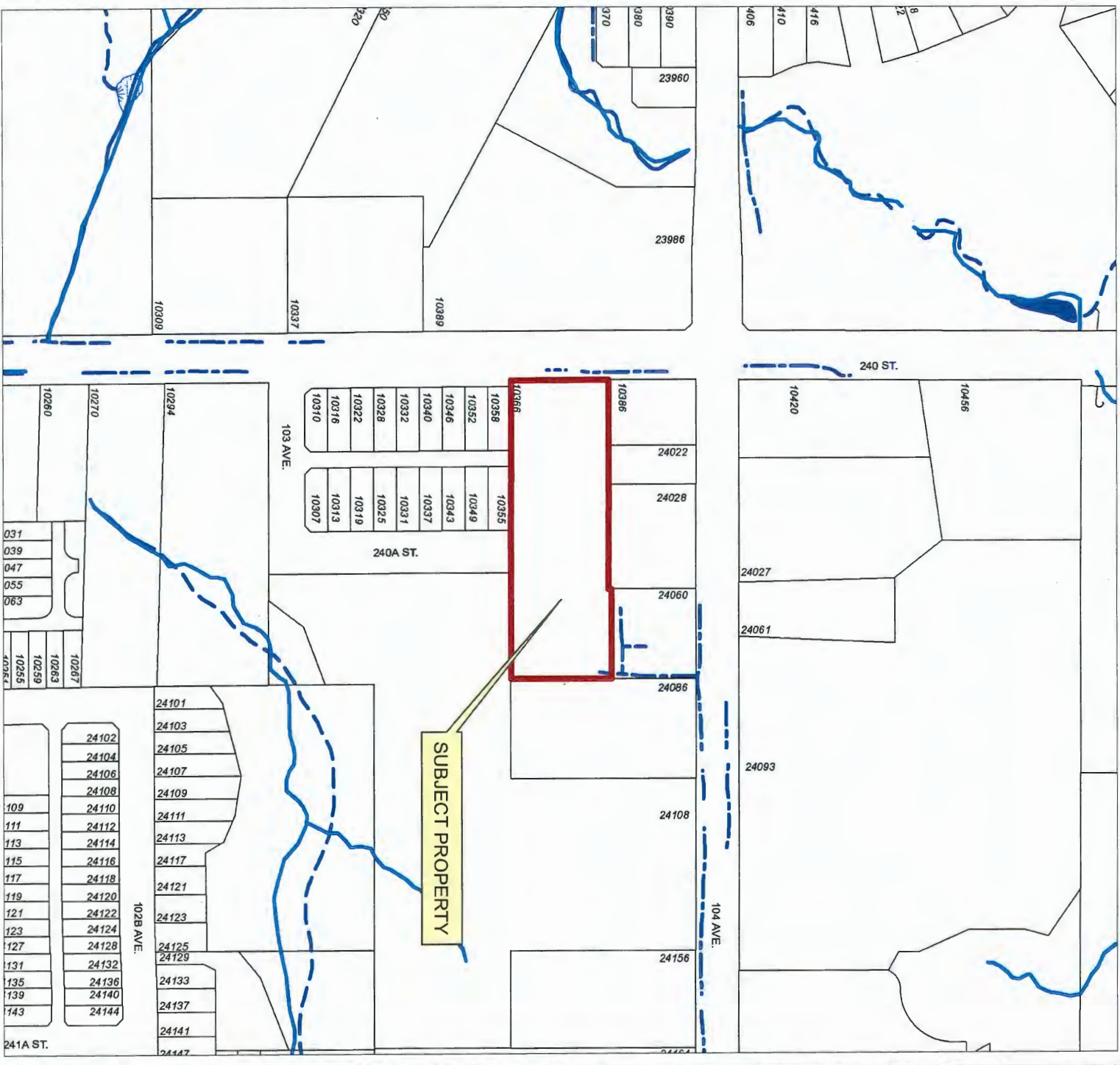
“Original signed by Christine Carter” for

---







Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – Zone Amending Bylaw No. 7699-2021  
Appendix D – Site Plan  
Appendix E – Building Elevation Plans  
Appendix F – Landscape Plan  
Appendix G – ADP design comments  
Appendix H – Public Comment Opportunity Summary  
Appendix I – School District No. 42 Comments



### Legend

-  Stream
-  Indefinite Creek
-  Canal
-  Flooded Area
-  River
-  Marsh



Scale: 1:2,500

**10366 240 STREET**  
**009-832-947**

PLANNING DEPARTMENT



**mapleridge.ca**

FILE: 2020-413-RZ  
DATE: Nov 25, 2020

BY: BD





Aerial imagery from the Spring of 2019



Scale: 1:2,500

**Legend**

-  Stream
-  Indefinite Creek
-  Canal
-  River
-  Marsh

10366 240 STREET  
009-832-947

PLANNING DEPARTMENT



**MAPLE RIDGE**  
British Columbia

**mapleridge.ca**

FILE: 2020-413-RZ  
DATE: Nov 25, 2020  
BY: BD

**CITY OF MAPLE RIDGE  
BYLAW NO. 7699-2021**

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of  
Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7699-2021."

2. That parcel or tract of land and premises known and described as:

Lot A, Section 3, Township 12, Plan NWP13554

and outlined in heavy black line on Map No. 1859 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-1 (Low Density Townhouse Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

**READ** a first time the 26<sup>th</sup> day of January, 2021.

**READ** a second time the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

**APPROVED** by the Ministry of Transportation and Infrastructure this            day of            , 20

**ADOPTED**, the            day of            , 20

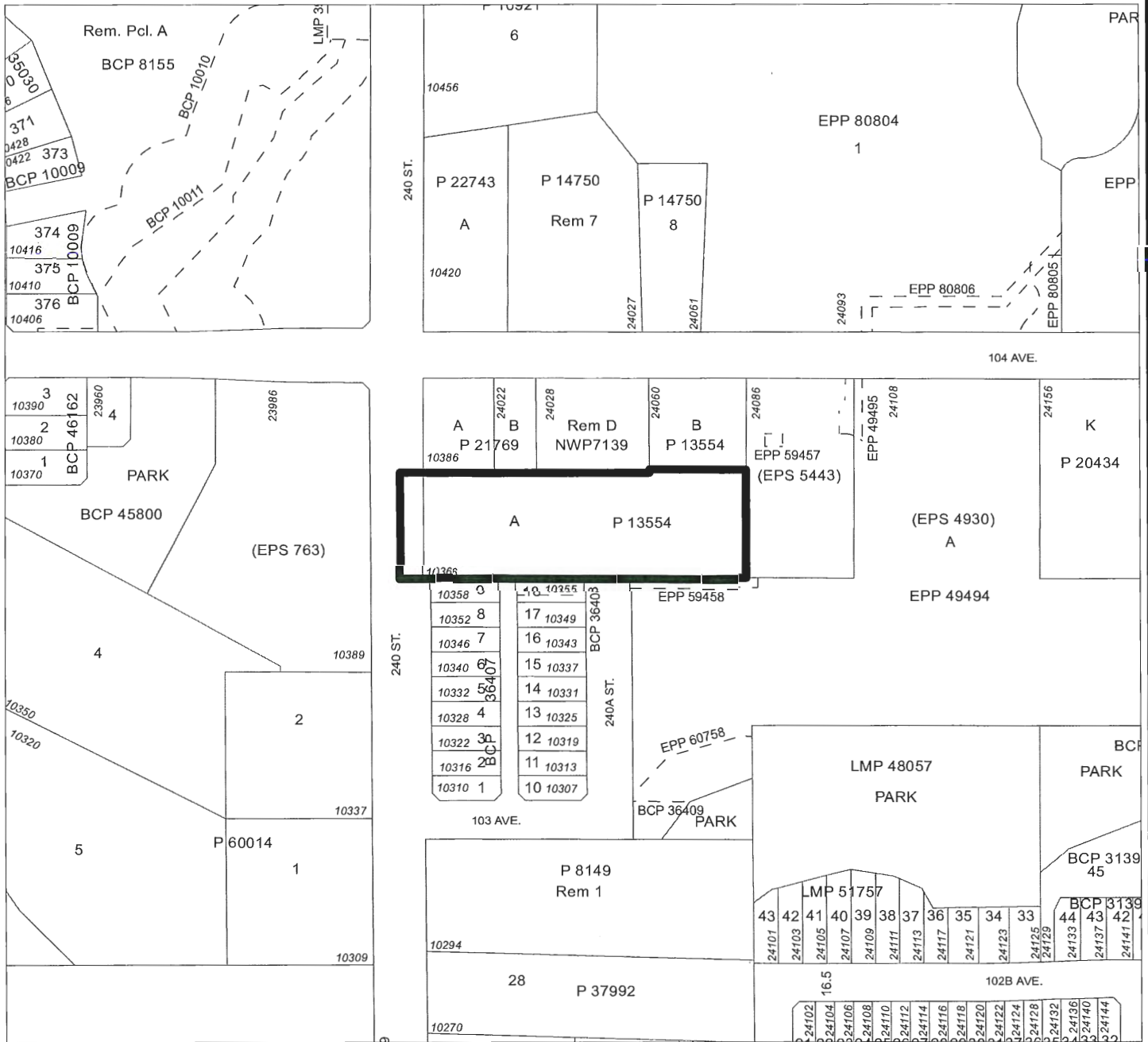
---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**





## MAPLE RIDGE ZONE AMENDING

Bylaw No. 7699-2021

Map No. 1859

From: RS-2 (Single Detached Suburban Residential)

To: RM-1 (Low Density Townhouse Residential)



SCALE 1:2,500







1 COLORED NORTH ELEVATION  
DP-6.11W 1/8" = 1'-0"



2 COLORED SOUTH ELEVATION  
DP-6.11W 1/8" = 1'-0"

MATERIAL LEGEND :		
MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(FA) FASCIA/TRIM	ASH GREY	
(TR) TRIM	ASH GREY / DARK GREY	
(G) 8" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(AS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE / CEDAR / DARK GREY	
(RD) ROLL-UP DOOR	DARK GREY	



3 COLORED EAST ELEVATION - 240A STREET  
DP-6.11W 1/8" = 1'-0"



4 COLORED WEST ELEVATION  
DP-6.11W 1/8" = 1'-0"

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MARK	DATE	DESCRIPTION
1	22 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	15 OCT 2020	ISSUED FOR PERMITS
3	15 NOV 2020	ISSUED FOR PERMITS
4	15 DEC 2020	ISSUED FOR PERMITS
5	15 MAY 2021	PUBLIC HEARING

PROJECT: **10359 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
OWNER:  
SHEET DESCRIPTION  
BUILDING-1 UNIT B & B3  
COLOURED ELEVATIONS

DOUGLAS R. JOHNSON  
ARCHITECT LTD.  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P  
PH: (604) 988-3281  
FAX: (604) 988-3217  
djohnson@shaw.ca

SCALE:	As Indicated	PROJECT:	---
DATE:	23 SEP 2020	SHEET:	---
DRAWN:			
REVISIONS:			
	5		





1 COLOURED WEST ELEVATION - 240 STREET  
DP-6.21W 1/8" = 1'-0"



2 COLOURED EAST ELEVATION  
DP-6.21W 1/8" = 1'-0"



3 COLOURED SOUTH ELEVATION  
DP-6.21W 1/8" = 1'-0"



4 COLOURED NORTH ELEVATION  
DP-6.21W 1/8" = 1'-0"

# MATERIAL LEGEND :

MATERIAL	COLOR	
FL FLASHING	GREY	
GR GUARD/RAILING	BLACK	
FA FASCIA/TRIM	ASH GREY	
TR TRIM	ASH GREY / DARK GREY	
CI 8" HARDI SIDING	WHITE	
WE1 HARDI WALL SHINGLES	DARK GREY	
AS ROOF SHINGLES	DARK GREY	
HP1 HARDI PANEL	DARK GREY	
HP2 HARDI PANEL	WHITE	
WINDOW	WHITE / DARK GREY	
DOORS	WHITE / CEDAR / DARK GREY	
RD ROLL-UP DOOR	DARK GREY	

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MARK	DATE	DESCRIPTION
1	12 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	11 MAY 2021	ISSUED FOR PERMITTING AND CHARACTER DP
3	11 MAY 2021	ISSUED FOR PERMITTING AND CHARACTER DP
4	10 FEB 2022	ISSUED FOR DP REVISIONS
5	18 MAY 2022	PUBLIC HEARING

PROJECT: **10359 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
SHEET DESCRIPTION: **BUILDING-G-2 COLOURED ELEVATIONS**  
OWNER:

DOUGLAS R. JOHNSON ARCHITECT LTD.  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 990-3381  
FAX: (604) 990-6217  
drjarch@shaw.ca

SCALE: As Indicated	PROJECT NO: ---
DATE: 23 SEP 2020	SHEET: ---
DRAWN: ---	REVISIONS: 5
DP-6.21W	





1 COLORED SOUTH ELEVATION  
DP-6.31W 1/8" = 1'-0"



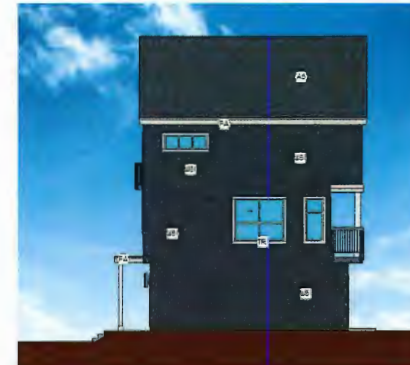
3 COLORED EAST ELEVATION - 240A STREET  
DP-6.31W 1/8" = 1'-0"



2 COLORED NORTH ELEVATION  
DP-6.31W 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(FA) FASCIA/TRIM	ASH GREY	
(TR) TRIM	ASH GREY / DARK GREY	
(SD) 6" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(RS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE / CEDAR / DARK GREY	
(RD) ROLL-UP DOOR	DARK GREY	



4 COLORED WEST ELEVATION  
DP-6.31W 1/8" = 1'-0"

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MARK	DATE	DESCRIPTION
1	10.09.2017	ISSUED FOR PERMIT DESIGN
2	10.09.2017	ISSUED FOR PERMIT DESIGN
3	11.09.2017	ISSUED FOR PERMIT DESIGN
4	11.09.2017	ISSUED FOR PERMIT DESIGN
5	11.09.2017	ISSUED FOR PERMIT DESIGN
6	11.09.2017	ISSUED FOR PERMIT DESIGN
7	11.09.2017	ISSUED FOR PERMIT DESIGN
8	11.09.2017	ISSUED FOR PERMIT DESIGN
9	11.09.2017	ISSUED FOR PERMIT DESIGN
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12	11.09.2017	ISSUED FOR PERMIT DESIGN
13	11.09.2017	ISSUED FOR PERMIT DESIGN
14	11.09.2017	ISSUED FOR PERMIT DESIGN
15	11.09.2017	ISSUED FOR PERMIT DESIGN
16	11.09.2017	ISSUED FOR PERMIT DESIGN
17	11.09.2017	ISSUED FOR PERMIT DESIGN
18	11.09.2017	ISSUED FOR PERMIT DESIGN
19	11.09.2017	ISSUED FOR PERMIT DESIGN
20	11.09.2017	ISSUED FOR PERMIT DESIGN

PROJECT:  
**10359 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
SHEET DESCRIPTION  
**BUILDING 3 UNIT B & B3**  
**COLOURED ELEVATIONS**

OWNER  
**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-0251  
FAX: (604) 998-0217  
djrarch@shaw.ca  
SCALE: As Indicated  
DATE: 23 SEP 2020  
DRAWN: SHEET: 5  
REVISIONS: DP-6.31W



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MARK	DATE	DESCRIPTION
1	20 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	14 JUNE 2021	ISSUED FOR FORM AND CHARACTER DP
3	14 JUNE 2021	ISSUED FOR FORM AND CHARACTER DP
4	14 FEB 2022	ISSUED FOR DP REVISIONS
5	15 MAY 2022	PUBLIC HEARING

PROJECT: 10360 TOWNHOUSES  
OWNER: 240 A STREET, MAPLE RIDGE, B.C.  
SHEET DESCRIPTION: STREET SCAPE ELEVATIONS

DOUGLAS R. JOHNSON  
ARCHITECT LTD.  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 988-3381  
FAX: (604) 988-0217  
drj@arch@shaw.ca

SCALE: 3/16" = 1'-0"	PROJECT NO: ---
DATE: 23 SEP 2020	SHEET: ---
DESIGN: ---	REVISIONS: 5
REVISIONS: 5	DP-5.01E





1 COLORED NORTH ELEVATION  
DP-6.11E 1/8" = 1'-0"



2 COLORED SOUTH ELEVATION  
DP-6.11E 1/8" = 1'-0"



4 COLORED EAST ELEVATION  
DP-6.11E 1/8" = 1'-0"



3 COLORED WEST ELEVATION\_240A  
DP-6.11E 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(TR) TRIM	ASH GREY / DARK GREY	
(FA) FASCIA	ASH GREY	
(SH) 8" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(AS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE / CEDAR / DARK GREY	
(RD) ROLL-UP DOOR	DARK GREY	

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MARK	DATE	DESCRIPTION
1	23 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	18 MAY 2021	ISSUED FOR PERMITS AND CHARACTER DP
3	19 FEB 2022	ISSUED FOR PERMITS AND CHARACTER DP
4	19 FEB 2022	ISSUED FOR PERMITS AND CHARACTER DP
5	18 MAY 2022	PUBLIC HEARING

PROJECT: **10360 TOWNHOUSES**  
280TH STREET, MAPLE RIDGE, B.C.  
OWNER:  
SHEET DESCRIPTION:  
**BUILDING-1 UNIT B, B1 & B2 - COLOURED ELEVATIONS**

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-3381  
FAX: (604) 998-4217  
drjarch@shaw.ca

SCALE: As indicated  
DATE: 23 SEP 2020  
DRAWN:   
PROJECT NO:   
SHEET:   
REVISIONS:   
DP-6.11E





1 COLORED SOUTH ELEVATION  
DP-6.21E 1/8" = 1'-0"



2 COLORED NORTH ELEVATION  
DP-6.21E 1/8" = 1'-0"



3 COLORED WEST ELEVATION  
DP-6.21E 1/8" = 1'-0"



4 COLORED EAST ELEVATION  
DP-6.21E 1/8" = 1'-0"

# MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(TR) TRIM	ASH GREY / DARK GREY	
(FA) FASCIA	ASH GREY / BLACK	
(CI) 8" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(AS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE / CEDAR / DARK GREY	
(RD) ROLL-UP DOOR	DARK GREY	

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MARK	DATE	DESCRIPTION
1	23 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	11 NOV 2020	ISSUED FOR PERMITTING
3	10 FEB 2021	ISSUED FOR DP REVISIONS
4	19 MAY 2022	PUBLIC HEARING
5		

PROJECT: **10360 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
SHEET DESCRIPTION: **BUILDING-2 UNIT B.1 & B.2 COLOURED ELEVATIONS**  
OWNER:

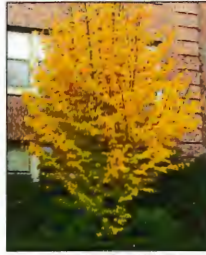
**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-601 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-3281  
FAX: (604) 998-0217  
drjarch@shaw.ca

SCALE: As Indicated	PROJECT NO: ---
DATE: 23 SEP 2020	SHEET: DP-6.21E
DRAWN: [Signature]	
REVISIONS: 5	





LIQUIDAMBAR S. 'SLENDER SILHOUETTE'



PARROTTIA P. 'RUBY VASE'



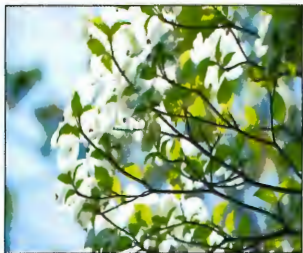
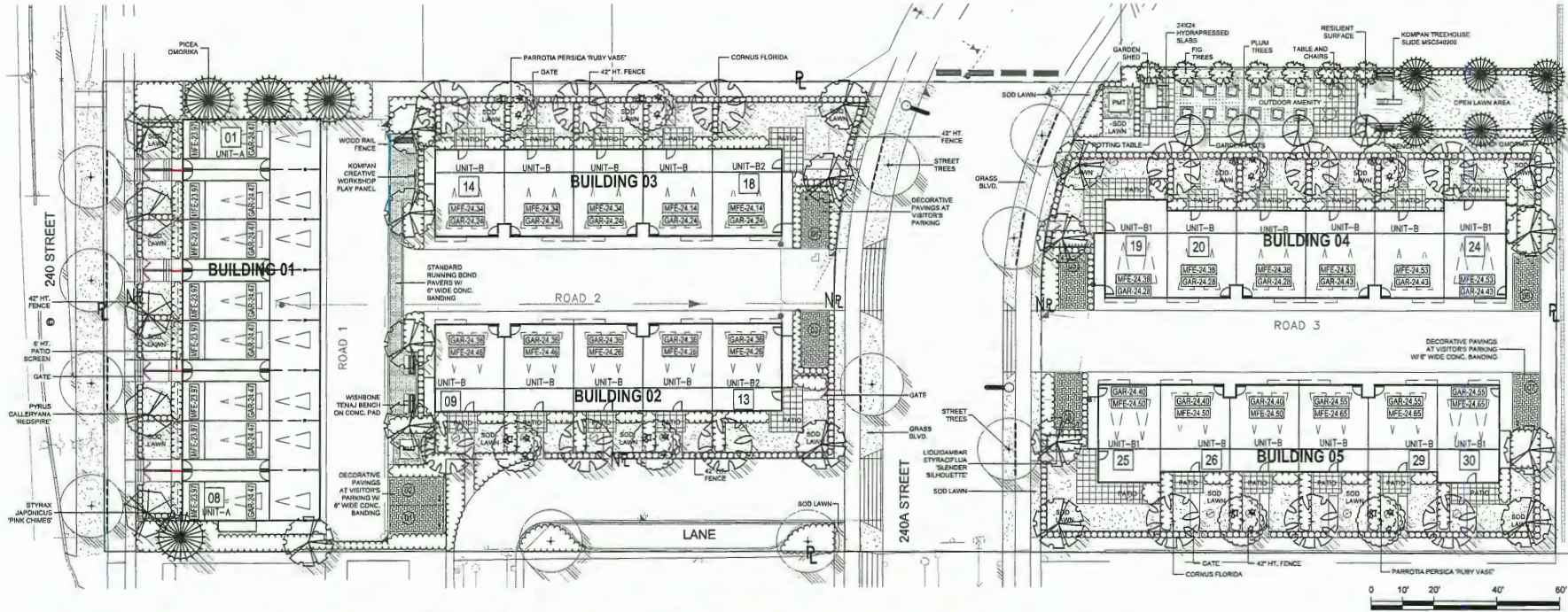
PICEA OMORIKA



PYRUS CALLERYANA 'REDSPIRE'



STYRAX JAPONICUS 'PINK CHIMES'



CORNUS FLORIDA



FICUS 'DESERT KING'



PLUM TREE

PLANT SCHEDULE					PMG PROJECT NUMBER: 21-447	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS		
1	12	CORNUS FLORIDA RUBRA	FLOWERING DOGWOOD	8CM CAL 1.5M STD; B&B		
2	7	FICUS 'DESERT KING'	DESERT KING FIG	8" POT		
3	18	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	8CM CAL 2M STD; B&B		
4	8	PARROTTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	8CM CAL 1.5M STD; B&B		
5	10	PICEA OMORICA	SIBIRIAN SPRUCE	3M HT; B&B		
6	4	PLUM TREE	ITALIAN PLUM	#10 POT		
7	2	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE ORNAMENTAL PEAR	8CM CAL 1.5M STD; B&B		
8	3	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERING JAPANESE SNOWBELL	8CM CAL 1.5M STD; B&B		

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ON-A-STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

42" HT. FENCE  
WOOD RAIL FENCE AT WEST AMENITY AREA  
6" HT. PRIVACY SCREEN

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**pmg**  
LANDSCAPE  
ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604-294-0211 f: 604-294-0222

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	21.04.21	REV 1.00	JR
2	21.04.21	ADD PLANTINGS	JR
3	21.04.21	ADD COMMENTS	JR
4	21.04.21	ADD REMARKS	JR

CLIENT:

PROJECT:  
30 UNIT TOWNHOUSE DEV.  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**LANDSCAPE  
PLAN**

DATE: 21.04.21 DRAWN:  
SCALE: 1/16"=1'-0"  
DRAWN: JR  
DESIGN: JR  
CHKD: MCY

21067-5.2P

PMG PROJECT NUMBER:

APPENDIX F



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**pmg**  
LANDSCAPE  
ARCHITECTS  
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Burnaby, British Columbia, V5C 6S9  
P: 604-294-0011 F: 604-294-0022

SEAL:



1	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
2	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
3	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
4	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
5	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
6	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
7	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
8	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
9	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.
10	REVISION	NO.	DATE	REVISION DESCRIPTION	DR.

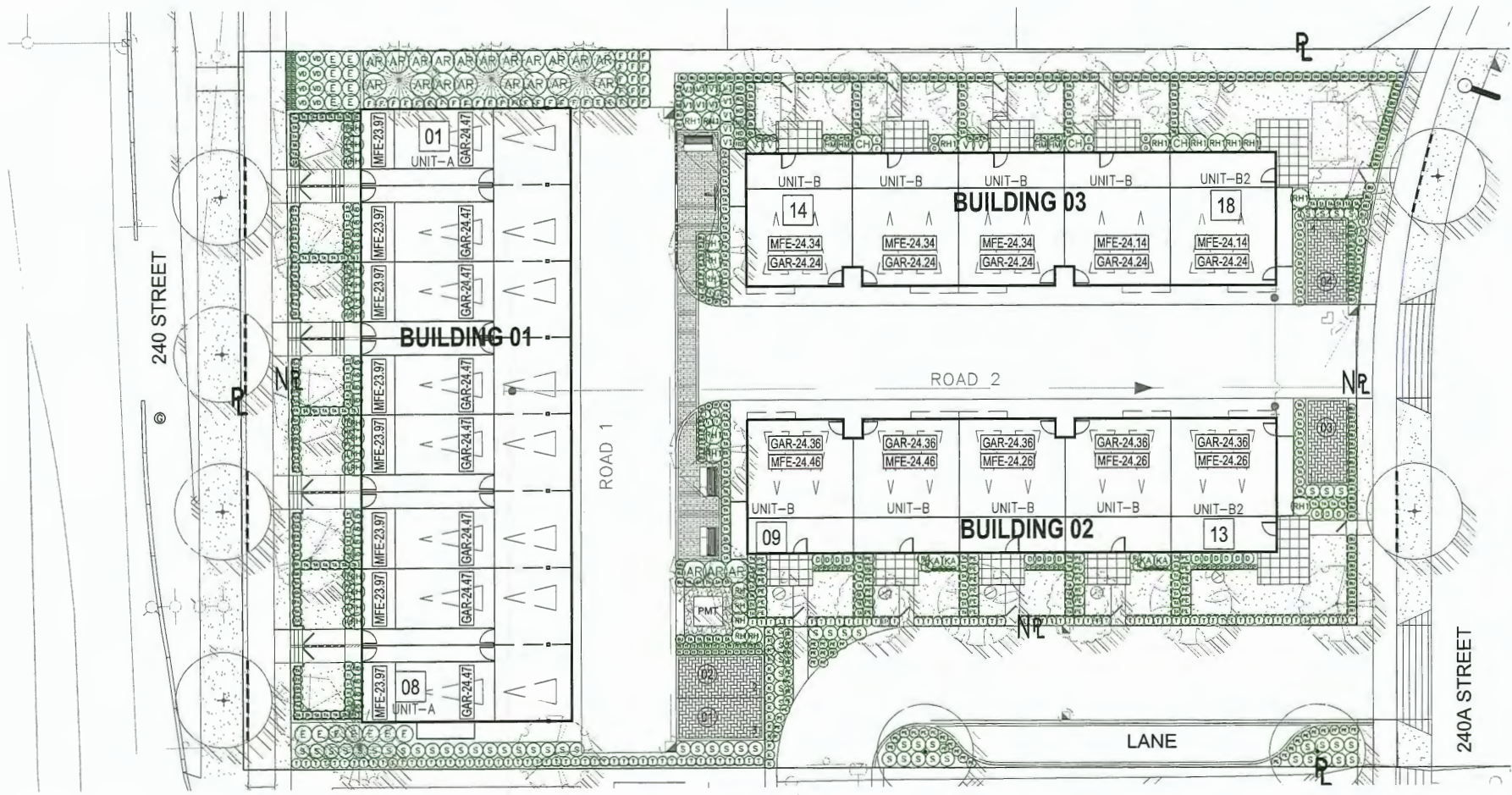
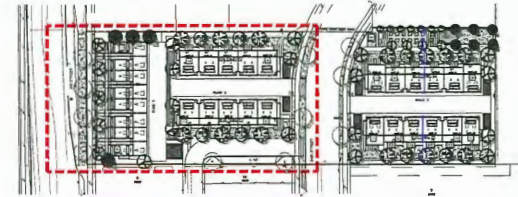
PROJECT:  
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**SHRUB PLAN**

DATE: 21.APR.27  
SCALE: 1"=10'-0"  
DRAWN: JR  
DESIGN: JR  
CHECK: MACY

DRAWING NUMBER:  
**L2**  
OF 6

PMG PROJECT NUMBER: 21-067



FULL PLANT LIST ON L3

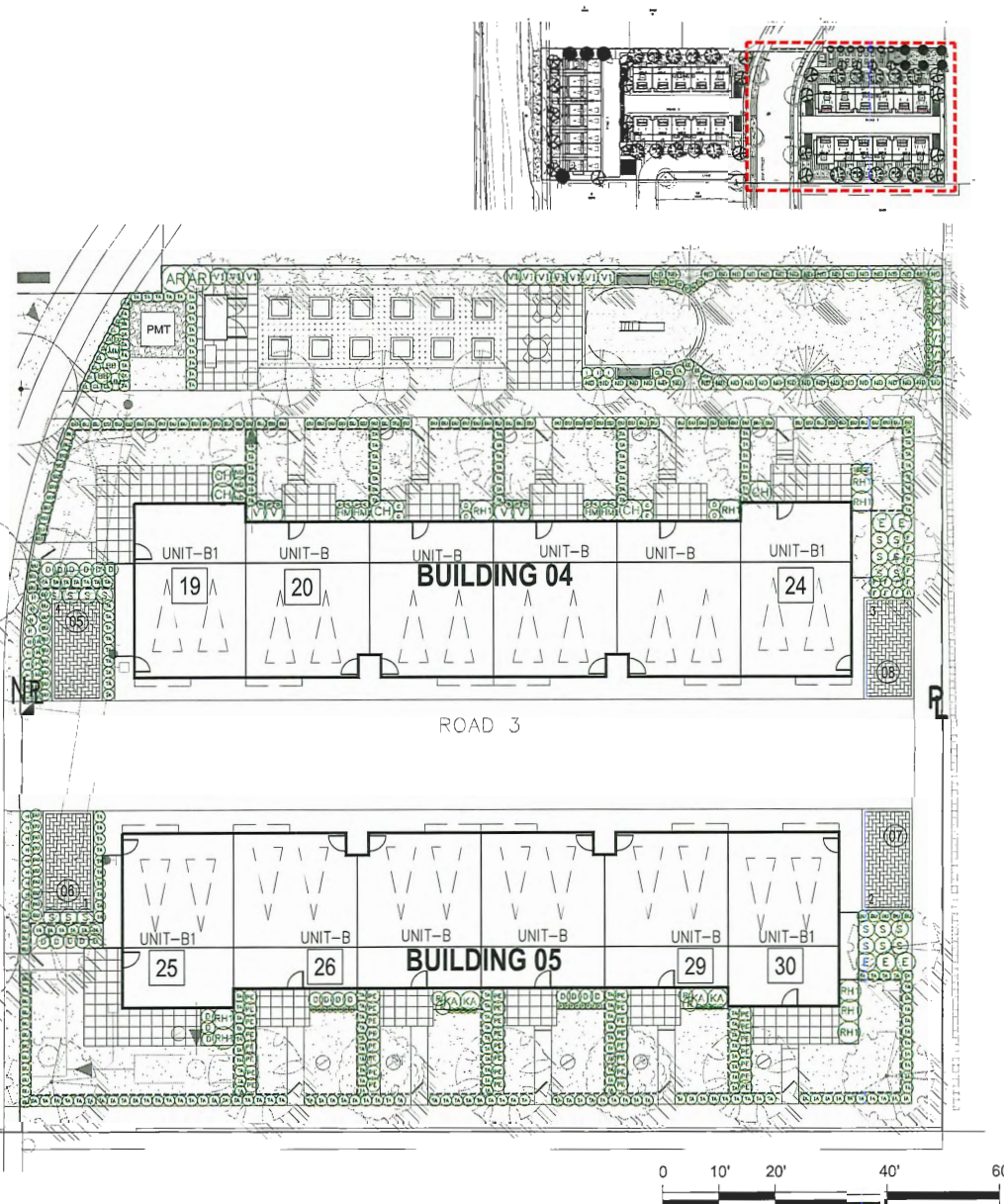


11067-5.2P



PLANT SCHEDULE				PMG PROJECT NUMBER: 21067	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
SHRUBS	24	ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY TREE	#3 POT, 80CM	
	202	BURGUS MICROPHYLLA 'WINTER GREEN'	LITTLE-LEAF BOX	#3 POT, 40CM	
	8	CHOISYA TERNATA 'SUNDANCE'	MEXICAN MOCK ORANGE	#3 POT, 50CM	
	20	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT, 30CM	
	68	EUONYMUS FORTUNEI 'EMERALD GAIETY'	EMERALD WINTERKEEPER	#3 POT, 50CM	
	8	HYDRANGEA SERRATA 'BLUEBIRD'	MOUNTAIN HYDRANGEA, LACECAP BLUE	#3 POT, 40CM	
	24	KALMA LATIFOLIA	MOUNTAIN LAUREL	#3 POT, 50CM	
	24	RHODODENDRON 'CHRISTMAS CHEER'	RHODODENDRON, BLUSH PINK	#3 POT, 50CM	
	20	RHODODENDRON 'J.J.M.'	RHODODENDRON, LIGHT PURPLE, E. MAY	#3 POT, 50CM	
	8	ROSA 'NOVARUM'	CARPET ROSE, PINK	#2 POT, 40CM	
	76	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM	
	448	TANUS 'MIDIA 'H.M. EDDIE'	EDDIE'S VIEW	1.9M BAB	
	109	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN CEDAR	1.5M HT. BAB	
	27	VACCINIUM CORYMBOSUM 'BLUECROP'	EDIBLE BLUEBERRY	#3 POT, 60CM	
	8	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT, 30CM	
	8	VIBURNUM TINUS 'SPRING BOUQUET'	DWARF VIBURNUM	#2 POT, 50CM	
GRASS	15	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT	
	17	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT	
	24	CAREX 'OSHIMENSIS EVERGOLD'	SILVER VARIEGATED SEDGE	#1 POT	
	24	FESTUCA OVINA 'GLAUCOA'	BLUE FESCUE	#1 POT	
	10	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT	
	2	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#1 POT	
	131	PENNISETUM ALOPECUROIDES 'HAEMELI'	DWARF FOUNTAIN GRASS	#1 POT	
	13	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT	
PERENNIAL	2	ACANTHUS SPINOSUS	BEAR'S BREECHES	15CM POT	
	26	GALIUM ODORATUM	SWEET WOODROFF	9 M POT	
	20	HELEBORUS 'HYBRIDUS'	LATEX ROSE	15CM POT	
	2	HEMEROCALLIS	DAYLILY	#1 POT, 1-2 FAN	
	20	HOSTA 'FORTUNE' 'FRANCES'	HOSTA, GREEN AND WHITE VARIEGATED	#1 POT, 1 EYE	
	2	SEDUM 'AUTUMN JOY'	STONECROP	#1 POT	
	46	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT, 15CM	
	48	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 20CM	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



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**pmg**  
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ARCHITECTS  
Suite C100 - 4195 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 | f: 604 294-0022

SEAL:



#	DATE	ADD PLANTING	BY
1	21 APR 21	ADD PLANTING	JR
2	21 APR 21	ADD PLANTING	JR
3	21 APR 21	ADD PLANTING	JR
4	21 APR 21	ADD PLANTING	JR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:  
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**SHRUB  
PLAN**

DATE: 21 APR 21 DRAWING NUMBER:  
SCALE: 1"=10'-0"  
DRAWN: JR  
DESIGN: JR  
CHK'D: MCY  
**L3**  
OF 6



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	21.APR.27	2D PLAN CONSTRUCTION	JR
2	21.MAY.28	ADP COMMENTS	JR
3	21.FEB.27	ADP SUBMISSION	JR

CLIENT:

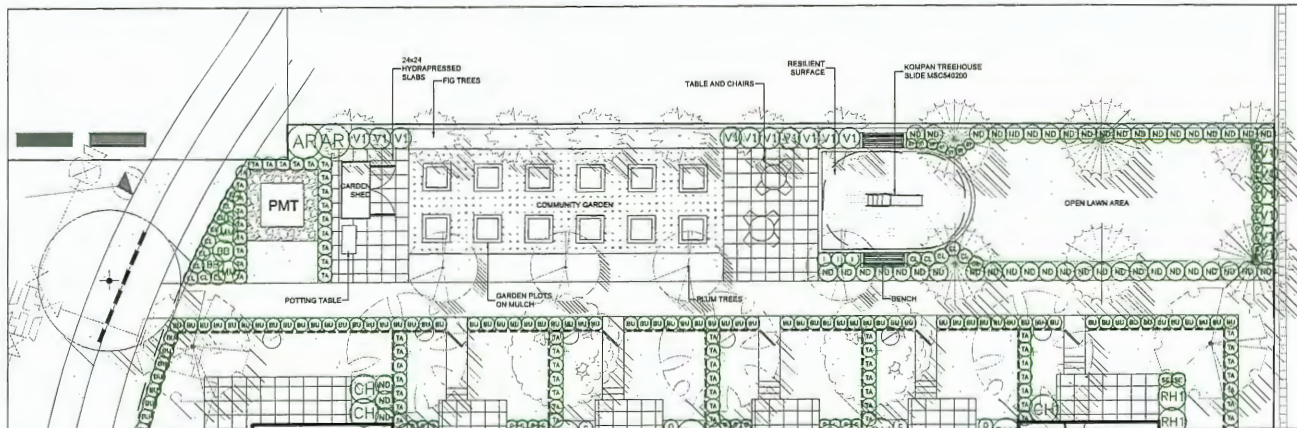
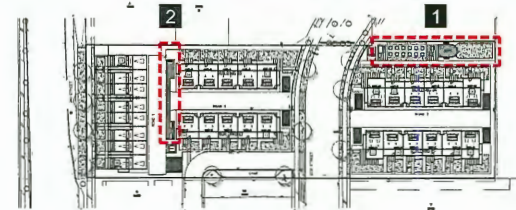
PROJECT:  
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**LANDSCAPE AMENITY  
ENLARGEMENTS**

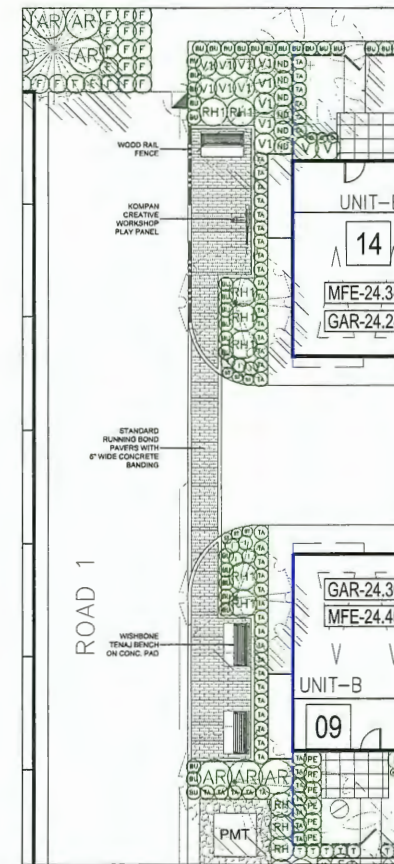
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SCALE: 1/8"=1'-0"  
DRAWN: JR  
DESIGN: JR  
CHKD: MCY

**L4**  
OF 6

## SHRUB, GRASS AND GROUNDCOVERS



**1 EAST AMENITY AREA**



**2 WEST AMENITY AREA**

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Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	23 APR 23	ADD PLANTINGS	JR
2	23 APR 23	ADD COMMENTS	JR
3	23 APR 23	ADD INFORMATION	JR
4	23 APR 23	WET PLAN COORDINATION	JR

CLIENT:

PROJECT:

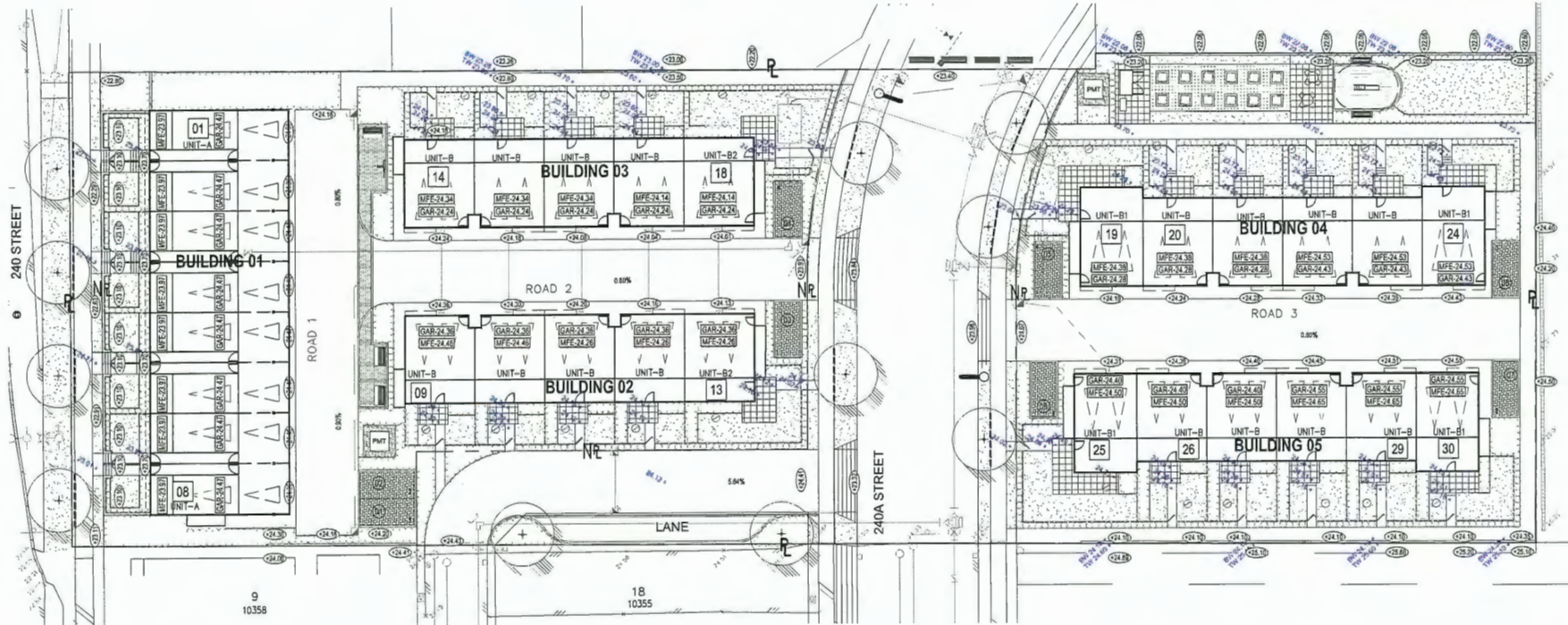
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**GRADING  
PLAN**

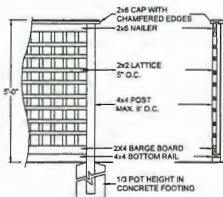
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SCALE: 1/16"=1'-0"  
DRAWN: JR  
DESIGN: JR  
CHECKED: MCY

**L5**  
OF 6

21067-5.2P PMG PROJECT NUMBER: 21-057

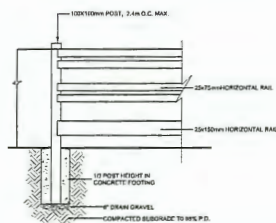






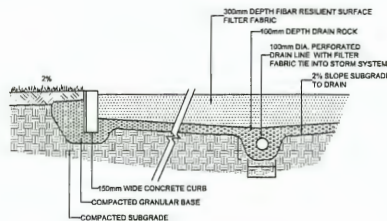
NOTES:  
1. ALL POSTS AND BARGES PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.  
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.  
3. ALL HARDWARE HOT DIPPED GALVANIZED.  
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.

### 1 6' PATIO SCREEN

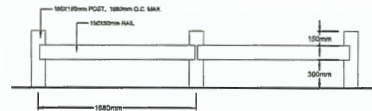


NOTES:  
1. FENCE TO HAVE 3 COATS OF BEAUHARNOIS GRAPHITE

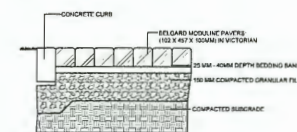
### 2 42" HT. FRONT YARD FENCE



### 4 PLAY AREA DETAIL

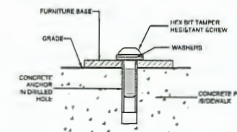
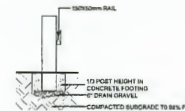


### 3 WOOD RAIL FENCE (IN FRONT OF PLAY PANEL)



NOTE: PAVERS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS

### 5 PAVERS ON GRADE



NOTE: SITE FURNITURE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS

### 6 SITE FURNITURE MOUNTING

## AMENITY AREA PROGRAMMING



## FURNITURE



TABLE AND CHAIRS: MAGLIN, FRT1700-RD-MI-FS36 TABLE WITH CHAIRS  
FRC1700-MSF-M1-A LASER CUT



KOMPAN TREEHOUSE  
MSC540200



KOMPAN CREATIVE PLAY PANEL  
MSC540800



BENCH: WISHBONE INDUSTRIES, TENAJ PARK BENCH TJ8-5,  
IN TEXTURED SILVER



CEDAR POTTING BENCH:  
CEDAR SHED INDUSTRIES



GARDEN TOOL SHED:  
CEDAR SHED INDUSTRIES, BAYVIEW 2.4M X 1.2M

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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0211 ; f: 604 294-0222

SEAL:


4	21.APR.22	REV. 1/1/22	JP
3	21.MAR.22	REV. 1/1/22	JP
2	21.FEB.22	REV. 1/1/22	JP
1	21.APR.21	REV. 1/1/21	JP

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

30 UNIT TOWNHOUSE DEV.

10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:

LANDSCAPE  
DETAILS

DATE: 21.APR.22

SCALE: AS NOTED

DRAWN: JR

DESIGN: JR

CHKD: MCY

DRAWING NUMBER:

**L6**

OF 6

11087-5.29

PMG PROJECT NUMBER:

21-067

# DOUGLAS R. JOHNSON ARCHITECT LTD.

#374-901 W. 3<sup>rd</sup> St. North Vancouver BC V7P 3P9  
(604) 998-3381 FAX. (604) 998-2217

## Response to The January 19 2022 ADP comments:

The following resolution was passed regarding **2020-413-DP** at the January 19, 2022 Regular Meeting of the Advisory Design Panel (ADP).

### **6.4 Development Permit No: 2020-413-DP/ 10366 240 Street**

The Chair welcomed the project team to the meeting and introduced the members of the ADP. The Staff Liaison provided a brief overview of a submission for a 30-unit townhouse development under the RM-1 zone. The project team presented the development plans and answered questions from the Panel.

R/2022-008

It was moved and seconded

**That the Advisory Design Panel has reviewed application 2020-413-DP and recommends that the following concerns be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further that Planning staff forward this on to the Advisory Design Panel for information.**

#### Architectural Comments:

- Consider detailing for roof maintenance and drainage for shed roofs; **The cricket detail between the gables has a 4/12 slope. At the intersection of every gable we have a 6in rain water leader to pick up the water volume off the roof. We will also review the detail with our envelope consultant.**
- Review overhangs in consideration with architectural intent; **The overhanging portions of all of the roof elements have been updated to 6 inches.**
- Consider bookending colour palettes of building blocks; **The 240st elevation has been revised with dark grey palette being used on the 2 units on the south that step back so they are better defined. The color is matched with the last 2 units on the north.**
- Ensure vehicle parking spaces have adequate maneuvering space;  
**The following modifications were made to the plans:**
  - The drive aisle to the north of Bldg 2 on 240<sup>th</sup> Street was extended to provide space for reverse turning movements.
  - Templates demonstrating turning movements from end unit drive aisles are illustrated on DP-2.11.



- Visitor parking stall near unit 7 Bldg 2 on 240 A Street has been deleted to provide hammerhead for visitor parking stall east side of Bldg 1. Remaining 3 Visitor parking stalls are in compliance with zoning bylaw.
- Confirm internal road widths meet zoning bylaw; **We are providing a 6.0M wide drive aisle with 1.25M aprons on both sides for a total width of 8.5M for the double garage units. For the tandem units in Building 1 the drive aisle is 6.0M**
- Confirm tandem parking is full car depth; **Inside tandem is 6.7M in depth and the outside is 5.48M except for the last two units to the south where the outside stall is 4.88M**
- Explore alternate window rhythm on street frontage. **The windows for the street facing elevations for Building 1 on 240<sup>th</sup> Street have been revised to have a balanced appearance.**

**Landscape Comments:**

- Explore alternative programming in small amenity spaces at units 14 and 5; **Alternative Landscape with more hardscape elements and seating will be considered for this area**
- Consider incorporating tree protection area into amenity area; **This area is disconnected from adjacent amenity area and does not make sense to incorporate.**
- Improve access to amenity area for residents of buildings 1, 2 and 3; **A zebra crossing will be added on 240A to provide additional safety for access the outdoor amenity in the North East corner.**
- Examine consistency of grading between patio and yard space and potential issues for stormwater management; **The condition along 240 St. consists of a small retaining wall and the width varies from zero to .9M at the property line. The design provides maximum slopes of 5% up to the building entrance, providing a defined level private yard, positive grading and good relationship of the entry to the street and yard.**
- Consider planting in internal roads. **Required apron widths per the bylaw and access requirements for the units unfortunately will not allow room for planting.**

Yours truly,

*Douglas Johnson*

Doug Johnson MAIBC



## Memorandum

---

**Date:** April 22, 2022

**To:** Maple Ridge Planning Department – Attention Rene Tardif

**Subject:** Public Comment Opportunity Rezoning Application Development Permit  
No: 2020-413-DP

---

Dear Rene, we are pleased to provide this report regarding the results of the Public Comment Opportunity period for this project that took place between April 11th and 20th, 2022. This report is being provided in accordance with the City's policy PUBLIC COMMENT OPPORTUNITY – DEVELOPER PROCESS that has been established in lieu of the requirement for a Development Information Meeting.

### **A. Number of Respondents**

We confirm that we received a total of 3 inquiries from the public in regards to the project from 3 separate individuals; [REDACTED] Copies of the original email correspondence received is included in Appendix A to this report.

### **B. Summary of Comments received**

The comments received requested additional information about the application including a site plan and views with dimensions from adjacent property boundaries, elevation views, proposed color scheme, height of proposed units and infrastructure in relation to adjacent properties, landscaping plans including species, screening proposed and expected growth height, whether retaining walls were being constructed, level of construction activity and excavation amounts, construction time frame and clarification on reduced setbacks.

### **C. Analysis of the Comment sheets**

There were no comment sheets provided as part of the PCO process as the process did not include an in-person meeting due to ongoing pandemic related concerns in the region, in lieu of comment sheets a project specific email was provided: [mapleridge@alvaingroup.com](mailto:mapleridge@alvaingroup.com) for interested parties to request information. A dropbox link (below) was provided with access to a full set of materials on the project in accordance with the PCO policy.

[https://www.dropbox.com/sh/1vh7lm89z8a7hid/AACujQgyg-C\\_9sQZRP06dHJla?dl=0](https://www.dropbox.com/sh/1vh7lm89z8a7hid/AACujQgyg-C_9sQZRP06dHJla?dl=0)

### **D. Summary of Issues and Concerns and Proposed solutions**

[REDACTED]

The concerns were primarily related to the effect of the proposed development on privacy and outlook from the existing units rear yard and balcony.

The potential solutions to address these concerns could include the following and we will work with the adjacent property owner to come to a compromise.

- Adding a cedar hedge along the developments property boundary fence with the existing Willow complex.
- Installing a privacy lattice screen along the eastern fence adjacent to unit 11 of the Willow complex
- Relocating the 2 proposed liquid Ambers at the eastern end of the projects building 5 (unit 30) to more directly screen unit 11 of the Willow complex and planting one additional tree to increase the privacy.

Kunwar Bir Singh  
Alvair Development Ltd.



November 1, 2021

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attention: Rene Tardif

Dear Mr. Tardif:

Re: File #: 2020-413-RZ  
Legal: Lot: A, Section: 3, Township: 12, Plan: NWP13554  
Location: 10366 240 Street  
From: RS-2 (Single Detached Suburban Residential)  
To: RM-1 (Low Density Townhouse Residential)

The proposed application would affect the student population for the catchment areas currently served by éasqanelə Elementary and Samuel Robertson Technical Secondary School.

éasqanelə Elementary has an operating capacity of 611 students. For the 2021-22 school year the student enrolment at éasqanelə Elementary is 612 students (100.2% utilization) including 106 students from out of catchment.

Samuel Robertson Technical Secondary School has an operating capacity of 600 students. For the 2021-22 school year the student enrolment at Samuel Robertson Technical Secondary School is 799 students (133.2% utilization) including 215 students from out of catchment.

Please note that the out of catchment numbers are reflective of the 2020/21 school year.

Sincerely,

Flavia Coughlan

Secretary Treasurer

The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Rick Delorme  
David Vandergugten  
Derek Oppedisano



**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** Second Reading  
Zone Amending Bylaw No. 7503-2018  
21745 River Road

**MEETING DATE:** June 21, 2022  
**FILE NO:** 2018-349-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 21745 River Road, from RS-1 (Single Detached Residential) to RS-1b (Single Detached (Medium Density) Residential) to permit a future subdivision of two lots. Council granted first reading to *Zone Amending Bylaw No. 7503-2018* on November 27, 2018, after which the former owner requested to put the application on hold to research a higher density potential. The subject property is within the Fraser River Escarpment Area and with the current policies in place the proposed two lot subdivision is the highest and best use of the property.

The subject property has since transferred ownership and the new owner wishes to continue the application. The current lot size is approximately 0.15 ha (0.37 acres), and is approximately 29.5 m (96.8 ft.) wide. The minimum lot size for the proposed RS-1b (Single Detached (Medium Density) Residential) zone is 557m<sup>2</sup> with a minimum required lot width of 15 m (49.2 ft.). This rezoning is in compliance with the Official Community Plan land use designation of *Urban Residential – Major Corridor*.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$5,100 per single family lot, or such rate applicable at third reading. The proposal is for fewer than three lots, therefore the original lot is exempt from the CAC payment.

**RECOMMENDATIONS:**

1. That *Zone Amending Bylaw No. 7503-2018* be given second reading as amended, and forwarded to Public Hearing;
2. That the following terms and conditions be met prior to final reading:
  - i) Approval from the Ministry of Transportation and Infrastructure;
  - ii) Road dedication on River Road as required;
  - iii) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
  - iv) Registration of a Restrictive Covenant for Stormwater Management;

- v) **Removal of existing buildings;**
- vi) **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site; and**
- vii) **That a voluntary contribution, in the amount of \$5,100.00 (\$5,100 x 1 lot), or such rate applicable at third reading of this application, be provided in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.**

## **DISCUSSION:**

### **1. Background Context:**

Applicant:	1068797 BC Ltd.
Legal Description:	Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510
OCP:	
Existing:	Urban Residential
Proposed:	Urban Residential
Within Urban Area Boundary:	Yes
Area Plan:	No
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-1 (Single Detached Residential)
Proposed:	RS-1b (Single Detached (Medium Density) Residential)
Surrounding Uses:	
North:	Use: Single-Family Residential
	Zone: RS-1 (Single Detached Residential)
	Designation: Urban Residential
South:	Use: Single-Family Residential
	Zone: RS-1 (Single Detached Residential)
	Designation: Urban Residential
East:	Use: Single-Family Residential
	Zone: RS-1b (Single Detached (Medium Density) Residential)
	Designation: Urban Residential
West:	Use: Single-Family Residential
	Zone: RS-1 (Single Detached Residential)
	Designation: Urban Residential
Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	0.15 ha (0.37 acres)
Access:	River Road
Servicing:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes

## 2. Project Description:

The subject property is approximately 0.15 ha (0.37 acres) in area, is generally flat and has trees located within the front yard and western property boundary. The subject property is located within the Fraser River Escarpment Area. The property is surrounded by single-family residential lots to the west, north and east, with River Road located to the south (see Appendices A and B).

The current application proposes to rezone the subject property from the RS-1 (Single Detached Residential) zone to the RS-1b (Single Detached (Medium Density) Residential) zone (see Appendix C), to permit a future subdivision into two lots, not less than 557m<sup>2</sup> (5,996 ft<sup>2</sup>) in area (see Appendix D). The proposed lot sizes of 739m<sup>2</sup> (7,954 ft<sup>2</sup>) and 760 m<sup>2</sup> (8,180 ft<sup>2</sup>) meet the minimum area requirements of the RS-1b (Single Detached (Medium Density) Residential) zone. The existing structures on the property will be demolished as a condition of rezoning. Access for each lot will be provided from River Road.

## 3. Planning Analysis:

### i. Official Community Plan:

The subject property is located in West Maple Ridge, and is currently designated *Urban Residential* in the Official Community Plan (OCP). River Road is designated as a Major Corridor within the OCP, therefore the *Urban Residential – Major Corridor* policies apply. The *Urban Residential - Major Corridor* designation allows for building forms such as: single family, duplex, triplex, fourplex, courtyard, townhouse and apartment, subject to satisfying compatibility criteria in the OCP. These compatibility criteria include respecting and reinforcing the physical patterns and characteristics of its established neighbourhood.

The subject property is located within the Fraser River Escarpment Area. Council policies 6.23 and 6.24 have been established relating to building construction within the Fraser River Escarpment Area. When a property is located within the Fraser River Escarpment Area, additional construction, engineering and covenants may apply, depending on the property's location. The purpose of these policies is to set out conditions under which subdivision of, or building on land can be considered within the escarpment area without compromising the stability of the escarpment, and to have control of surficial and groundwater discharge in the area. As part of the rezoning, connections to the existing storm sewer will be required.

### ii. Zoning Bylaw:

The current application proposes to rezone the subject property from the RS-1 (Single Detached Residential) zone to the RS-1b (Single Detached (Medium Density) Residential) zone to permit the future subdivision into two lots. The minimum lot size for the proposed RS-1b (Single Detached (Medium Density) Residential) zone is 557m<sup>2</sup> (5,996 ft<sup>2</sup>) with a minimum lot width of 15.0 m (49.2 ft). The applicant is proposing two lots that are slightly under the 15.0 m (49.2 ft.) width requirement; therefore, a Development Variance Permit application is required to vary the width.

*Zone Amending Bylaw No. 7503-2018* has been amended since first reading to reflect the changes to amend *Zoning Bylaw No. 7600-2019*, which was adopted in December 2020.



**iii. Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following variance:

- *To reduce the minimum lot width from 15.0 m (49.2 ft.) to 14.9 m (48.9 ft.).*

The requested variance to the RS-1b (Single Detached (Medium Density) Residential) zone will be the subject of a future Council report.

**iv. Advisory Design Panel:**

This application does not need to be reviewed by the Advisory Design Panel because a Form and Character Development Permit is not required.

**v. Development Information Meeting:**

A Development Information Meeting is not required for this application, as there are fewer than five dwelling units being proposed.

**4. Traffic Impact:**

As the subject property is located within 800m of the Lougheed Highway, Ministry of Transportation and Infrastructure approval of the *Zone Amending Bylaw No. 7503-2018* will be required as a condition of final reading. At this time, the Ministry has granted preliminary approval of the Zone Amending Bylaw.

**5. Interdepartmental Implications:**

**i. Engineering Department:**

The Engineering Department requires the following items be addressed:

- a) Road dedication, as required, to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*;
- b) Utility servicing, as required, to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*, which will be a condition of the future subdivision.
- c) Frontage upgrades to the applicable road standard, which will be a condition of the future subdivision.

**ii. Building Department:**

All groundwater, landscaping, surface and building drainage must be connected to the Municipal storm drainage system for properties within the Fraser River Escarpment Area.

## CONCLUSION:

It is recommended that second reading be given to *Zone Amending Bylaw No. 7503-2018*, and that application 2018-349-RZ be forwarded to Public Hearing.

“Original signed by Charles Goddard” for

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*Prepared by:* **Therese Melser**  
**Planning Technician**

“Original signed by Charles Goddard”

---

*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

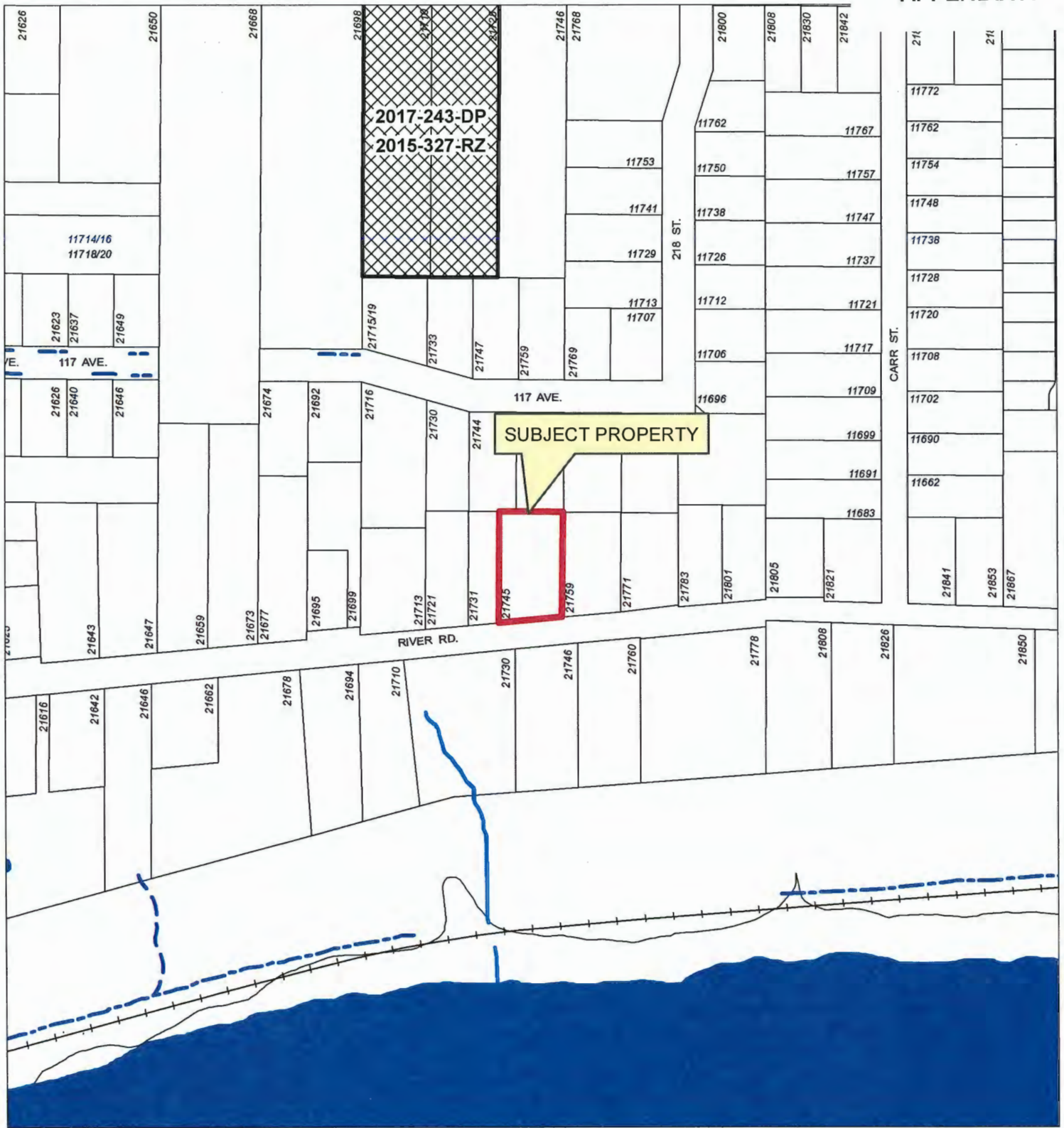
“Original signed by Scott Hartman”

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*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7503-2018
- Appendix D – Proposed Subdivision Plan



Scale: 1:2,500

### Legend

- Stream
- - - Ditch Centreline
- Edge of River
- - - Indefinite Creek
- Lake or Reservoir
- River
- + — Railway (Generalized)
- Major Rivers & Lakes

21745 RIVER ROAD

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

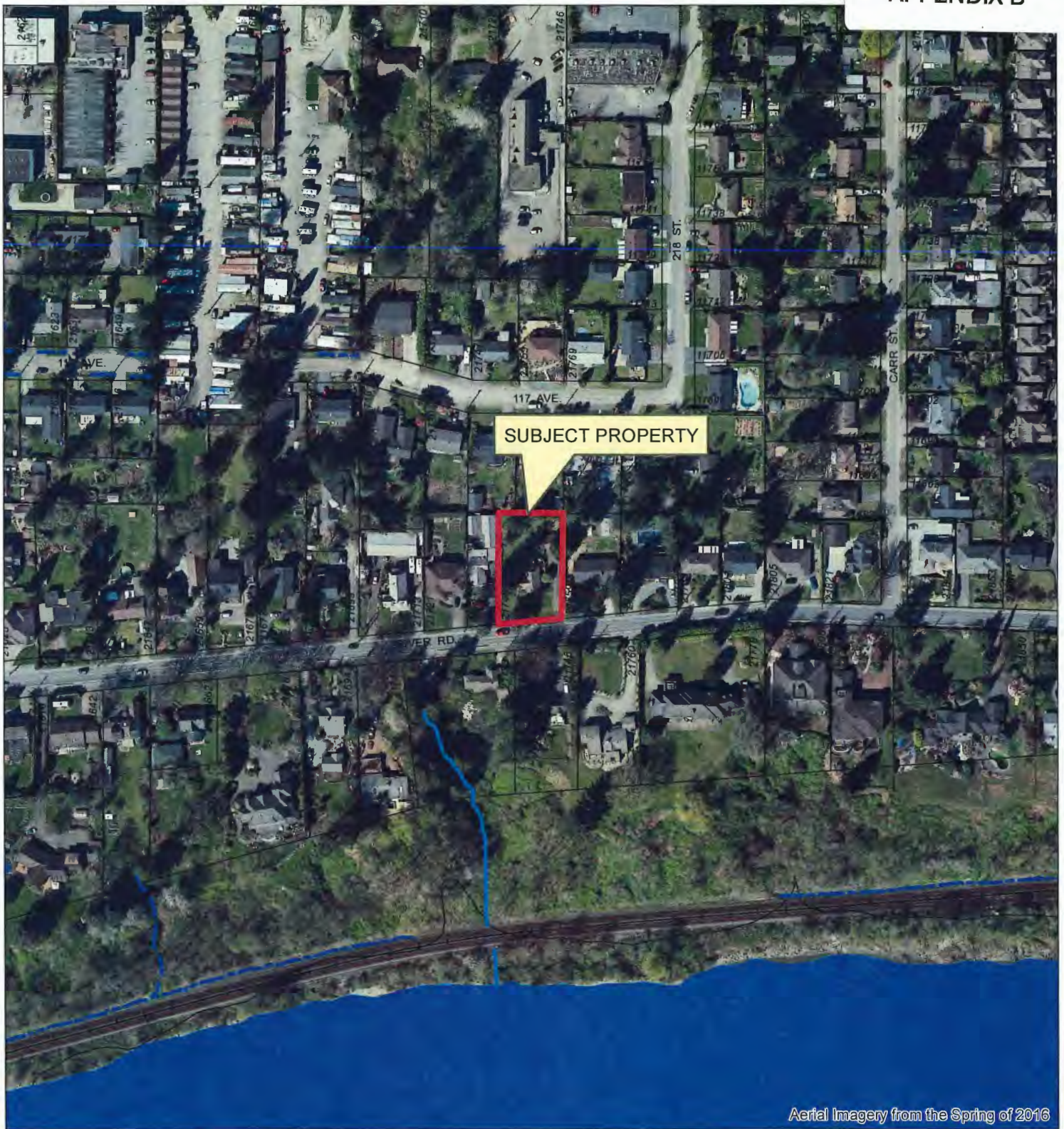
[mapleridge.ca](http://mapleridge.ca)

FILE: 2018-349-RZ

DATE: Aug 28, 2018

BY: LP

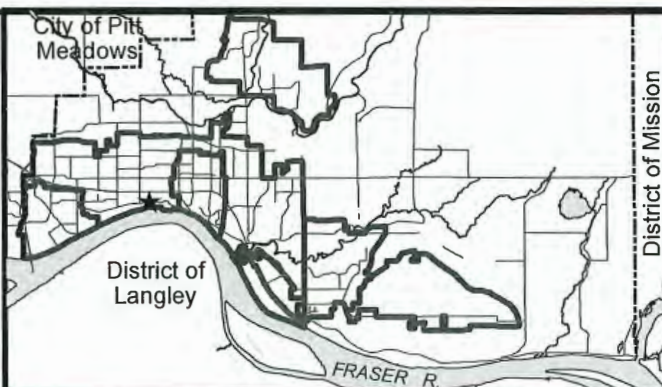




Aerial Imagery from the Spring of 2016



Scale: 1:2,500



21745 RIVER ROAD

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2018-349-RZ  
DATE: Aug 28, 2018

BY: LP



**CITY OF MAPLE RIDGE  
BYLAW NO. 7503-2018**

A Bylaw to amend Schedule "A" forming part of Zoning Bylaw No. 7600-2019, as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019, as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7503-2018."
2. That parcel or tract of land and premises known and described as:  
  
Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510  
  
and outlined in heavy black line on Map No. 1778 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RS-1b (Single Detached (Medium Density) Residential).
3. Maple Ridge Zoning Bylaw No. 7600-2019, as amended and Schedule "A" attached thereto are hereby amended accordingly.

**READ** a first time the 27<sup>th</sup> day of November, 2018.

**READ** a second time, as amended, the                      day of                      , 20

**PUBLIC HEARING** held the                      day of                      , 20

**READ** a third time the                      day of                      , 20

**APPROVED** by the Ministry of Transportation and Infrastructure this                      day of                      , 20

**ADOPTED**, the                      day of                      , 20

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**PRESIDING MEMBER**

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**CORPORATE OFFICER**



## MAPLE RIDGE ZONE AMENDING

Bylaw No. 7503-2018

Map No. 1778

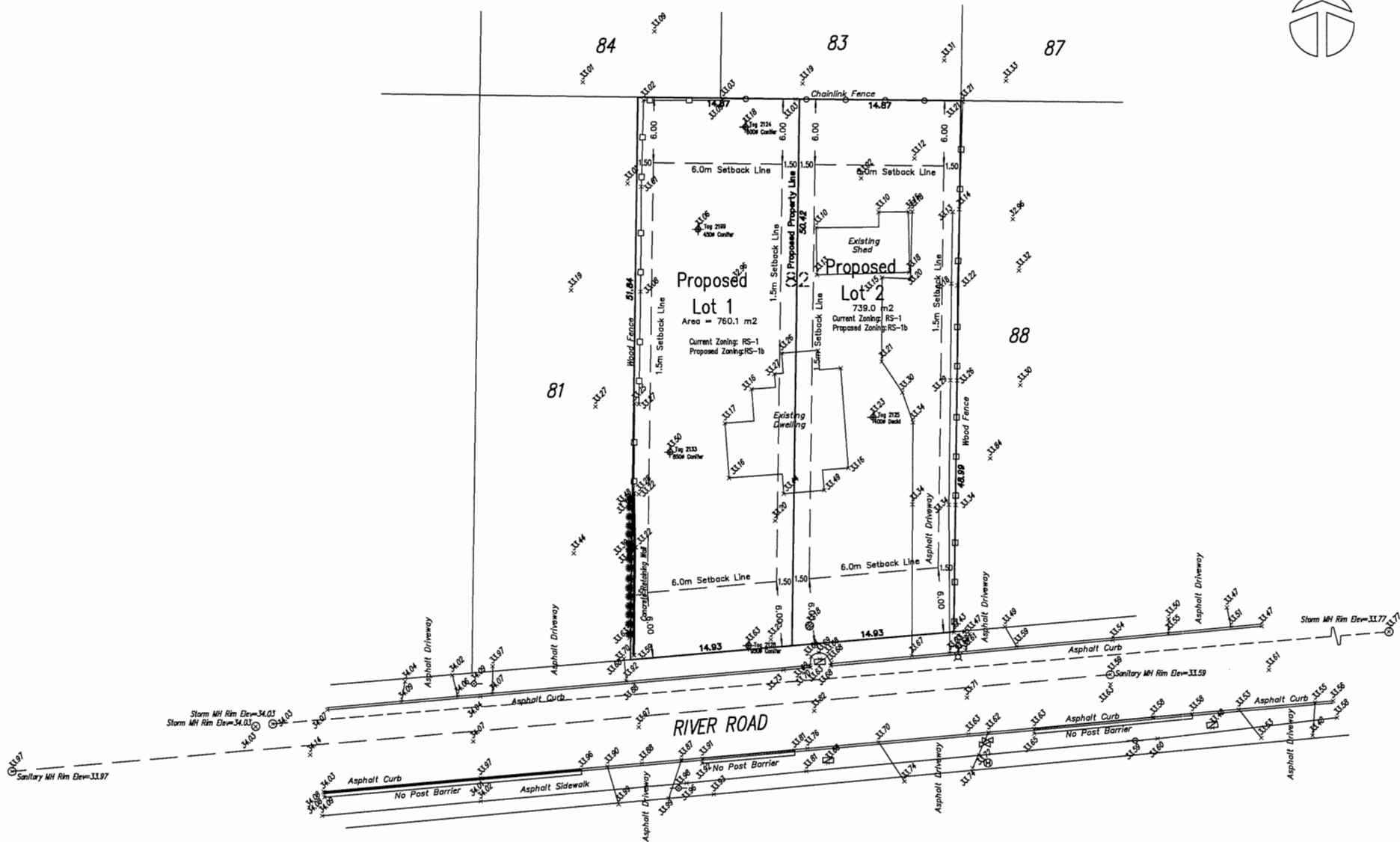
From: RS-1 (Single Detached Residential)

To: RS-1b (Single Detached (Medium Density) Residential)



SCALE 1:2,500





**Terra Pacific**  
Land Surveying Ltd.  
22371 St. Anne Avenue, Maple Ridge, BC  
Phone: 604-463-2509 Fax: 604-463-4501

Drawing Title:

Topographic Survey Plan Of  
Lot 82 DL 247 G. 1  
NWD PLAN 32510

Project:

21745 River Road  
Maple Ridge, BC

Notes:

All Dimensions Are in Meters.  
Lot Dimensions Are Based On Current Legal Survey.  
Elevations Are Geodetic.  
Referenced to Monument 0282448.  
Monument Elev = 33.755 m  
Manholes Inverts not surveyed due to high traffic  
volume at time of survey.

SCALE 1 : 250



Legend:	
D=	Water Valve
+	Fire Hydrant
o	Ground Elevation
x	Manhole
—	Hedge
—	Catch Basin
—	Lawn Drain
—	Tree
—	Power Pole
—	Power Pole with Light

File: MR18-1927DPO\_REV

Certified Correct  
This 10th Day Of August, 2018

Mike Bernemann, BCLS

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**MEETING DATE:** July 19, 2022  
**FILE NO:** 2019-392-RZ  
**MEETING:** Public Hearing  
**SUBJECT:** **ADDENDUM to Second Reading Report dated June 15, 2021**  
**22904, 22910 and 22922 Dewdney Trunk Road**

---

**EXECUTIVE SUMMARY:**

Revisions to the plans included in the second reading report for application 2019-392-RZ to permit the future construction of a six-storey, mixed-use building with 127 units of apartment housing and approximately 180m<sup>2</sup> of commercial space, have been received and feature certain changes due to access issues with the proposal. The previous plans featured access from a rear lane that would need to be constructed over a portion of the property located at 22882 Dewdney Trunk Road to the west. The new proposal features access from a temporary lane connecting the rear of the property to Dewdney Trunk Road, over the property located at 22936 Dewdney Trunk Road, located immediately to the east of the subject site. The property to the east is part of Application No. 2021-281-RZ, which is anticipated to receive second reading in July of 2022. As a result of this new access arrangement, the following changes to the proposal have been made:

1. The rear entrance to the underground parking relocated to the west side of the building.
2. The circulation within the underground parkade has been adjusted and the location of the bicycle parking has been changed by bringing some of the parking to the main floor.
3. The grade at the front (north) of the building has been raised slightly.
4. The location of the indoor amenity areas on the main floor of the building had been brought closer to the centre of the building and the at-grade parking adjusted.

**CONCLUSION:**

The modifications to the design of the proposal do not change the overall form and character of the building and do not change the use or density of this application. There are no changes to the Zone Amending Bylaw; therefore, the application can continue from second reading to Public Hearing. The Development Permit for the building is subject to Council approval and will be the subject of a future report to Council.

"Original signed by Rene Tardif"

*Prepared by:* **Rene Tardif, BA, M.PL**  
**Planner 1**

"Original signed by Charles Goddard"

*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development**  
**Services**

"Original signed by Scott Hartman"

*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

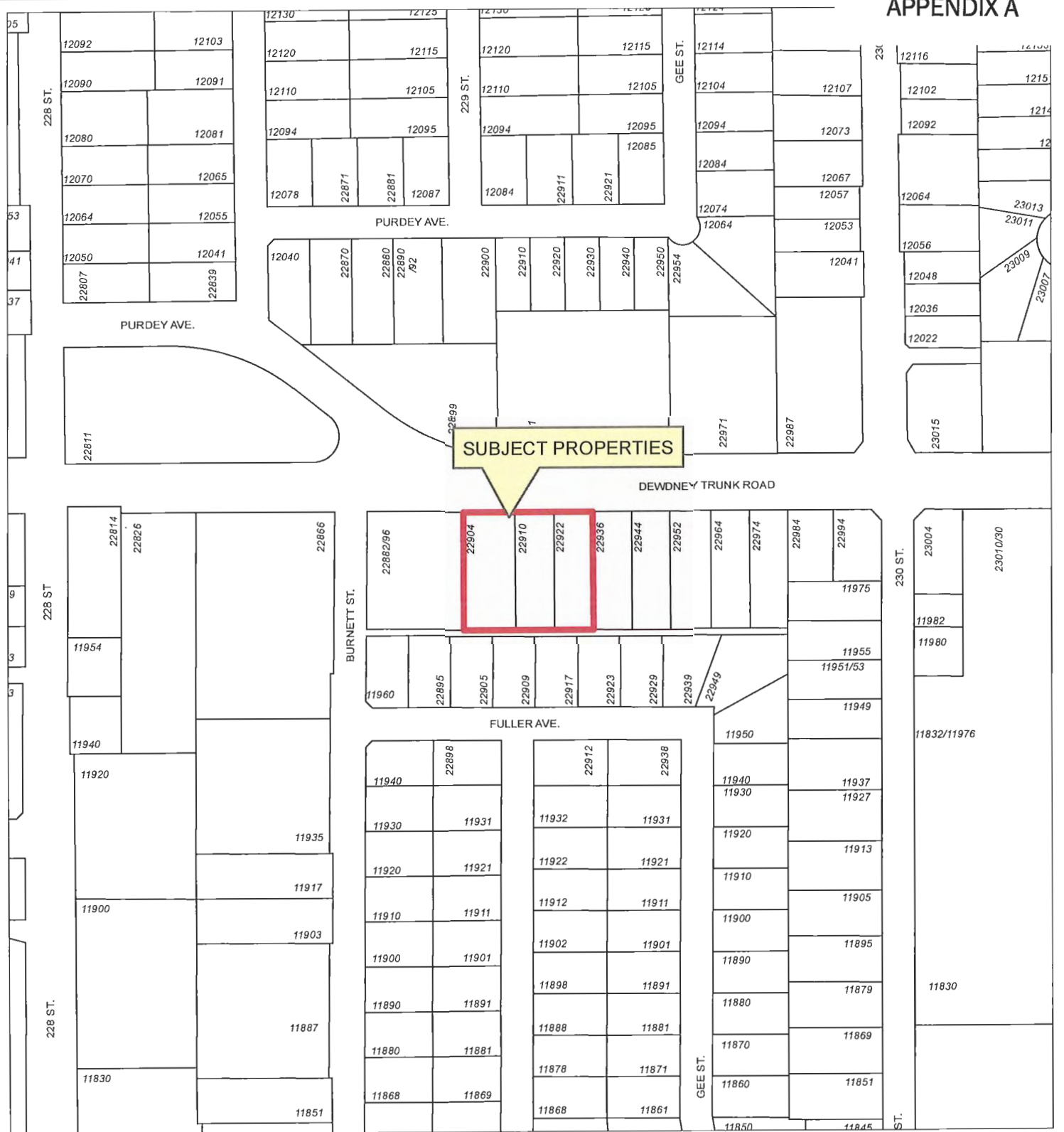
Appendix A – Subject Map

Appendix B – Ortho Map

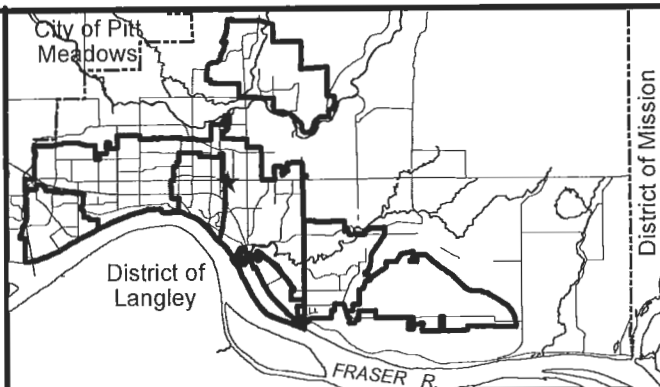
Appendix C – Updated Architectural and Landscape Plans

Appendix D – Application 2019-392-RZ Second Reading Report dated June 15, 2021

## APPENDIX A



Scale: 1:2,500



22904/10/22 DEWDNEY TRUNK ROAD  
PID'S: 005-703-018, 005-562-171 &  
005-649-617

PLANNING DEPARTMENT  
PLANNING DEPARTMENT

## MAPLE RIDGE

British Columbia

mapleridge.ca

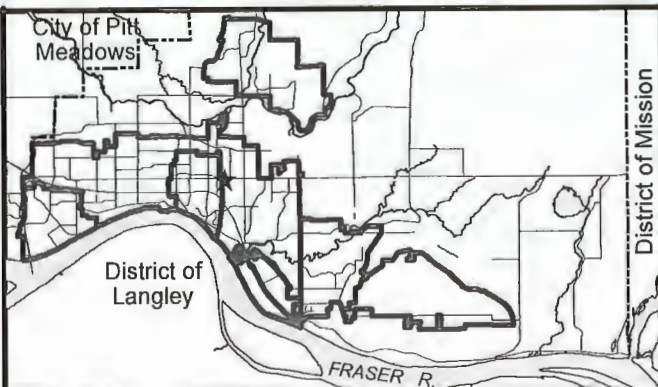
FILE: 2019-392-RZ  
DATE: Nov 15, 2019

BY: PC





Scale: 1:2,500



22904/10/22 DEWDNEY TRUNK ROAD  
PID'S: 005-703-018, 005-562-171 &  
005-649-617

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-392-RZ  
DATE: Nov 15, 2019

BY: PC



# DEWDNEY TRUNK ROAD

22904-22922 DEWDNEY TRUNK ROAD  
MAPLE RIDGE, BRITISH COLUMBIA



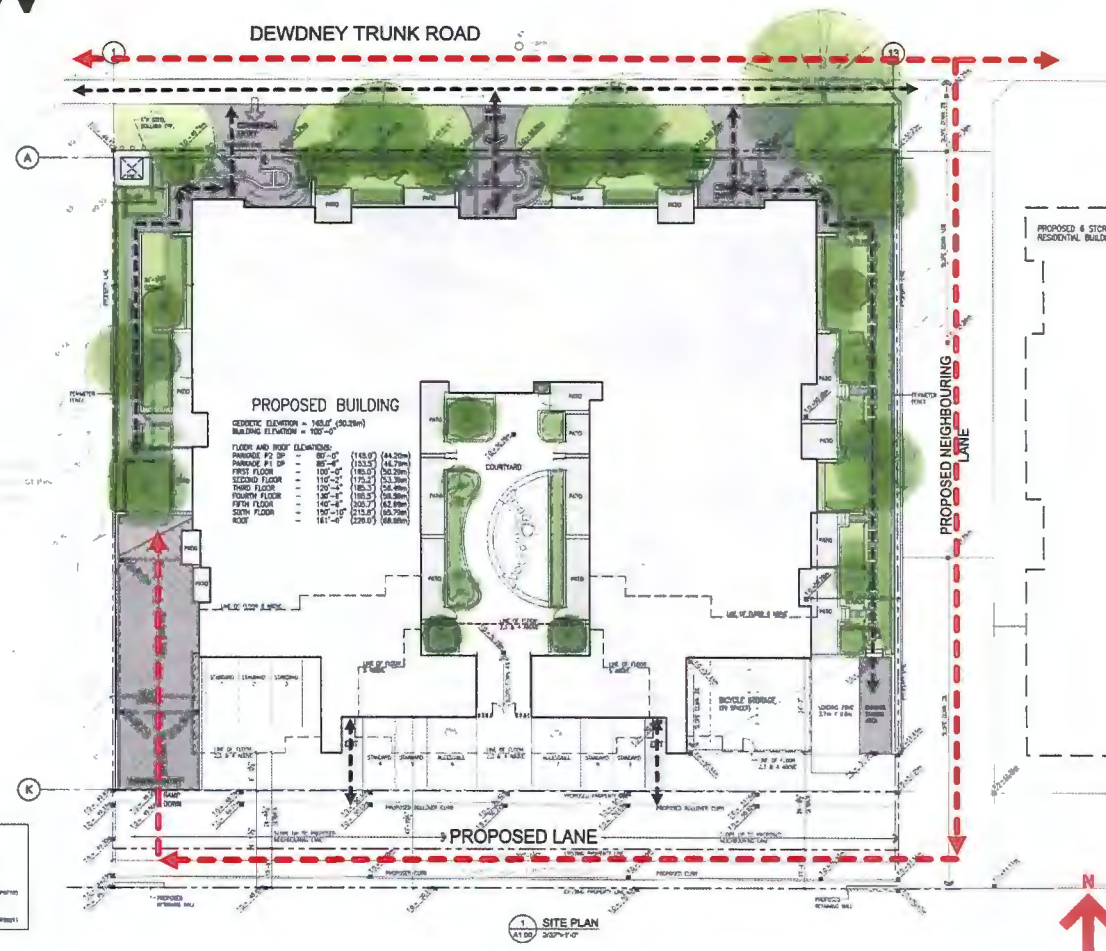
*Prepared by*

Billard Architecture Inc.

[Billardarchitecture.ca](http://Billardarchitecture.ca)



## TRAFFIC FLOW





# MASSING

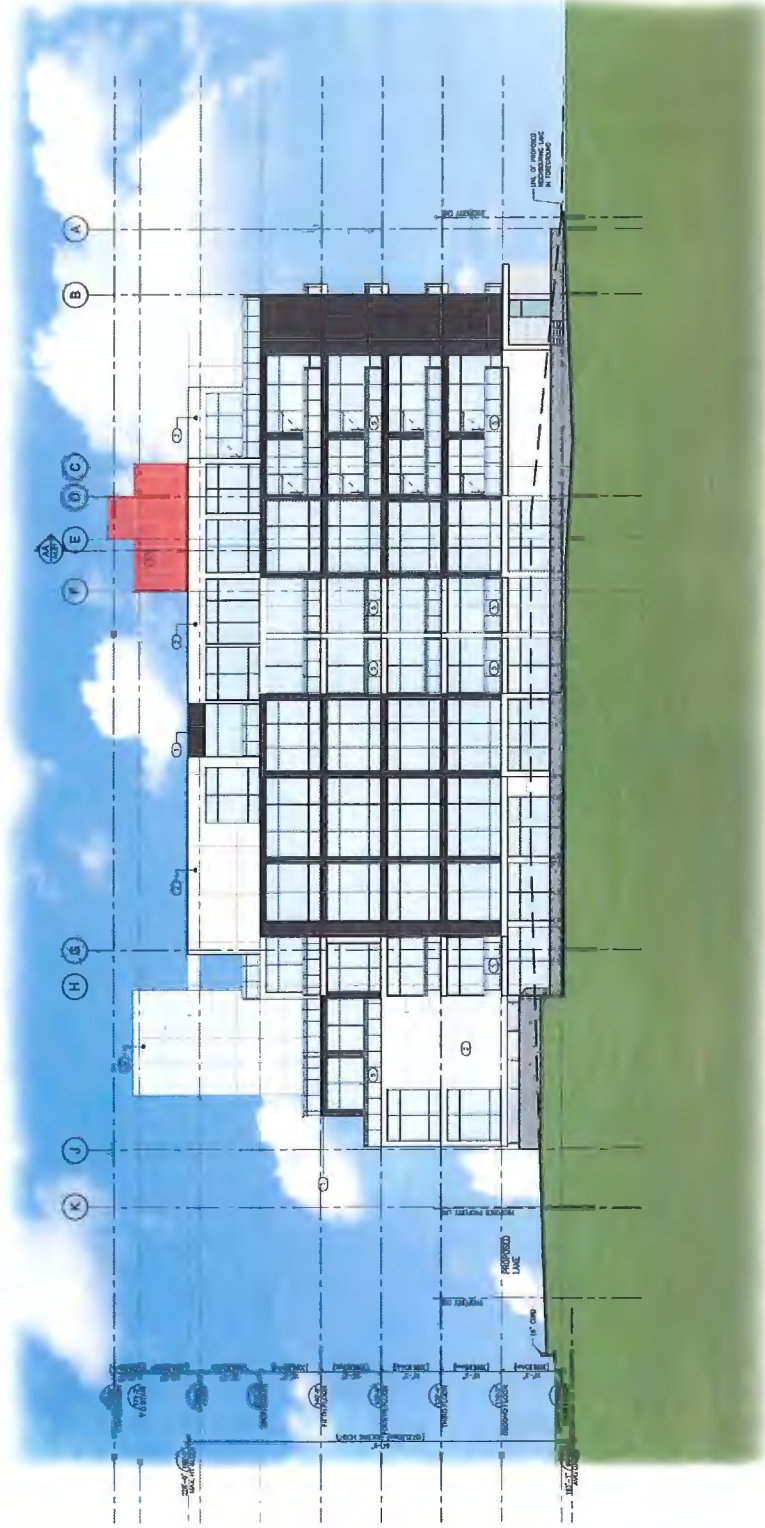
- **5.1.27** Vertical elements should be included to break down the horizontal scale of the building
- **8.7.1 (2)** Transitional development should be used to bridge areas of low and high densities, through means such as stepped building heights
- **8.7.2 (A) 2** Residential buildings should front or appear to front onto public roads through the use of appropriate treatment of exteriors
- **8.7.2 (A) 4** Be designed to maximize privacy and minimize views onto adjoining site
- **8.7.2 (A) 4** Create a transition in building mass and form towards the setbacks of the adjacent neighbourhood
- **8.7.2 (A) 5** Incorporate components that express strong unit identity and incorporate direct access to grade for ground-floor units
- **8.7.2 (A) 5** Provide variation in the façades to help reduce the visual length of individual buildings
- **8.7.2 (A) 10** Garage doors should not face public streets



# ELEVATIONS - NORTH



# ELEVATIONS - EAST



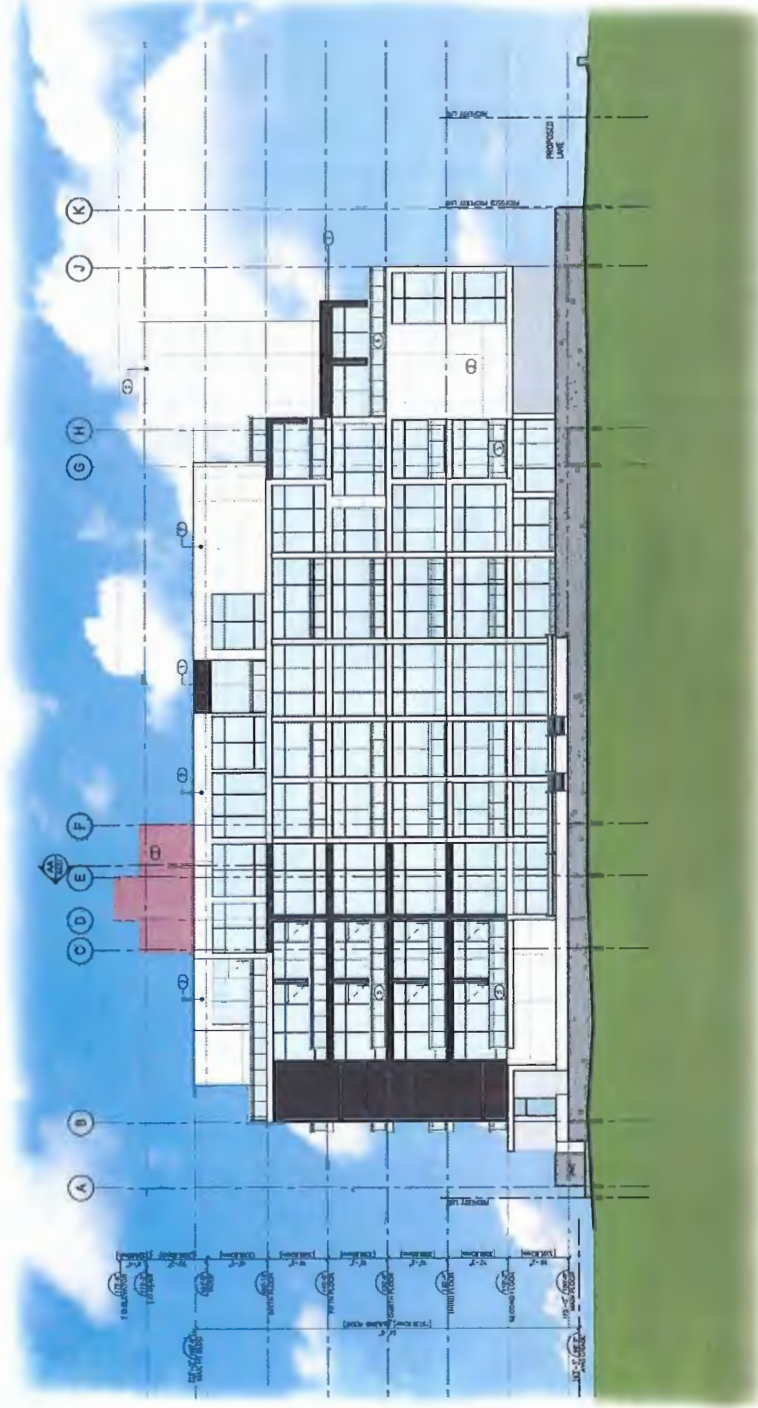


# ELEVATIONS - SOUTH



**Note:** Sunshades to be installed above windows on this elevation to reduce solar heat gain.

# ELEVATIONS - WEST



# CONTEXT ELEVATIONS - DEWDNEY TRUNK ROAD





# MATERIAL BOARD



**METAL COMPOSITE PANEL - BLACK w/ REVEAL**



**METAL COMPOSITE PANEL - WHITE w/ REVEAL**



**CONCRETE PLANTERS**



**GLASS AND ALUMINUM GUARDS**



**METAL COMPOSITE PANEL- RED w/ REVEAL**



**ALUMINUM PLANK – WOODGRAIN**

# DATA

## Dewdney Trunk Multi-Residential

FLOOR	GROSS AREA		RESIDENTIAL GROSS AREA		COMMERCIAL GROSS AREA		INDOOR AMENITY		OUTDOOR AMENITY		INDOOR CORRIDOR		STAIR / ELEVATOR CORE		BALCONY AREA	
	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT
1	1254.00	13641.20	1460.40	15774.20	720.57	7750.68	28.53	307.78	320.97	3454.47	180.53	1933.50	63.77	687.70	12.08	1302.00
2	1769.29	19047.77	1460.40	15774.20	0.00	0.00	0.00	0.00	0.00	0.00	148.84	1599.44	58.05	624.74	15.00	1624.90
3	1777.40	19089.77	1521.88	16382.40	0.00	0.00	0.00	0.00	0.00	0.00	192.35	2070.38	58.13	626.77	16.00	1719.00
4	1777.40	19089.77	1444.33	15594.40	0.00	0.00	0.00	0.00	0.00	0.00	192.35	2070.38	58.13	626.77	17.00	1813.00
5	1435.80	15450.70	1210.34	13049.50	0.00	0.00	0.00	0.00	0.00	0.00	156.94	1696.06	58.13	626.77	17.00	1813.00
6	1740.00	18618.00	1620.77	17381.00	0.00	0.00	0.00	0.00	0.00	0.00	115.00	1235.00	50.10	539.70	19.00	2049.00
TOTAL	8453.12	91419.70	7659.07	82441.84	170.57	1830.68	28.53	307.78	320.97	3454.47	216.47	2308.70	341.81	3654.44	107.08	11518.70

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)		# OF BEDROOMS
		SO M	SO FT	SO M	SO FT	
1	101	251.15	2700.00	251.15	2700.00	1
	102	251.15	2700.00	251.15	2700.00	1
	103	251.15	2700.00	251.15	2700.00	1
	104	251.15	2700.00	251.15	2700.00	1
	105	251.15	2700.00	251.15	2700.00	1
	106	251.15	2700.00	251.15	2700.00	1
	107	251.15	2700.00	251.15	2700.00	1
	108	251.15	2700.00	251.15	2700.00	1
	109	251.15	2700.00	251.15	2700.00	1
	110	251.15	2700.00	251.15	2700.00	1
	111	251.15	2700.00	251.15	2700.00	1
	112	251.15	2700.00	251.15	2700.00	1
	113	251.15	2700.00	251.15	2700.00	1
	114	251.15	2700.00	251.15	2700.00	1
	115	251.15	2700.00	251.15	2700.00	1
	116	251.15	2700.00	251.15	2700.00	1
	117	251.15	2700.00	251.15	2700.00	1
	118	251.15	2700.00	251.15	2700.00	1
# OF UNITS	18	4520.70	48600.00	4520.70	48600.00	18

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)		# OF BEDROOMS
		SO M	SO FT	SO M	SO FT	
2	201	251.15	2700.00	251.15	2700.00	1
	202	251.15	2700.00	251.15	2700.00	1
	203	251.15	2700.00	251.15	2700.00	1
	204	251.15	2700.00	251.15	2700.00	1
	205	251.15	2700.00	251.15	2700.00	1
	206	251.15	2700.00	251.15	2700.00	1
	207	251.15	2700.00	251.15	2700.00	1
	208	251.15	2700.00	251.15	2700.00	1
	209	251.15	2700.00	251.15	2700.00	1
	210	251.15	2700.00	251.15	2700.00	1
	211	251.15	2700.00	251.15	2700.00	1
	212	251.15	2700.00	251.15	2700.00	1
	213	251.15	2700.00	251.15	2700.00	1
	214	251.15	2700.00	251.15	2700.00	1
	215	251.15	2700.00	251.15	2700.00	1
	216	251.15	2700.00	251.15	2700.00	1
	217	251.15	2700.00	251.15	2700.00	1
	218	251.15	2700.00	251.15	2700.00	1
	219	251.15	2700.00	251.15	2700.00	1
	220	251.15	2700.00	251.15	2700.00	1
	221	251.15	2700.00	251.15	2700.00	1
	222	251.15	2700.00	251.15	2700.00	1
	223	251.15	2700.00	251.15	2700.00	1
	224	251.15	2700.00	251.15	2700.00	1
	225	251.15	2700.00	251.15	2700.00	1
	226	251.15	2700.00	251.15	2700.00	1
# OF UNITS	26	4520.70	48600.00	4520.70	48600.00	26

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)		# OF BEDROOMS
		SO M	SO FT	SO M	SO FT	
3	301	251.15	2700.00	251.15	2700.00	1
	302	251.15	2700.00	251.15	2700.00	1
	303	251.15	2700.00	251.15	2700.00	1
	304	251.15	2700.00	251.15	2700.00	1
	305	251.15	2700.00	251.15	2700.00	1
	306	251.15	2700.00	251.15	2700.00	1
	307	251.15	2700.00	251.15	2700.00	1
	308	251.15	2700.00	251.15	2700.00	1
	309	251.15	2700.00	251.15	2700.00	1
	310	251.15	2700.00	251.15	2700.00	1
	311	251.15	2700.00	251.15	2700.00	1
	312	251.15	2700.00	251.15	2700.00	1
	313	251.15	2700.00	251.15	2700.00	1
	314	251.15	2700.00	251.15	2700.00	1
	315	251.15	2700.00	251.15	2700.00	1
	316	251.15	2700.00	251.15	2700.00	1
	317	251.15	2700.00	251.15	2700.00	1
	318	251.15	2700.00	251.15	2700.00	1
# OF UNITS	27	4520.70	48600.00	4520.70	48600.00	27

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)		# OF BEDROOMS
		SO M	SO FT	SO M	SO FT	
4	401	251.15	2700.00	251.15	2700.00	1
	402	251.15	2700.00	251.15	2700.00	1
	403	251.15	2700.00	251.15	2700.00	1
	404	251.15	2700.00	251.15	2700.00	1
	405	251.15	2700.00	251.15	2700.00	1
	406	251.15	2700.00	251.15	2700.00	1
	407	251.15	2700.00	251.15	2700.00	1
	408	251.15	2700.00	251.15	2700.00	1
	409	251.15	2700.00	251.15	2700.00	1
	410	251.15	2700.00	251.15	2700.00	1
	411	251.15	2700.00	251.15	2700.00	1
	412	251.15	2700.00	251.15	2700.00	1
	413	251.15	2700.00	251.15	2700.00	1
	414	251.15	2700.00	251.15	2700.00	1
	415	251.15	2700.00	251.15	2700.00	1
	416	251.15	2700.00	251.15	2700.00	1
	417	251.15	2700.00	251.15	2700.00	1
	418	251.15	2700.00	251.15	2700.00	1
# OF UNITS	24	4520.70	48600.00	4520.70	48600.00	24

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)		# OF BEDROOMS
		SO M	SO FT	SO M	SO FT	
5	501	251.15	2700.00	251.15	2700.00	1
	502	251.15	2700.00	251.15	2700.00	1
	503	251.15	2700.00	251.15	2700.00	1
	504	251.15	2700.00	251.15	2700.00	1
	505	251.15	2700.00	251.15	2700.00	1
	506	251.15	2700.00	251.15	2700.00	1
	507	251.15	2700.00	251.15	2700.00	1
	508	251.15	2700.00	251.15	2700.00	1
	509	251.15	2700.00	251.15	2700.00	1
	510	251.15	2700.00	251.15	2700.00	1
	511	251.15	2700.00	251.15	2700.00	1
	512	251.15	2700.00	251.15	2700.00	1
	513	251.15	2700.00	251.15	2700.00	1
	514	251.15	2700.00	251.15	2700.00	1
	515	251.15	2700.00	251.15	2700.00	1
	516	251.15	2700.00	251.15	2700.00	1
	517	251.15	2700.00	251.15	2700.00	1
	518	251.15	2700.00	251.15	2700.00	1
# OF UNITS	22	4520.70	48600.00	4520.70	48600.00	22

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)		# OF BEDROOMS
		SO M	SO FT	SO M	SO FT	
6	601	251.15	2700.00	251.15	2700.00	1
	602	251.15	2700.00	251.15	2700.00	1
	603	251.15	2700.00	251.15	2700.00	1
	604	251.15	2700.00	251.15	2700.00	1
	605	251.15	2700.00	251.15	2700.00	1
	606	251.15	2700.00	251.15	2700.00	1
	607	251.15	2700.00	251.15	2700.00	1
	608	251.15	2700.00	251.15	2700.00	1
	609	251.15	2700.00	251.15	2700.00	1
	610	251.15	2700.00	251.15	2700.00	1
# OF UNITS	10	4520.70	48600.00	4520.70	48600.00	10

FLOOR	UNIT #	GROSS AREA (SQ M)		GROSS AREA (SQ FT)	
		SO M	SO FT	SO M	SO FT
1	1	83.54	898.50	83.54	898.50
	2	179.4	1920.70	179.4	1920.70
# OF UNITS	2	262.94	2819.20	262.94	2819.20

INDOOR AMENITY	REQUIRED	PROVIDED
	381.00	88.57

DETRAILS	REQUIRED	PROPOSED	COMMENT
ENTRY	14.5' (4.5 m)	MAIN ENTR	
DOOR	12.5' (3.9 m)	COMMERCIAL	
DOOR (HALLWAY)	10.5' (3.2 m)		
DOOR (HALLWAY)	10.5' (3.2 m)		
DOOR (HALLWAY)	10.5' (3.2 m)		

# DATA

REQUIRED VEHICLE PARKING (MAPLE RIDGE)		UNITS	STALLS	REFERENCE
STUDIO	0.8 / UNIT	31	28	SCHEDULE "A" (10.2)
1 BED	1.3 / UNIT	51	61	SCHEDULE "A" (10.3)
2 BED	1.1 / UNIT	20	22	SCHEDULE "A" (10.2)
3 BED	1.2 / UNIT	16	23	SCHEDULE "A" (10.2)
VISITOR	0.2 / UNIT	127	24	SCHEDULE "A" (10.2)
COMMERCIAL	1 STALL PER UNIT BELOW 100m <sup>2</sup>	170.37 SQ M	2	SCHEDULE "A" (10.3)
LOADING	1 / BUILDING		1	5.1
ACCESSIBLE	3 ACC STALL FOR 126-200 STALLS		3	4.2.1
TOTAL STALLS REQUIRED			187 STALLS REQUIRED	
			3 OF WHICH MUST BE ACCESSIBLE	

PARKING SPACE BREAKDOWN (MAPLE RIDGE)	DIMENSIONS	ALLOWABLE / REQUIRED	PROPOSED	REFERENCE
RESIDENTIAL COMPACT (10%)	2.4 M X 4.9 M	15 MAX	23	4.1 & 4.2
RESIDENTIAL STANDARD	2.3 M X 5.3 M	125 MIN	126	4.1 & 4.2
RESIDENTIAL ACCESSIBLE	3.8 M X 5.5 M	3 TOTAL	1	4.2.2
VISITOR ACCESSIBLE	3.8 M X 5.5 M		2	
VISITOR COMPACT (10%)	2.4 M X 4.9 M	20 MIN	8	4.1 & 4.2
VISITOR STANDARD	2.3 M X 5.5 M		13	4.1 & 4.2
LOADING	3.7 M X 8.0 M	1	1	5.1
ELECTRIC VEHICLE CHARGING	EACH NON-VISITOR	133	133	SCHEDULE "A"
TOTAL			187 STALLS PROPOSED	

NOTE: REDUCED OFF-STREET PARKING SPACES  
PROVIDED AS PER 3.4 OF BYLAW NO.4350 - 1990

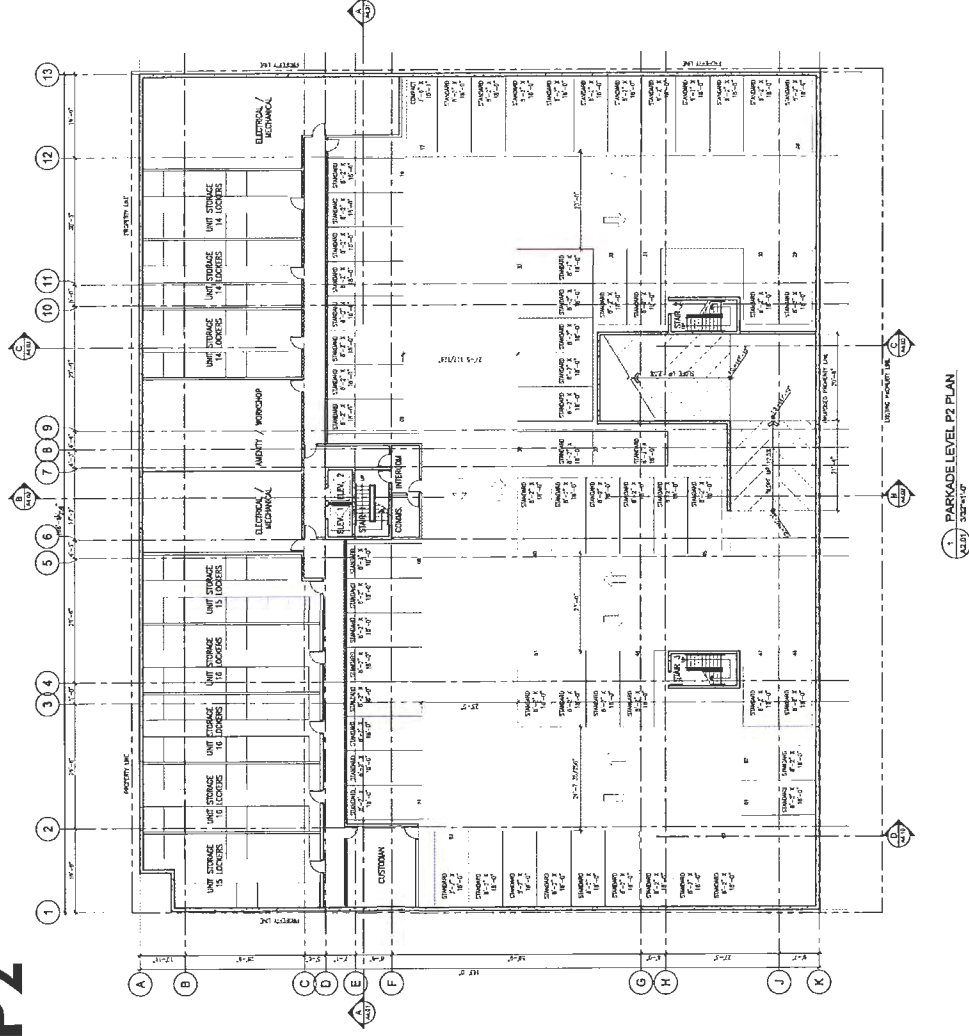
PARKING BICYCLE BREAKDOWN (MAPLE RIDGE)	DIMENSIONS	ALLOWABLE / REQUIRED	PROPOSED	REFERENCE
CLASS 1 BICYCLE ALTERNATIVE	-	40% MAX	0	10.4.2.b
CLASS 1 BICYCLE SPACE	0.6 M X 1.8 M	-	67	10.4.2.a



## DEWDNEY TRUNK ROAD



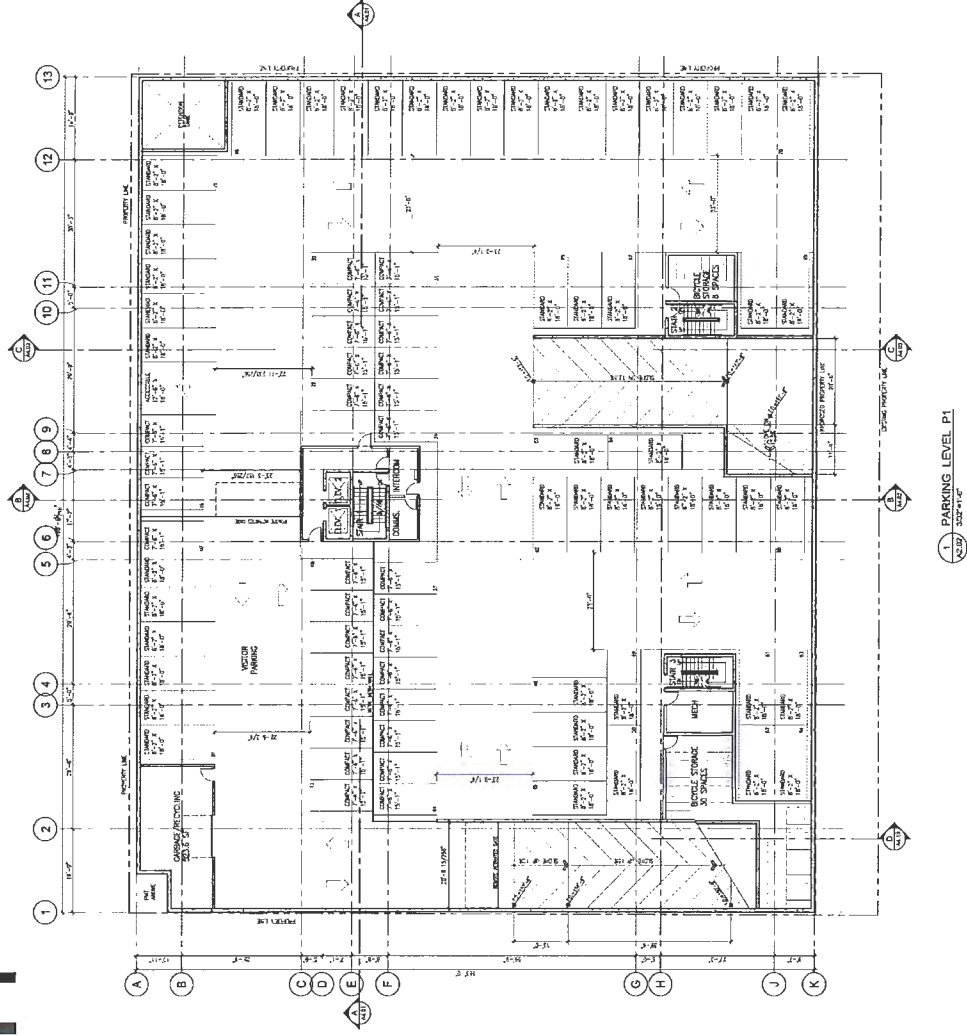
# PARKING - P2



1 PARKADE LEVEL P2 PLAN  
1/8" = 1'-0"



# PARKING - P1

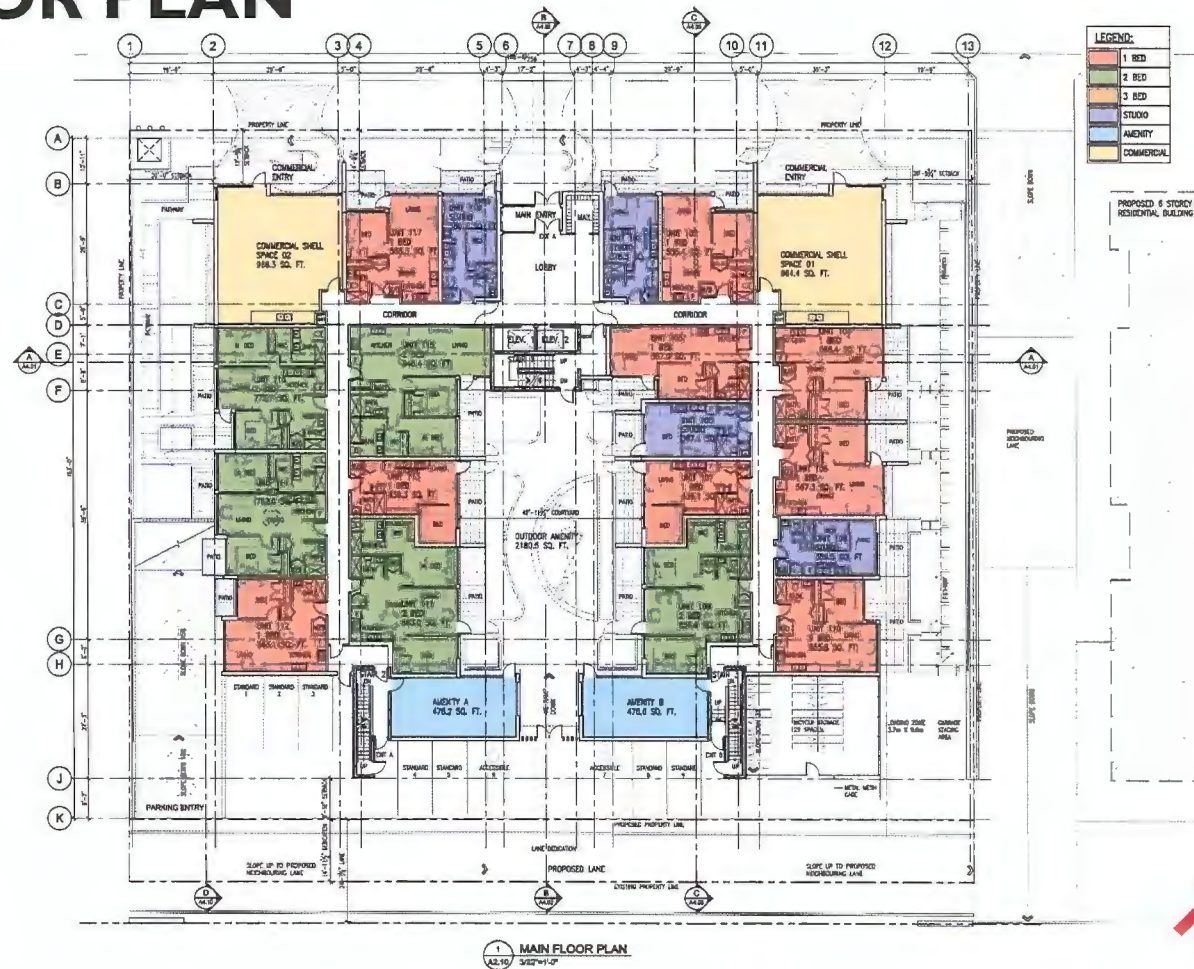


1. PARKING LEVEL P1  
1/2" = 1'-0"

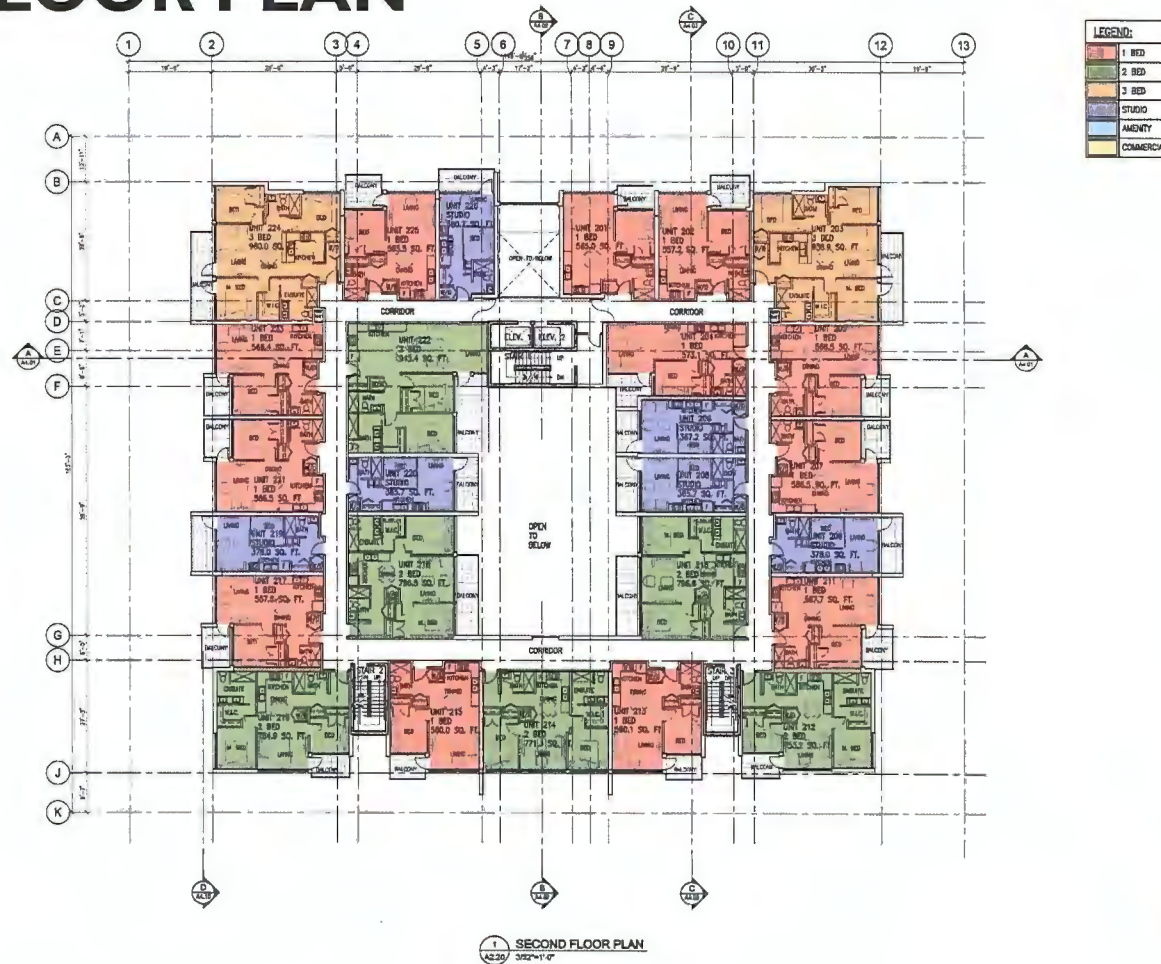




# MAIN FLOOR PLAN

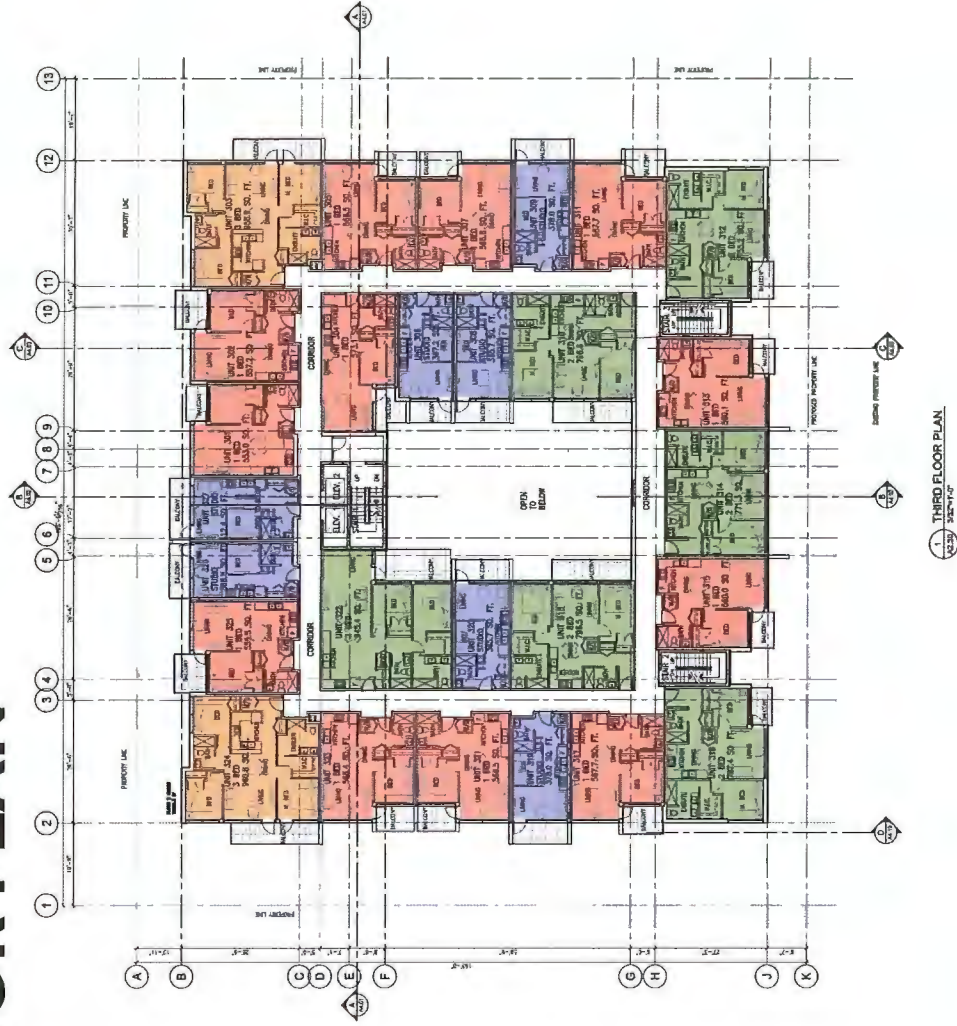


# SECOND FLOOR PLAN



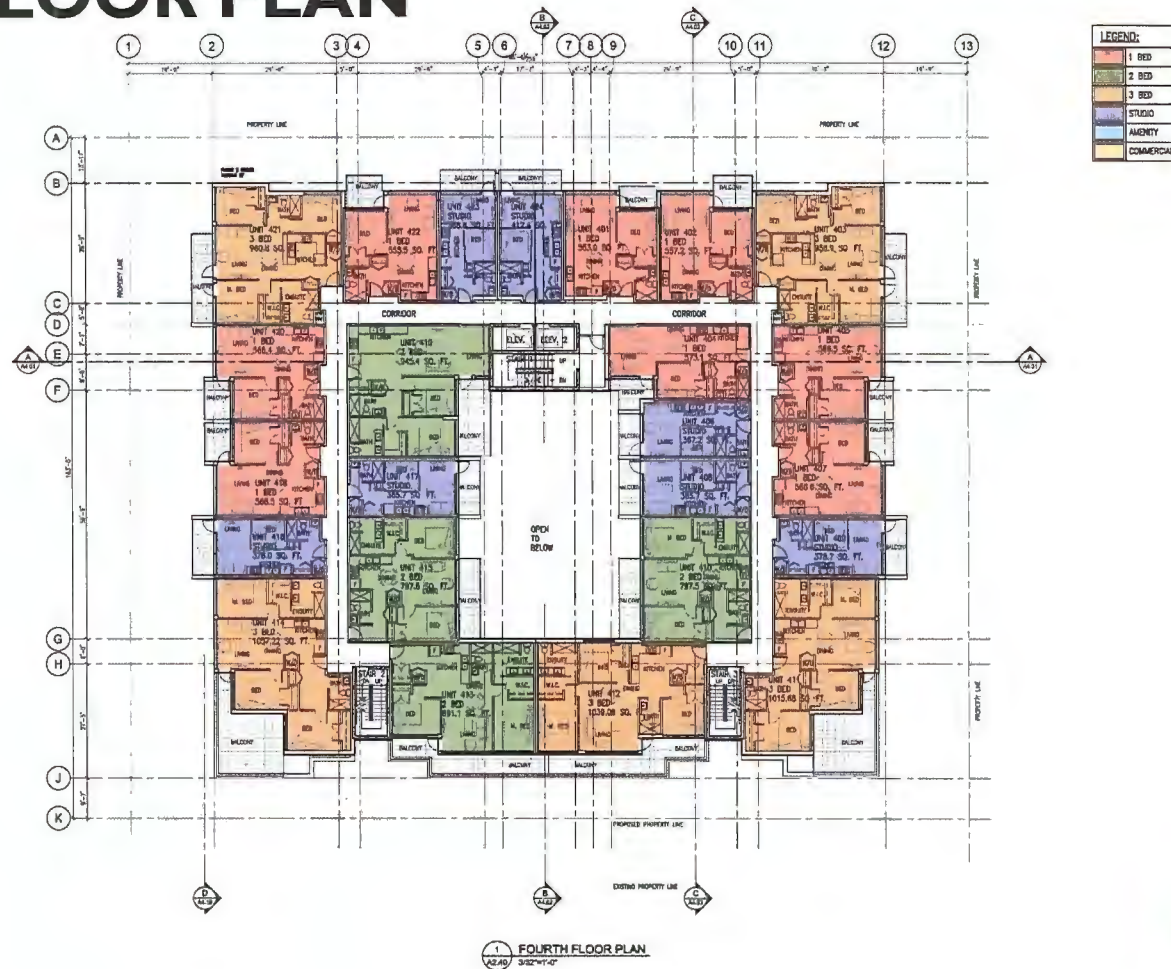
# THIRD FLOOR PLAN

LEGEND:
1 BED
2 BED
3 BED
STUDIO
ADULTY
COMMERCIAL

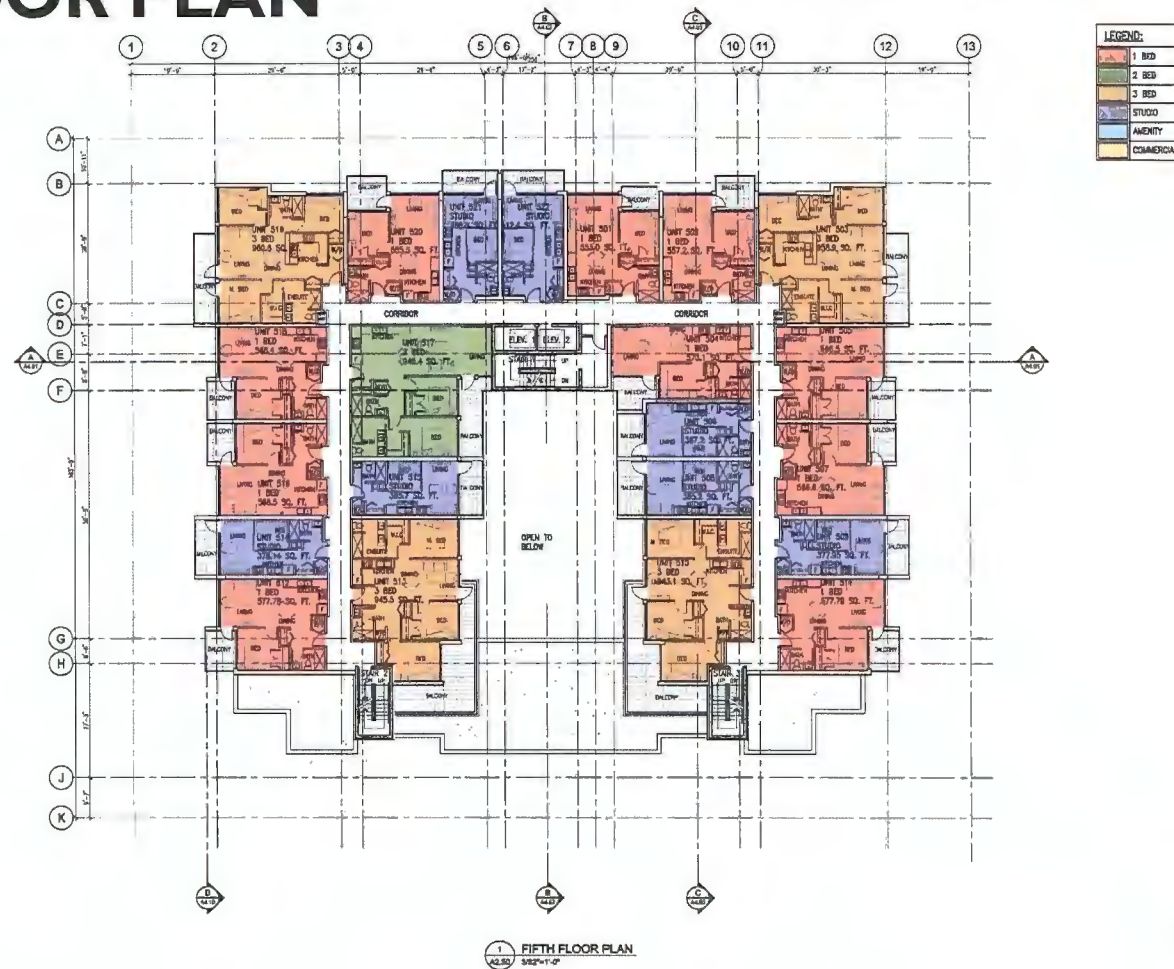




# FOURTH FLOOR PLAN



# FIFTH FLOOR PLAN



**LEGEND:**

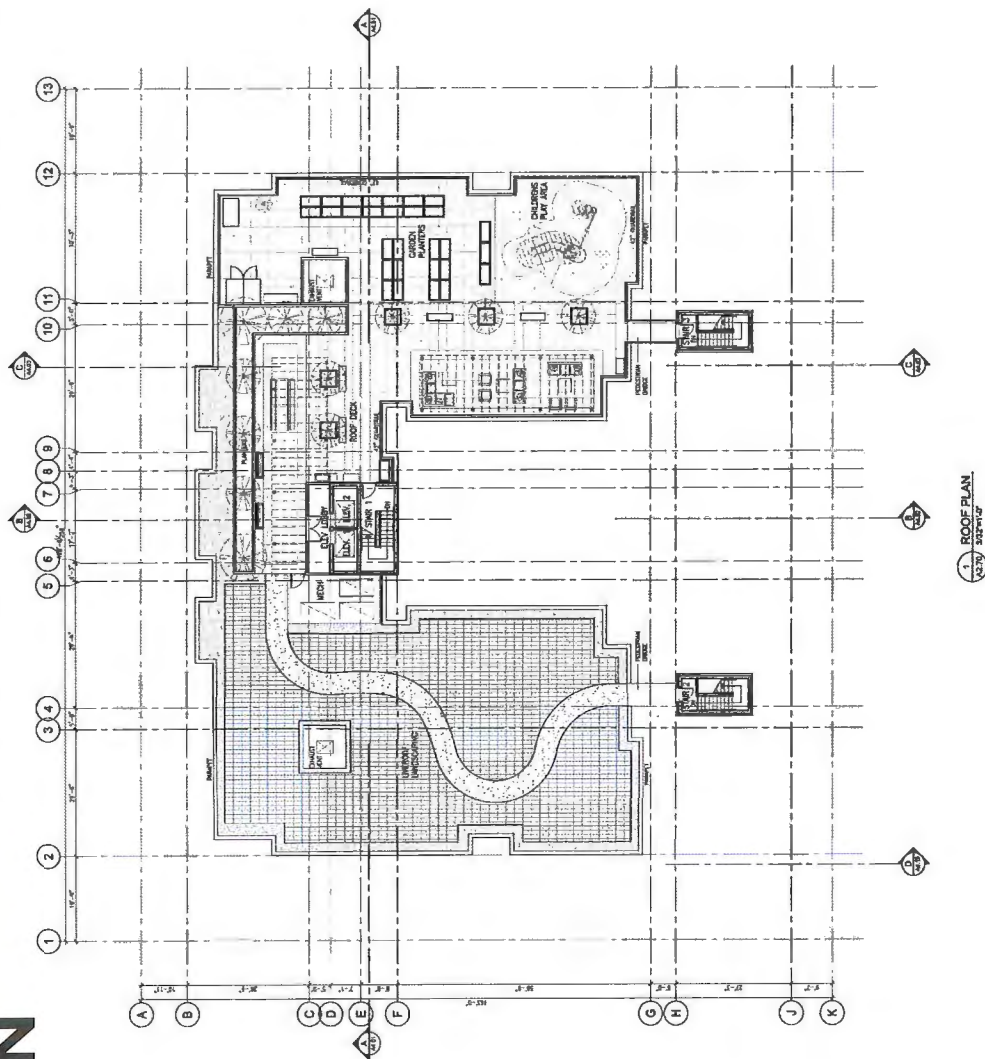
1 BED
2 BED
3 BED
STUDIO
AMINITY
COMMERCIAL





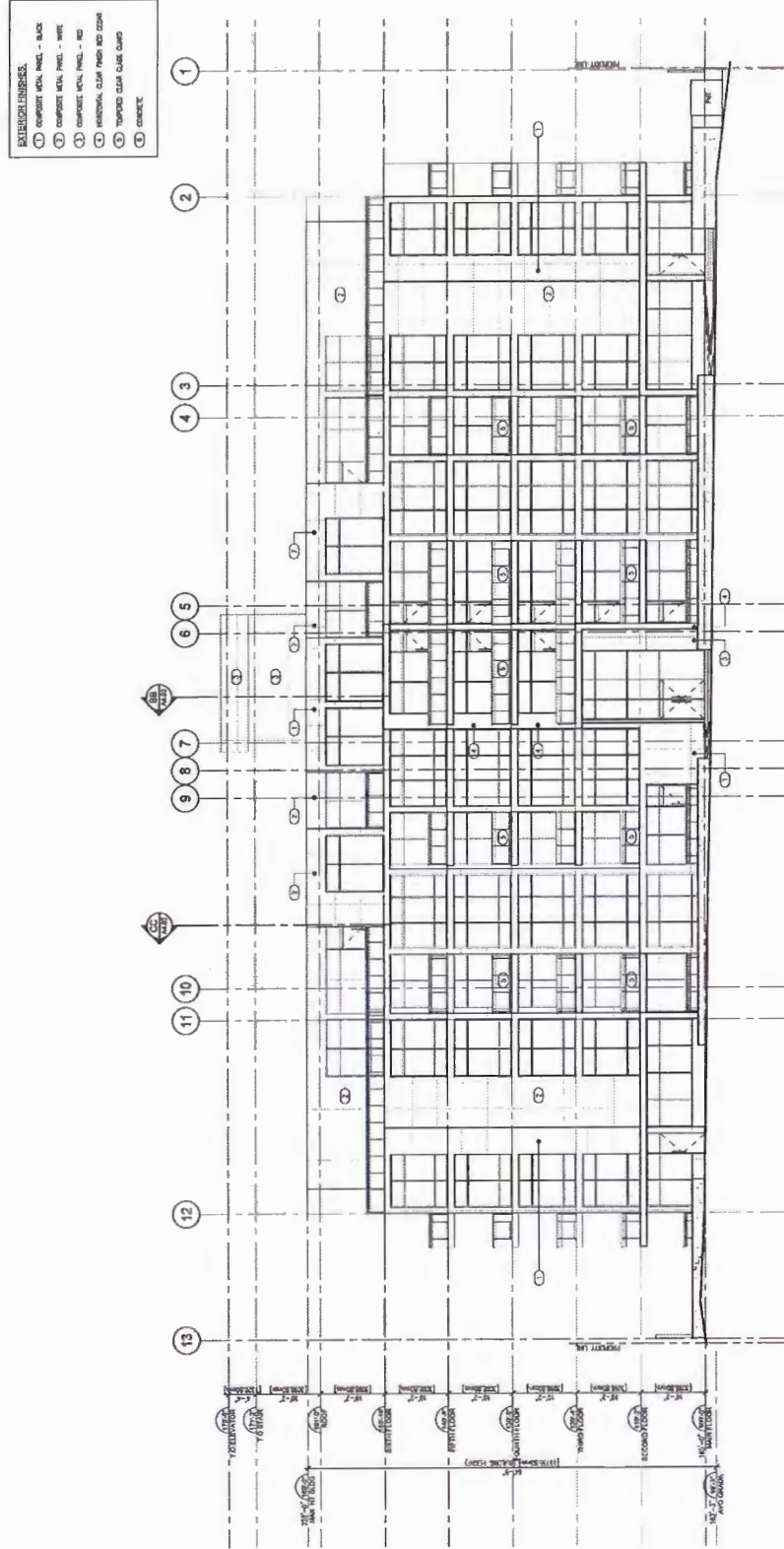
# ROOF PLAN

LEGEND:	
1 BED	2 BED
3 BED	STUDIO
ADULT	COMMERCIAL



1 ROOF PLAN  
V2.35  
2022.07.12

# ELEVATION NORTH

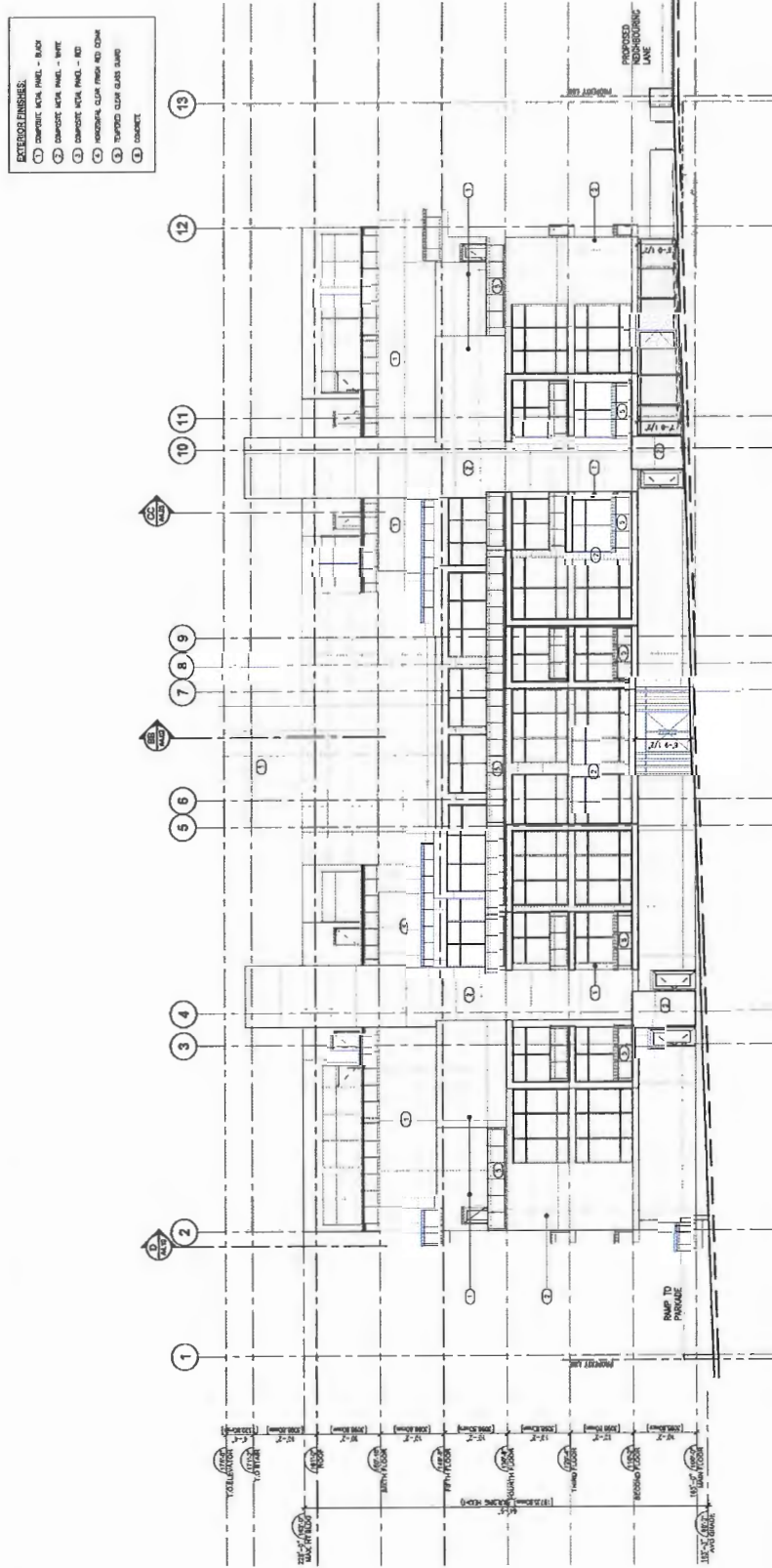


1. *Journal of the American Medical Association*, 2000; 284: 2689-2695.





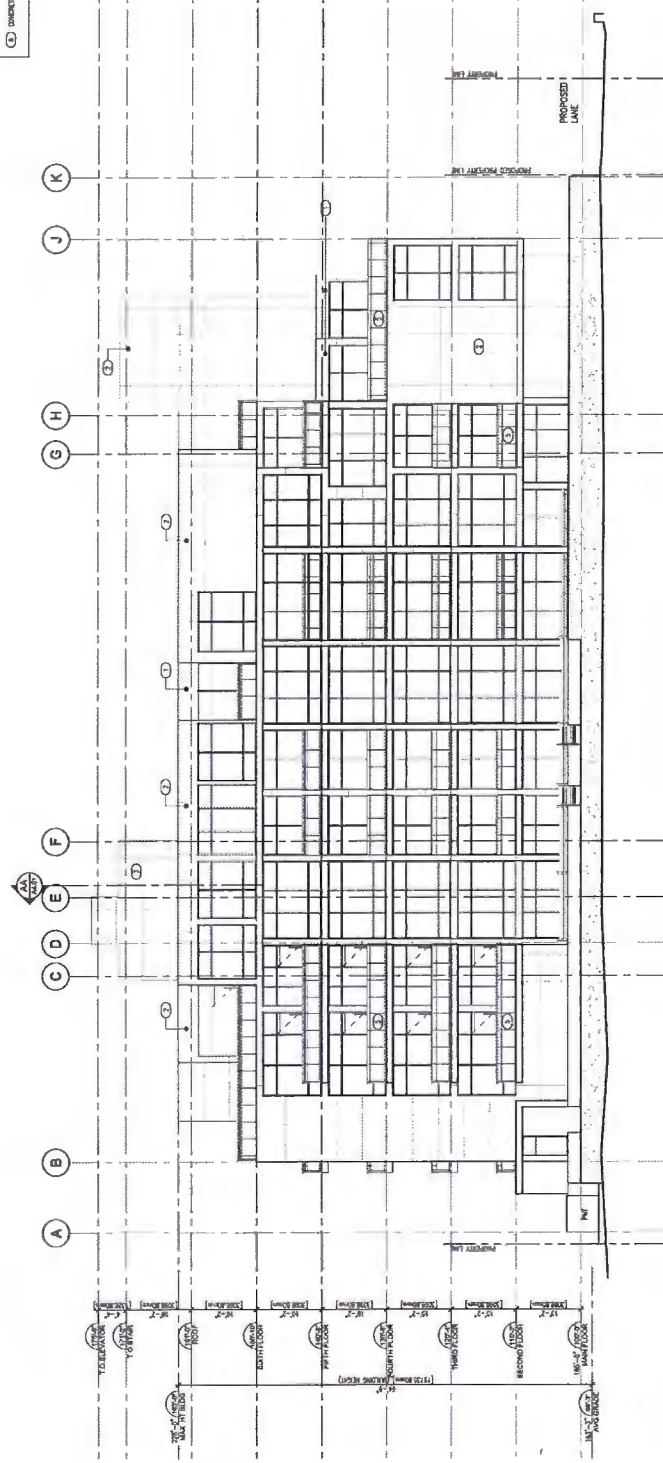
# ELEVATION SOUTH



3 SOUTH ELEVATION  
1/8" = 1'-0"

# ELEVATION WEST

EXTERIOR FINISHES	
(1)	COMPOSITE METAL PANEL - BLACK
(2)	COMPOSITE METAL PANEL - WHITE
(3)	COMPOSITE METAL PANEL - RED
(4)	HORIZONTAL CLAD PANEL - RED
(5)	HORIZONTAL CLAD PANEL - RED
(6)	CLADDING



4 WEST ELEVATION  
1/8"=1'-0"

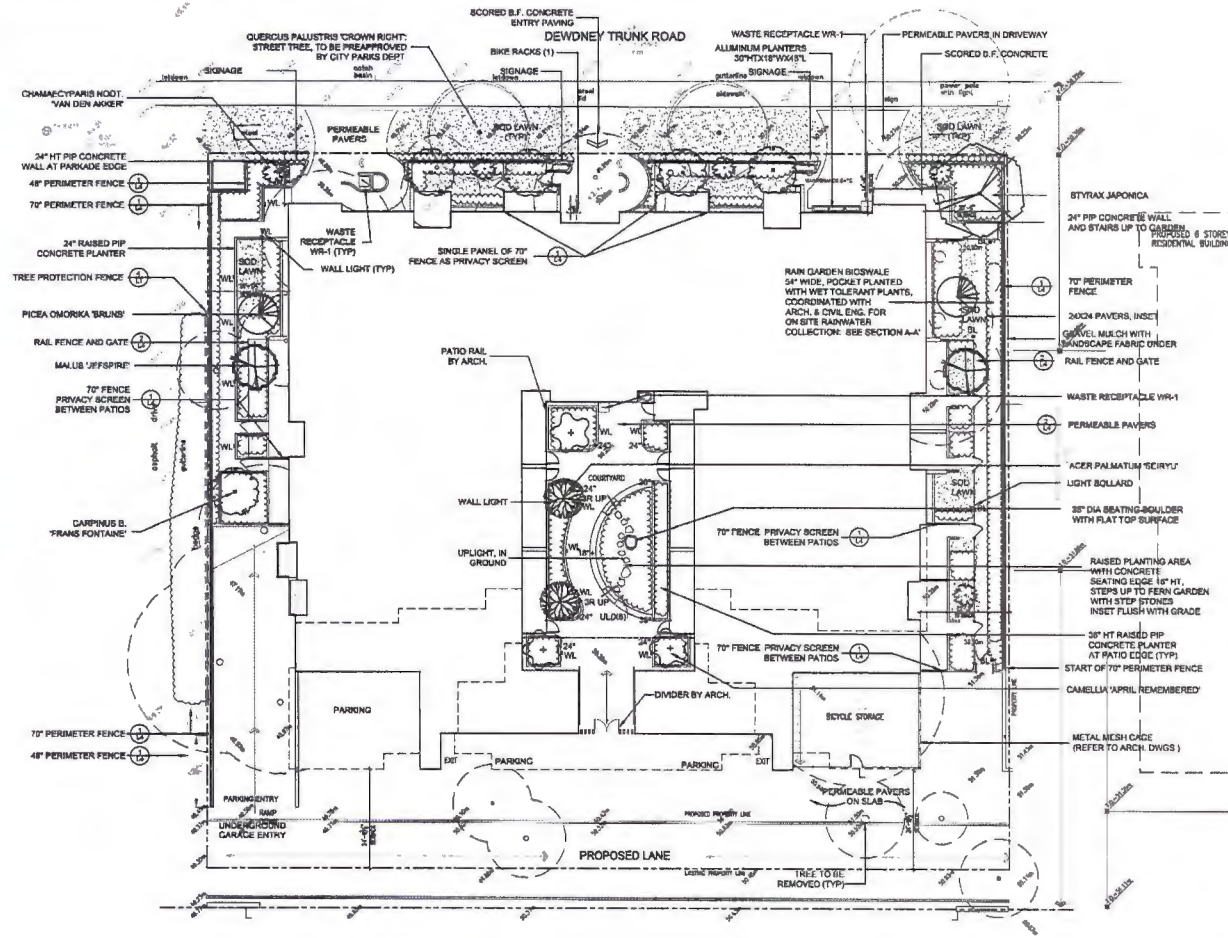
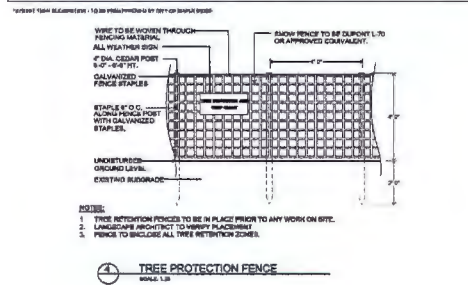
# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - MAIN

Details provided by PMG Landscape Architects.

PLANT SCHEDULE	PART NO. TREE AND SPUR	PROPOSED NUMBER, DRAIN
PLANT SCHEDULE	COMMON NAME	PLANTING SIZE / COMMENTS
1	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
2	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
3	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
4	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
5	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
6	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
7	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
8	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
9	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
10	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
11	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
12	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
13	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
14	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
15	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
16	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
17	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
18	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
19	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
20	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
21	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
22	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
23	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
24	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
25	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
26	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
27	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
28	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
29	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
30	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500

PLANT SCHEDULE	PART NO. TREE AND SPUR	PROPOSED NUMBER, DRAIN
PLANT SCHEDULE	COMMON NAME	PLANTING SIZE / COMMENTS
31	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
32	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
33	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
34	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
35	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
36	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
37	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
38	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
39	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
40	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
41	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
42	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
43	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
44	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
45	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
46	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
47	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
48	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
49	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
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51	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
52	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
53	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
54	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
55	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
56	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
57	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
58	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
59	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500
60	ACER PALMATUM 'SEIRYU'	30" CAL. 1.00 STD. 500





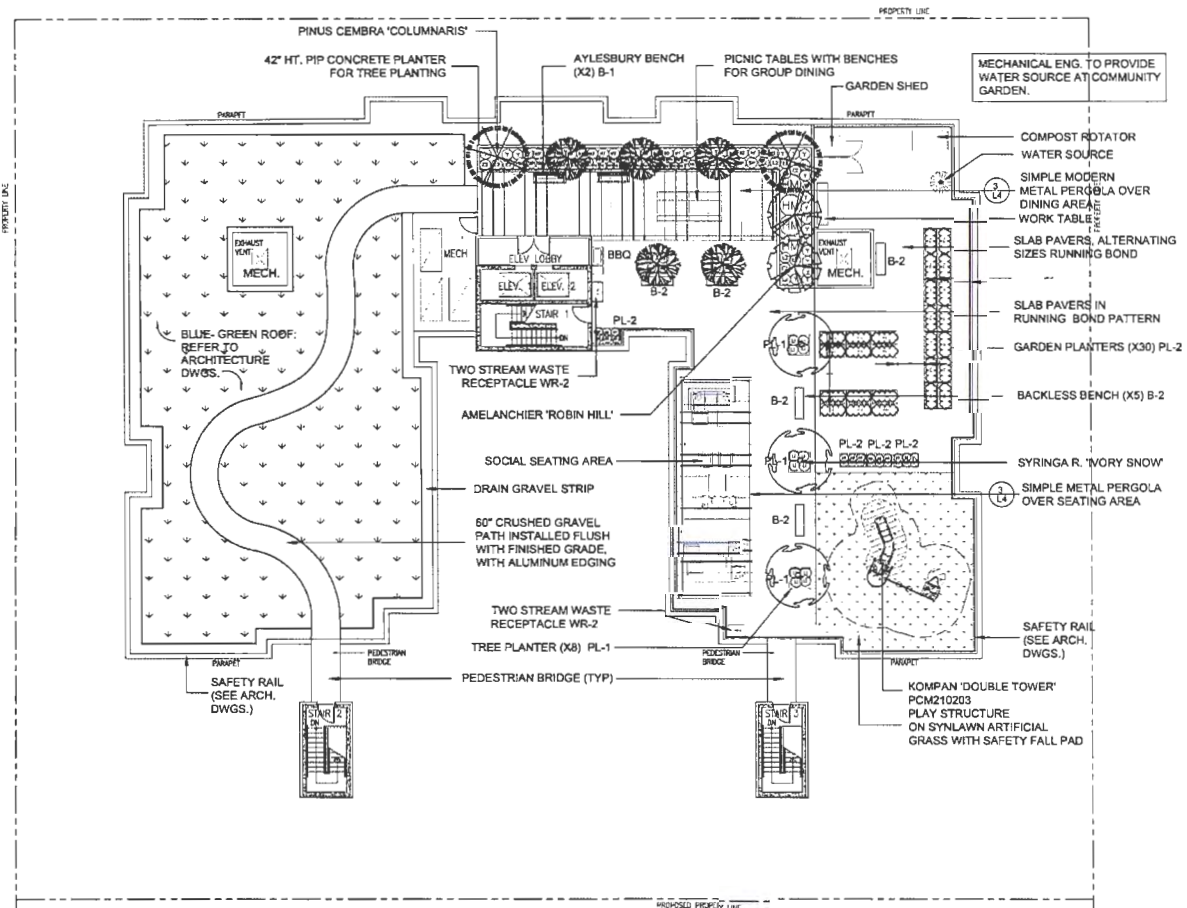
# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - ROOF

Details provided by PMG Landscape Architects.

PLANT SCHEDULE	PLANT NAME	PLANT SIZE	PLANT TYPE	PLANT CODE
1	ACER PLANTATION	4" POT	DECIDUOUS	ACER
2	AMELANCHIER 'ROBIN HILL'	4" POT	DECIDUOUS	AMEL
3	ARJIS PLANTATION	4" POT	DECIDUOUS	ARJIS
4	BARBARA PLANTATION	4" POT	DECIDUOUS	BARB
5	BURNING BUSH	4" POT	DECIDUOUS	BURN
6	CAMELLIA PLANTATION	4" POT	DECIDUOUS	CAME
7	CANADIAN BELLFLOWER	4" POT	DECIDUOUS	CANB
8	CORONILLA PLANTATION	4" POT	DECIDUOUS	CORON
9	CRABAPPLE PLANTATION	4" POT	DECIDUOUS	CRAB
10	DOGWOOD PLANTATION	4" POT	DECIDUOUS	DOGW
11	DOUGLASS SPRUCE	4" POT	CONIFER	DOUG
12	ELDER PLANTATION	4" POT	DECIDUOUS	ELDER
13	EUONYMUS PLANTATION	4" POT	DECIDUOUS	EUON
14	FLORIDA YEW	4" POT	CONIFER	FLOR
15	GALNUT PLANTATION	4" POT	DECIDUOUS	GALN
16	GLADIOLUS PLANTATION	4" POT	DECIDUOUS	GLAD
17	GRASS PLANTATION	4" POT	GRASS	GRASS
18	HOLLY PLANTATION	4" POT	DECIDUOUS	HOLLY
19	HYDRANGEA PLANTATION	4" POT	DECIDUOUS	HYDR
20	IRIS PLANTATION	4" POT	DECIDUOUS	IRIS
21	JASMINE PLANTATION	4" POT	DECIDUOUS	JASME
22	JUNO PLANTATION	4" POT	DECIDUOUS	JUNO
23	KOON PLANTATION	4" POT	DECIDUOUS	KOON
24	LAUREL PLANTATION	4" POT	DECIDUOUS	LAURE
25	LEONARD PLANTATION	4" POT	DECIDUOUS	LEON
26	LYNCH PLANTATION	4" POT	DECIDUOUS	LYNCH
27	MAGNOLIA PLANTATION	4" POT	DECIDUOUS	MAGN
28	MARSH PLANTATION	4" POT	DECIDUOUS	MARSH
29	MAY PLANTATION	4" POT	DECIDUOUS	MAY
30	MONARDELLA PLANTATION	4" POT	DECIDUOUS	MONA
31	MORNING GLORY PLANTATION	4" POT	DECIDUOUS	MORGL
32	MULBERRY PLANTATION	4" POT	DECIDUOUS	MULB
33	NORFOLK ISLAND PLANTATION	4" POT	DECIDUOUS	NORF
34	ORANGE PLANTATION	4" POT	DECIDUOUS	ORANGE
35	OSAGE PLANTATION	4" POT	CONIFER	OSAGE
36	PAVING PLANTATION	4" POT	DECIDUOUS	PAVING
37	PEAR PLANTATION	4" POT	DECIDUOUS	PEAR
38	PEACH PLANTATION	4" POT	DECIDUOUS	PEACH
39	PEONY PLANTATION	4" POT	DECIDUOUS	PEONY
40	PIERIS PLANTATION	4" POT	DECIDUOUS	PIERIS
41	PLANTATION	4" POT	DECIDUOUS	PLANT
42	PLANTATION	4" POT	DECIDUOUS	PLANT
43	PLANTATION	4" POT	DECIDUOUS	PLANT
44	PLANTATION	4" POT	DECIDUOUS	PLANT
45	PLANTATION	4" POT	DECIDUOUS	PLANT
46	PLANTATION	4" POT	DECIDUOUS	PLANT
47	PLANTATION	4" POT	DECIDUOUS	PLANT
48	PLANTATION	4" POT	DECIDUOUS	PLANT
49	PLANTATION	4" POT	DECIDUOUS	PLANT
50	PLANTATION	4" POT	DECIDUOUS	PLANT

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15	GALNUT PLANTATION	4" POT	DECIDUOUS	GALN
16	GLADIOLUS PLANTATION	4" POT	DECIDUOUS	GLAD
17	GRASS PLANTATION	4" POT	GRASS	GRASS
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19	HYDRANGEA PLANTATION	4" POT	DECIDUOUS	HYDR
20	IRIS PLANTATION	4" POT	DECIDUOUS	IRIS
21	JASMINE PLANTATION	4" POT	DECIDUOUS	JASME
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24	LAUREL PLANTATION	4" POT	DECIDUOUS	LAURE
25	LEONARD PLANTATION	4" POT	DECIDUOUS	LEON
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30	MONARDELLA PLANTATION	4" POT	DECIDUOUS	MONA
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37	PEAR PLANTATION	4" POT	DECIDUOUS	PEAR
38	PEACH PLANTATION	4" POT	DECIDUOUS	PEACH
39	PEONY PLANTATION	4" POT	DECIDUOUS	PEONY
40	PIERIS PLANTATION	4" POT	DECIDUOUS	PIERIS
41	PLANTATION	4" POT	DECIDUOUS	PLANT
42	PLANTATION	4" POT	DECIDUOUS	PLANT
43	PLANTATION	4" POT	DECIDUOUS	PLANT
44	PLANTATION	4" POT	DECIDUOUS	PLANT
45	PLANTATION	4" POT	DECIDUOUS	PLANT
46	PLANTATION	4" POT	DECIDUOUS	PLANT
47	PLANTATION	4" POT	DECIDUOUS	PLANT
48	PLANTATION	4" POT	DECIDUOUS	PLANT
49	PLANTATION	4" POT	DECIDUOUS	PLANT
50	PLANTATION	4" POT	DECIDUOUS	PLANT



## LANDSCAPE ROOF DECK

The roof deck will provide space for residents to have private social gatherings, a children's play area, and personal gardens.

Utilizing sustainable methods for shade and cooling, the roof will support the heating/cooling of the building naturally.

Final plans will be made in consultation with **PMG Landscape Architects**.









## City of Maple Ridge

**TO:** His Worship Mayor Michael Morden  
 and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
 Official Community Plan Amending Bylaw No. 7759-2021;  
 First and Second Reading  
 Zone Amending Bylaw No. 7760-2021;  
 First and Second Reading  
 Off-Street Parking and Loading Bylaw Amending Bylaw No. 7763-2021;  
 Second Reading  
 Zone Amending Bylaw No. 7627-2020;  
 22904, 22910 and 22922 Dewdney Trunk Road

**MEETING DATE:** June 15, 2021  
**FILE NO:** 2019-392-RZ  
**MEETING:** C o W

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties located at 22904, 22910 and 22922 Dewdney Trunk Road from RS-1 (Single Detached Residential) to CD-2-20 (Comprehensive Development), to permit the construction of a six-storey, mixed-use building with 127 units of apartment housing and approximately 180 m<sup>2</sup> of commercial space in two units on the ground floor. Council granted first reading to Zone Amending Bylaw No. 7627-2020 on March 31, 2020. This is being accompanied by Zone Amending Bylaw No. 7760-2021 to amend the Zoning Bylaw text to create the CD-2-20 Zone. Off-Street Parking and Loading Bylaw Amending Bylaw No. 7763-2021 is also being brought forward in order to establish a parking requirement for the new CD-2-20 Zone.

This application requires an amendment to the Official Community Plan (OCP) to re-designate the land use from Urban Residential to Commercial, and is being accompanied by Official Community Plan Amending Bylaw No. 7759-2021.

Pursuant to Council policy, this application is subject to the Community Amenity Contribution Program at a rate of (\$3,100.00 per apartment dwelling unit), for an estimated amount of \$393,700.00.

The applicant is proposing an increase in base density from 1.8 floor space ratio (FSR) to 2.6 FSR, which can be achieved through a cash contribution, typically applied in existing zones and contained in the proposed CD-2-20 Zone at \$161.46 per m<sup>2</sup> (\$15.00 per ft<sup>2</sup>). The cash contribution, which equates to 2,447.0 m<sup>2</sup> (26,339.0 ft<sup>2</sup>) of added floor area, would be approximately \$395,093.00. This proposed Amenity Contribution also aligns with Official Community Plan Policy 2-9, enabling Council the discretion to consider such an amenity contribution.

**RECOMMENDATIONS:**

- 1) That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7759-2021 on the municipal website and requiring that the applicant host a Virtual

Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;

- 2) That Official Community Plan Amending Bylaw No. 7759-2021 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
- 3) That it be confirmed that Official Community Plan Amending Bylaw No. 7759-2021 is consistent with the Capital Expenditure Plan and Waste Management Plan;
- 4) That Official Community Plan Amending Bylaw No. 7759-2021 be given first and second readings and be forwarded to Public Hearing;
- 5) That Zone Amending Bylaw No. 7760-2021 be given first and second reading, and be forwarded to Public Hearing;
- 6) That Off-Street Parking and Loading Amending Bylaw No. 7763-2021 be given first and second reading;
- 7) That Zone Amending Bylaw No. 7627-2020 be given second reading as amended, and be forwarded to Public Hearing; and
- 8) That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Amendment to Official Community Plan Schedule "B";
  - iii) Road dedication for the lane as required;
  - iv) Consolidation of the subject properties;
  - v) Removal of the existing buildings;
  - vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property(ies) for the proposed development;
  - vii) Registration of a Statutory Right-of-Way plan and agreement for lane access over 22882 Dewdney Trunk Road;
  - viii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
  - ix) Registration of a Restrictive Covenant for Stormwater Management including maintenance requirements;
  - x) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;
  - xi) That a voluntary contribution, in the amount of \$ 393,700.00 (\$3,100.00/unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions;

- xii) That a voluntary contribution, in the amount of \$395,093.00.00 based on rate of \$161.46 per square metre (\$15.00 per square foot) for the additional density being sought in accordance with the proposed CD-2-20 zone in Zoning Bylaw No. 7600-2019; and
- xiii) That voluntary payment of \$16,000 be received in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 - 1990 as cash-in-lieu for two (2) off street parking spaces provided for residential use respecting the properties located at 22904, 22910 and 22922 Dewdney Trunk Road.

## DISCUSSION:

### 1) Background Context:

Applicant:	Billard Architecture Inc.
Legal Descriptions:	Lot 220 Section 17 Township 12 New Westminster District Plan 57165; Lot 229 Section 17 Township 12 New Westminster District Plan 58011; and Parcel "One" (Explanatory Plan 13671) Except: Part Road on Plan 80199; of Parcel "A" (Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178
OCP:	
Existing:	Urban Residential
Proposed:	Commercial
Within Urban Area Boundary:	Yes
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-1 (Single Detached Residential)
Proposed:	CD-2-00 (Comprehensive Development)
Surrounding Uses:	
North:	Use: Commercial Zone: C-2 (Community Commercial) and CS-1 (Service Commercial) Designation: Commercial
South:	Use: Single Family Residential Zone: RS-1 (Single Detached Residential) Designation: Urban Residential
East:	Use: Single Family Residential Zone: RS-1 (Single Detached Residential) Designation: Urban Residential
West:	Use: Commercial, Service Station Zone: CS-1 (Service Commercial) Designation: Commercial
Existing Use of Property:	Vacant
Proposed Use of Property:	Commercial and Apartment
Site Area:	0.33 ha (0.8 acres)
Access:	Rear Lane
Servicing requirement:	Urban Standard
Companion Applications:	2019-392-DP/DVP



## **2) Background:**

The subject properties, located at 22904, 22910 and 22922 Dewdney Trunk Road (see Appendices A and B), are located south of Dewdney Trunk Road, east of Burnett Street and west of 230 Street. The subject properties are located outside of the Town Centre Area Plan. Consolidation of the subject properties will be a condition of final reading, which will have a combined area of approximately 0.33 ha (0.8 acres). All three lots are currently vacant, relatively flat, and have a combination of grasses, shrubs and trees located throughout each property.

This application was deferred at the February 11, 2020 Council meeting. The deferred application was proposing a 119 unit, five-storey apartment building with a proposed floor area of 7,246m<sup>2</sup> (78,002 ft<sup>2</sup>) and a floor space ratio (FSR) of 2.37. Council had suggested the applicant consider the addition of commercial at this location, as part of the subject development. Council had also suggested an increase in height to six storeys, which the applicant was willing to explore. Discussions with the applicant has resulted in two commercial units being included on the ground floor of this development, as well as a sixth floor with residential dwelling units being added to the building.

## **3) Project Description:**

This application is for a 127 unit, six-storey apartment building with a proposed floor area of 7,986m<sup>2</sup> (78,002 ft<sup>2</sup>) and a floor space ratio (FSR) of 2.6. The allowable base FSR in the proposed CD-2-20 (Comprehensive Development) zone is 1.8, which is based on the RM-2 (Medium Density Apartment Residential) zone, on which the application was made. The applicant will exceed the allowable base FSR; therefore, the density bonus provisions will apply.

The applicant intends to bridge the current mid-century style of the adjacent single family homes with an apartment building design that will use modern materials and other forms inspired by new residential development within the community. The building is proposed to be stepped back at the third storey, along the southern elevation, providing both natural light for the outdoor courtyard space and to limit the impact on those adjacent single family lots to the south. The proposed building will contain a mix of studio, one, two and three bedroom units. Residential parking will be located in two underground parking levels and accessed via a rear lane loading from Burnett Street.

The proposed building will feature two (2) indoor amenity areas on the southern portion of the ground floor of the building. A prominent ground floor courtyard space will provide for an outdoor amenity area that is planned to be programmed as a children's play area and will feature natural surveillance from the interior units that face the courtyard space.

The landscape plan provides for a variety of trees, including Japanese maples, Serbian spruce, robin hill serviceberry and purple spire crabapple. These trees are accompanied by a large variety of shrubs that are generously spread throughout the ground floor of the development, providing for ample amounts of privacy for ground floor units. The rooftop amenity area is well programmed with a variety of seating areas, including a social seating area for larger gatherings of residents and backless benches that can accommodate smaller groups of residents.

#### 4) Planning Analysis:

##### i) Official Community Plan:

The subject properties are located along Dewdney Trunk Road, where the OCP currently designates the subject properties *Urban Residential*, and development of the properties are subject to the *Major Corridor* infill policies of the OCP. The *Major Corridor* policies identify the various types of housing forms which are encouraged along major road corridors including apartments such as those being proposed. These policies also require that development be compatible with the surrounding neighbourhood, with particular attention given to site design, setbacks, and lot configuration with the existing pattern of development in the area.

An OCP amendment is required to re-designate the subject properties from *Urban Residential* to *Commercial* based on the addition of commercial units to the proposed building. This brings the commercially designated land east from the existing Husky Gas Station, located on the corner of Burnett Street and Dewdney Trunk Road, to include the subject properties (see Appendix B).

The redesignation of the subject land would reflect the existing General Commercial area identified in OCP Policy 6-23 on the north side of Dewdney Trunk Road to the subject site directly on the south side of Dewdney Trunk Road. This proposed development helps to support OCP Policy 6-25 by providing centres that accommodate the automobile, pedestrian and transit services and will integrate into the emerging character of the area.

##### ii) Zoning Bylaw:

The applicant had initially proposed to rezone the three subject properties from RS-1 (One Family Urban Residential) to RM-2 (Medium Density Apartment Residential) to allow for a five-storey building with approximately 119 units. This proposal included a mix of studio, one, two and three bedroom units. Council initially deferred the application and subsequently suggested, at the time of first reading, that the applicant consider the addition of commercial at this location, as well as the additional of a sixth floor to the building. As a result of these suggestions the applicant has updated their plan to include a six (6) storey building with two (2) commercial units on the ground floor.

The addition of commercial at this location, outside of the Town Centre, has necessitated a rezoning to a CD (Comprehensive Development) zone. The applicant is proposing to rezone the subject properties to a CD-2-20, which is being based on the RM-2 (Medium Density Apartment Residential) Zone, allowing a number of comparable commercial uses from the C-3 (Town Centre Commercial) zone. A comparison of the density, lot coverage, setbacks, building height, parking and permitted uses in the proposed CD-2-20 zone are provided in the following table:

Zone	RM-2 Zone	Proposed CD Zone
FSR	1.8 up to 2.5 with density bonus	1.8 up to 2.6 with density bonus
Lot Coverage	N/A	N/A
Setbacks	7.5 metres from all lot lines	Front – 4.5 metres Side – 6.1 metres Rear – 3.0 metres
Height	11 metres or 4 storeys outside of the Town Centre	22 metres or 6 storeys
Principal Permitted Uses	Apartment Residential	Apartment Residential, Assembly, Business Services, Cannabis Retail, Civic, Convenience Store, Financial Services, Indoor Commercial Recreation, Licensed Retail Store, Light Industrial (limited to Microbrewery), Liquor Primary Establishment, Media Production Studio, Personal Repair Services, Personal Services, Place of Worship, Private Hospital, Professional Services, Public Market, Restaurant, Retail (excluding Highway Retail) and Tourist Accommodation.
Parking	1.7 spaces per unit (including visitor)	1.2 spaces per unit (including visitor) *** This is the same rate as the C-3 and other mixed-use zones

The applicant is proposing an increase in base density from 1.8 floor space ratio (FSR) to 2.6 FSR, which can be achieved through cash contribution, at \$161.46 per m<sup>2</sup> (\$15.00 per ft<sup>2</sup>). The cash contribution, which equates to 2447.0 m<sup>2</sup> (26,339.0 ft<sup>2</sup>) of added floor area, would be approximately \$395,093.00. This proposed Amenity Contribution aligns with Official Community Plan Policy 2-9 in the OCP, as follows:

- 2-9 *Community Amenity Contribution and density bonuses may also be considered at Council's discretion for all Official Community Plan and Zoning Bylaw amending applications that are seeking a higher density than is envisioned in Schedule "A" and/or Schedule "B", to help provide a variety of amenities and facilities throughout the municipality.*

**iii) Housing Action Plan:**

City's Housing Action Plan (HAP) was endorsed by Council in 2014. It seeks to increase access to "safe, affordable, and appropriate housing that meets the diverse and changing needs of the community". The HAP also speaks of the need to provide a range of non-market, affordable and special needs housing. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September, 2015.



The subject application does provide a mix of unit sizes to help in achieving housing diversity. This includes the following breakdown:

- 31 studio suites (24.41%)
- 51 one bedroom suites (40.16%);
- 26 two bedroom suites (20.47%); and
- 19 three bedroom suites (14.96%).

**iv) Off-Street Parking And Loading Bylaw:**

The proposed CD-2-20 Zone will have a similar parking requirement as other mixed-use zones, such as the C-3 (Town Centre Commercial) and C-2 (Community Commercial) Zones. The CD-2-20 Zone will require 1.0 concealed space per dwelling unit, plus 0.2 concealed spaces per dwelling unit designated for visitors. Commercial uses, such as retail or personal service uses, will need to provide 1 space per 30 m<sup>2</sup> gross floor area, the same as in the C-3 and C-2 Zones.

The following parking is being provided:

- The Off-Street Parking and Loading Bylaw requires 159 spaces; however, 157 parking spaces are being provided, seeking a reduction of two (2) parking spaces;
- 11 of the parking spaces are at grade, while 146 are located in two levels of underground parking;
- Four (4) of the spaces underground are in a tandem configuration;
- Three (3) of the above spaces are to be designed as accessible parking spaces. This has been provided in accordance with the bylaw;
- A total of twenty-nine (29) of the required parking spaces are designed to be small car spaces, which exceeds the 10% restriction in the Bylaw and will require a variance; and
- Thirty-one (31) long-term bicycle spaces and three (3) short term spaces.

With respect to the reduction of two (2) parking spaces, a variance is not required. Instead the applicant has elected to make a \$8,000.00 per space payment-in-lieu in accordance with the Off-Street Parking and Loading Bylaw. On this basis, the total payment for two (2) spaces totals \$16,000.00. The applicant is also proposing twenty-nine (29) small car spaces, which amounts to 18.5% of all spaces which will require a variance. The reduction of two (2) parking spaces is permitted by the Bylaw because:

- The cash-in lieu payment will contribute to a future municipal parking facility; and
- The site is located adjacent to the Town Centre Area, where residents can walk or cycle to stores, offices and recreation, and transit services already exist along the Dewdney Trunk Road within convenient walking distance.

The project will also comply with the electric vehicle charging requirements by having roughed-in infrastructure capable of providing Level 2 charging outlets for each residential parking space, and one Level 2 outlet each for every two (2) of the visitor parking spaces (i.e. at least 50%).

**v) Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations:

- *To permit up to 20% of all parking spaces to be small car or compact spaces.*

The requested relatively small variance will be the subject of a future Council report and represents an increase in thirteen (13) small car spaces from the 10% permitted in the Bylaw.

**vi) Development Permits:**

Pursuant to Section 8.5 of the OCP, a Commercial Development Permit application is required to address the current proposal's compatibility with adjacent development, and to enhance the unique character of the community. Accordingly, prior to final zoning approval, the Development Permit must be reviewed and approved. An application for the Development Permit has been received. Adherence of this project to the guidelines will be the subject of a future report to Council and a security will be taken as a condition of the issuance of the Development Permit to ensure that the Development Permit Area guidelines are met.

**vii) Advisory Design Panel:**

The Advisory Design Panel (ADP) reviewed the form and character of the proposed development and the landscaping plans at a meeting held on May 12, 2021 (see Appendices G, H and I).

The ADP concerns have been addressed and are reflected in the current plans. A summary of the resolutions and how the developer addressed the resolutions has been provided (see Appendix J). A detailed description of how these items were incorporated into the design will be included in a future development permit report to Council.

**viii) Development Information Meeting:**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between May 18 and May 28 2021. The developer received correspondence from one resident. A summary of the Public Comment Opportunity is attached to this report as Appendix K.

**5) Interdepartmental Implications:**

**i) Engineering Department:**

The Engineering Department has identified the following improvements for this development to proceed:

- The rear lane will need to be constructed, complete with road drainage, to meet lane standard.
- Street trees are required along Dewdney Trunk Road.
- A Statutory Right-of-Way will be required with the site to the west (Husky Site) to facilitate access to the rear lane.

**ii) Building Department**

The Building Department has reviewed the development application and has provided comments related to Building Code requirements which have been forwarded to the developer. These comments will be reviewed again at the Building Permit stage.

**6) School District No. 42 Comments:**

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 and the following comments were received:

*"The proposed application would affect the student population for the catchment areas currently served by Golden Ears Elementary and Thomas Haney Secondary School.*

*Golden Ears Elementary has an operating capacity of 517 students. For the 2019-20 school year the student enrolment at Golden Ears Elementary is 529 students (102% utilization) including 161 students from out of catchment.*

*Thomas Haney Secondary school has an operating capacity of 1200 students. For the 2019-20 school year the student enrollment at Thomas Haney Secondary School is 1156 students (96% utilization) including 650 students from out of catchment."*

**7) Intergovernmental Issues:**

**i) Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, OCP Amending Bylaw No. 7759-2021, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.



## CONCLUSION:

It is recommended that first and second reading be given to OCP Amending Bylaw No 7759-2021, Zoning Text Amendment Bylaw No. 7760-2021, Off-Street Parking and Loading Amending Bylaw No. 7763-2021 and that second reading be given to Zone Amending Bylaw No. 7627-2020, and that application 2019-392-RZ be forwarded to Public Hearing.

"Original signed by René Tardif"

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*Prepared by:* **Rene Tardif, BA, M.PL  
Planner 1**

"Original signed by Chuck Goddard"

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*Reviewed by:* **Charles R. Goddard, BA, MA  
Director of Planning**

"Original signed by Christine Carter"

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*Approved by:* **Christine Carter, M.PL, MCIP, RPP  
GM Planning & Development Services**

"Original signed by Al Horsman"

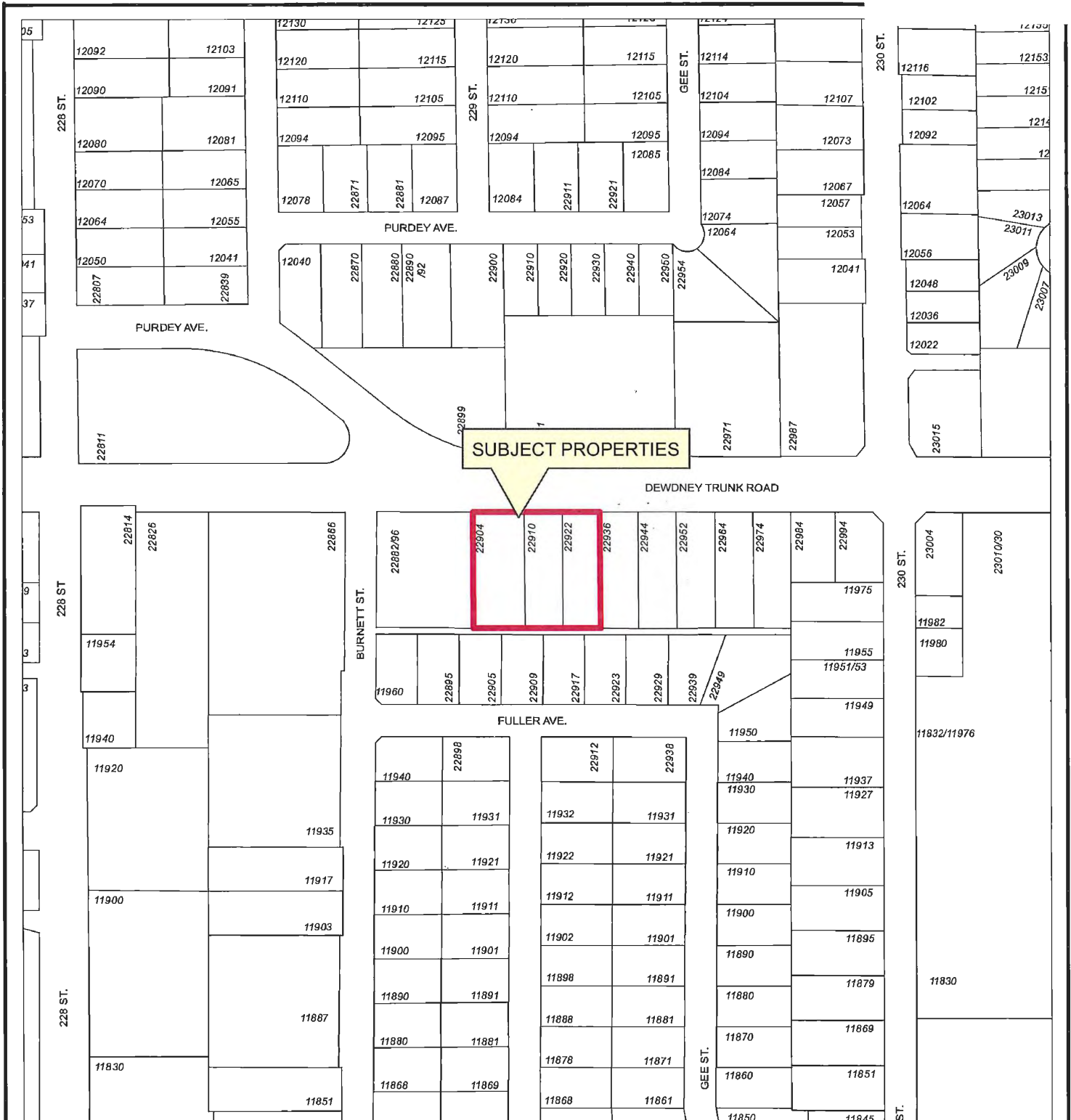
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*Concurrence:* **Al Horsman  
Chief Administrative Officer**

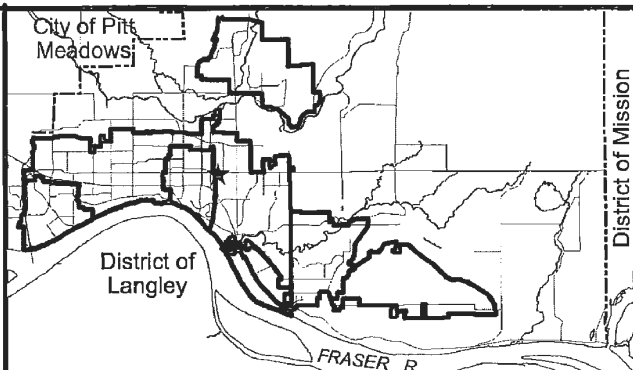
The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – OCP Amending Bylaw No. 7759-2021  
Appendix D – Zone Text Amendment Bylaw No. 7760-2021  
Appendix E – Off-Street Parking and Loading Amending Bylaw No. 7763-2021  
Appendix F – Zone Amending Bylaw No. 7627-2020  
Appendix G – Site Plan  
Appendix H – Building Elevation Plans  
Appendix I – Landscape Plan  
Appendix J – ADP design comments  
Appendix K – Public Comment Opportunity Comment

# APPENDIX A



Scale: 1:2,500



22904/10/22 DEWDNEY TRUNK ROAD  
PID'S: 005-703-018, 005-562-171 &  
005-649-617

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

[mapleridge.ca](http://mapleridge.ca)

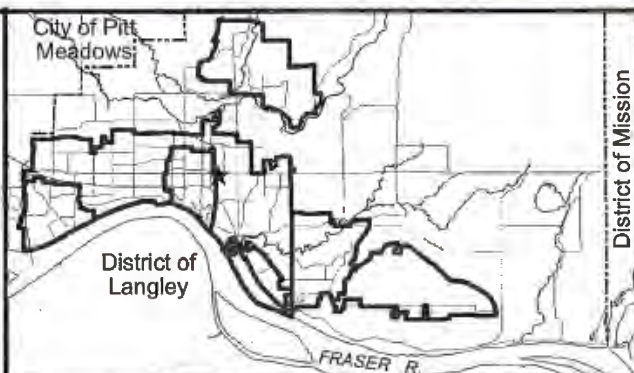
FILE: 2019-392-RZ

DATE: Nov 15, 2019

BY: PC



Scale: 1:2,500



22904/10/22 DEWDNEY TRUNK ROAD  
PID'S: 005-703-018, 005-562-171 &  
005-649-617

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-392-RZ

DATE: Nov 15, 2019

BY: PC



CORPORATE OFFICER





**CITY OF MAPLE RIDGE  
BYLAW NO. 7760-2021**

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as “Maple Ridge Zone Amending Bylaw No. 7760-2021”.
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended as follows:
3. PART 10, COMPREHENSIVE DEVELOPMENT ZONES, is amended by adding the following section in the correct sequential order:

**SECTION 10                      CD-2-20**

**PURPOSE**

1. This Zone provides for a range of Commercial, service and Residential Uses with a maximum Building Height of four (4) to six (6) Storeys.

**PRINCIPAL USES**

1. The following Principal Uses shall be permitted in this Zone:
  - a. Apartment Residential;
  - b. Assembly;
  - c. Business Services;
  - d. Cannabis Retail;
  - e. Civic;
  - f. Convenience Store;
  - g. Financial Services;
  - h. Indoor Commercial Recreation;
  - i. Licensee Retail Store;
  - j. Light Industrial, limited to Microbrewery, Microwinery and Microdistillery;
  - k. Liquor Primary Establishment;
  - l. Media Production Studio;
  - m. Personal Repair Services;
  - n. Personal Services;
  - o. Place of Worship;
  - p. Private Hospital;

- q. Professional Services;
- r. Public Market;
- s. Restaurant;
- t. Retail, excluding Highway Commercial; and
- u. Tourist Accommodation.

#### ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:
  - a. Boarding; and
  - b. Home Occupation.
2. Refer to Sections 401 and 402 of this Bylaw for additional information.

#### LOT AREA and DIMENSIONS

1. Minimum Lot Area and dimensions shall be not less than:
 

a. in <u>Lot Area</u>	1,300.0 square metres
b. in <u>Lot Width</u>	30.0 metres
c. in <u>Lot Depth</u>	not applicable
2. Refer to Section 407 (Building Envelope) of the Bylaw for required minimum Building Envelope dimensions.

#### DENSITY

1. Floor Space Ratio shall not exceed a base Density of 1.8 times the Lot Area.
2. Additional Density, up to a maximum of 2.6 times the Lot Area, may be obtained with the following provisions:
  - a. an amount equal to 0.1 times the Lot Area may be added to the Floor Space Ratio for providing all parking spaces in an Underground Structure for parking; and
  - b. for Lots located within the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw or located adjacent to a "Major Corridor" as identified in Chapter 3 and Figure 4 in Schedule "A" of the Maple Ridge Official Community Plan Bylaw No. 7060-2014, an amount not to exceed 0.8 times the Lot Area may be added to the Floor Space Ratio for providing a cash contribution at a rate of \$161.46 per square metres (\$15.00 per square foot) as a Density Bonus. Refer to Section 402 (Density Bonus for Town Centre Area and Major Corridor Residential) of this Bylaw.
3. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

## LOT COVERAGE

1. Not applicable.

## SETBACKS

1. Minimum Setbacks for all Principal Buildings and Principal Structures shall be not less than:
  - a. from a Front Lot Line 4.5 metres
  - b. from a Rear Lot Line 3.0 metres
  - c. from an Interior Side Lot Line 6.1 metres
  - d. from an Exterior Side Lot Line 7.5 metres
2. Minimum Setbacks for an Off-Street Parking provided in an Underground Structure for parking that extends not more than 0.8 metres above Average Finished Grade and which is Landscaped and integrated to become a useable part of the yard area shall be not less than:
  - a. from a Front Lot Line 1.5 metres
  - b. from a Rear Lot Line 0.0 metres
  - c. from an Interior Side Lot Line 0.0 metres
  - d. from an Exterior Side Lot Line 1.5 metres
3. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

## HEIGHT

1. Building Height for Principal Buildings and Principal Structures shall not exceed 22.0 metres nor 6 Storeys, and shall be not less than 11.0 metres.
2. Building Height for Accessory Buildings and Accessory Structures shall not exceed 4.5 metres.
3. Refer to Section 403 (Building Height) of this Bylaw.

## LANDSCAPING and SCREENING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw.

## PARKING and LOADING

1. Off-Street Parking and Off-Street Loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
2. Accessory Off-Street Parking, except for that provided as visitor parking space, shall be Concealed Parking that extends no more than 0.8 metres above Average Finished Grade and which is Landscaped and integrated to become a useable part of the yard area.
3. Refer to Section 402 of this Bylaw.



#### OTHER REQUIREMENTS

1. Common Open Area(s) *shall* be provided on the Lot for Apartment Residential Use as a minimum of 30% of the Lot Area.
2. Outdoor Amenity Area(s) *shall* be provided on the Lot based on the following ratio, and this area may form part of the Common Open Area requirement:
  - a. 1.0 square metres per apartment Dwelling Unit.
3. Private Outdoor Area(s) *shall* be provided for each Dwelling Unit at a minimum of 5.0% of the Dwelling Unit area or 4.6 square metres, whichever is greater. This area may form part of the Common Open Area requirement.
4. Indoor Amenity Area(s) *shall* be provided on the Lot based on the following ratio:
  - a. 1.0 square metres per apartment Dwelling Unit.

4. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

READ a first time the            day of            , 20

READ a second time the            day of            , 20

READ a third time the            day of            , 20

ADOPTED the            day of            , 20

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PRESIDING MEMBER

---

CORPORATE OFFICER

CITY OF MAPLE RIDGE  
BYLAW NO. 7763-2021

A Bylaw to amend the text of  
Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended

---

WHEREAS, it is deemed expedient to amend the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990, as amended:

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as "Maple Ridge Off-Street Parking and Loading Amending Bylaw No. 7565-2019".

1. Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 is amended as follows:

PART 9.0, *COMPREHENSIVE DEVELOPMENT ZONES*, is amended by adding the following after j):

k) CD-2-20

Residential Uses

1.0 concealed space per dwelling unit plus 0.2 concealed spaces per dwelling unit designated for visitors.

Commercial Uses

Retail or personal service use. 1 per 30 m<sup>2</sup> gross floor area

3. Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended is hereby amended accordingly.

READ a first time the       day of       , 20

READ a second time the       day of       , 20

READ a third time the       day of       , 20

ADOPTED the       day of       , 20

---

PRESIDING MEMBER

---

CORPORATE OFFICER

**CITY OF MAPLE RIDGE  
BYLAW NO. 7627-2020**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7627-2020."
2. Those parcels or tracts of land and premises known and described as:

Parcel "One" (Explanatory Plan 13671) Except: Part Road on Plan 80199 of Parcel "A" (Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178;  
Lot 220 Section 17 Township 12 New Westminster District Plan 57165;  
Lot 229 Section 17 Township 12 New Westminster District Plan 58011

and outlined in heavy black line on Map No. 1833 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to CD-2-20 (Comprehensive Development).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

**READ** a first time the 31<sup>st</sup> day of March, 2020.

**READ** a second time the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

**ADOPTED**, the            day of            , 20

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**PRESIDING MEMBER**

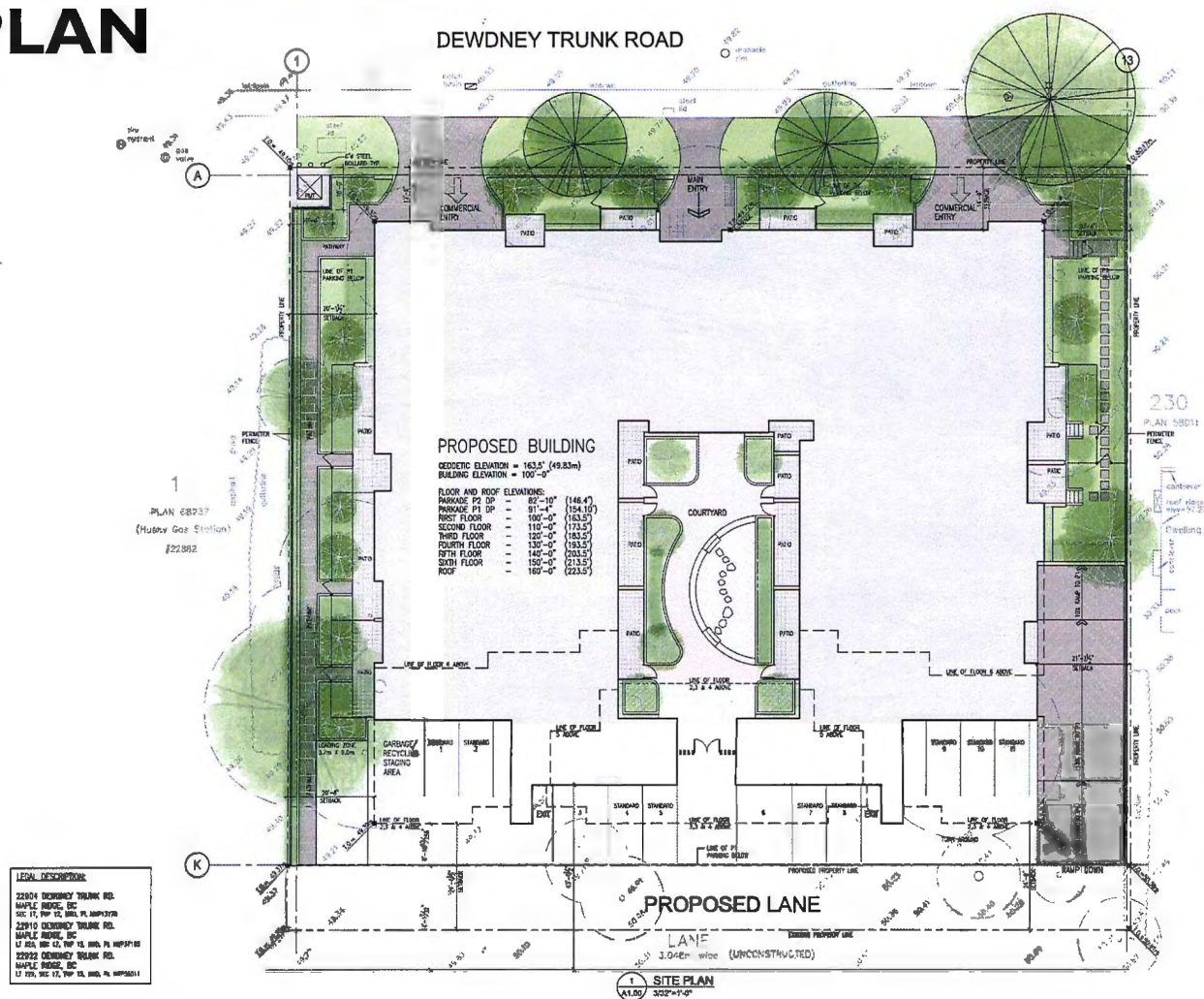
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**CORPORATE OFFICER**





# SITE PLAN



# DEWDNEY TRUNK ROAD

22904-22922 DEWDNEY TRUNK ROAD

MAPLE RIDGE, BRITISH COLUMBIA



*Prepared by*

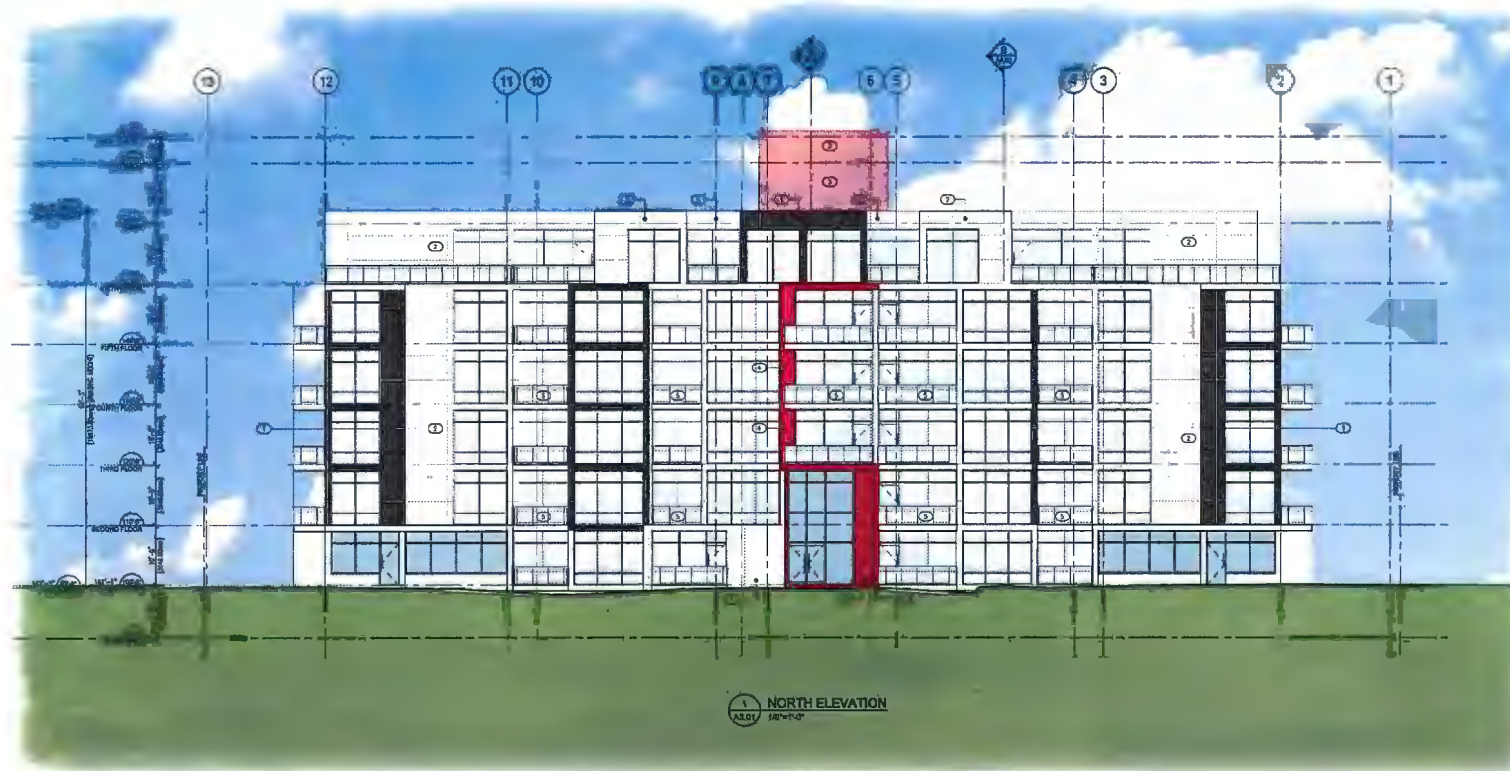
Billard Architecture Inc.

[Billardarchitecture.ca](http://Billardarchitecture.ca)





# ELEVATIONS - NORTH



# ELEVATIONS – EAST



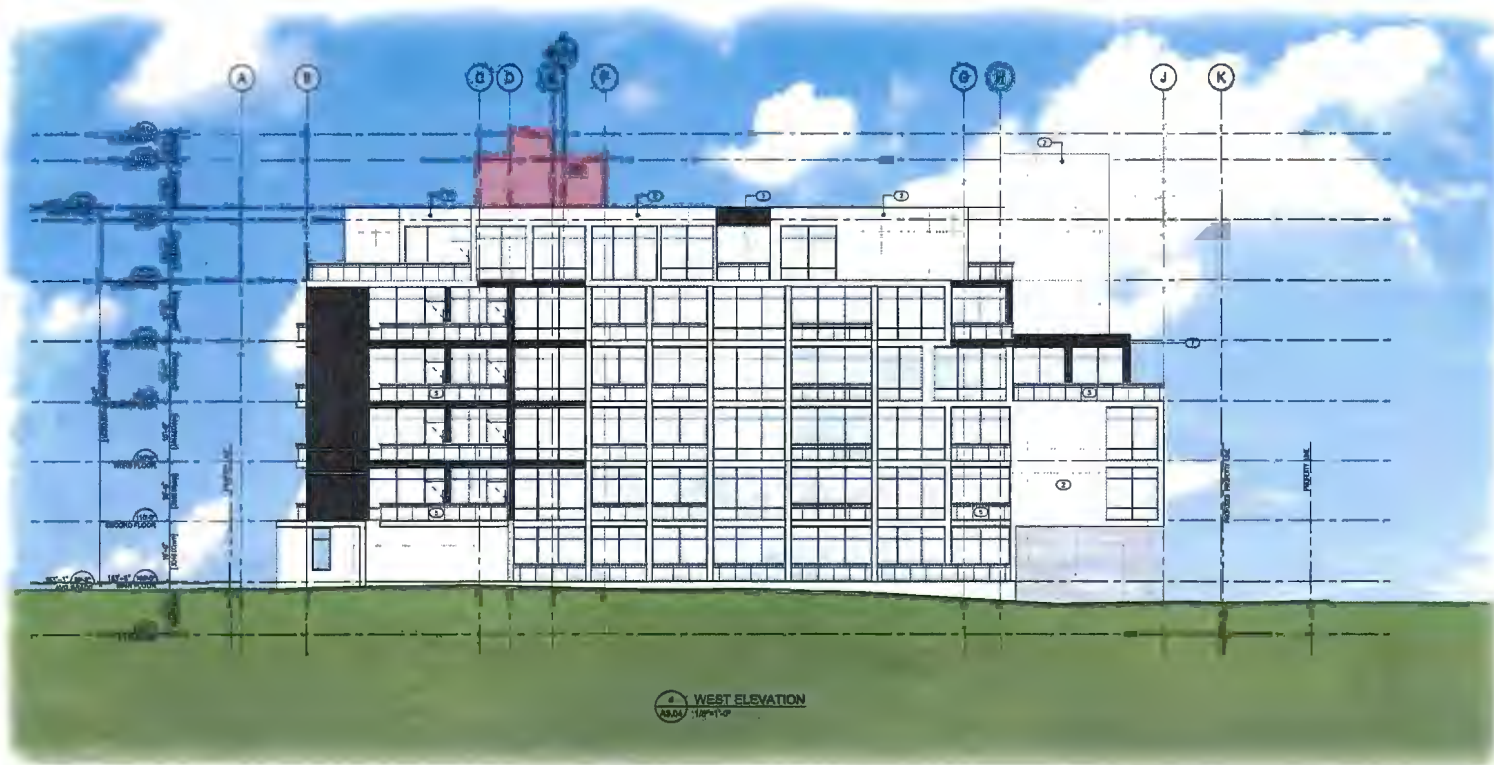


# ELEVATIONS - SOUTH



**Note:** Sunshades to be installed above windows on this elevation to reduce solar heat gain.

# ELEVATIONS – WEST



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# MATERIAL BOARD



METAL COMPOSITE PANEL - BLACK w/ REVEAL



METAL COMPOSITE PANEL - WHITE w/ REVEAL



CONCRETE PLANTERS



GLASS AND ALUMINUM GUARDS



METAL COMPOSITE PANEL- RED w/ REVEAL



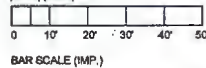
ALUMINUM PLANK – WOODGRAIN



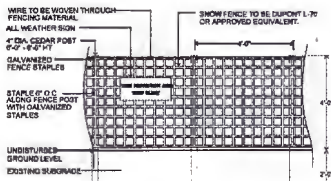
# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - MAIN

Details provided by PMG Landscape Architects.



PLANT SCHEDULE	PLANT NAME	PLANT SIZE
1	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
2	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
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100	ACER PALMATUM 'SEIRYU'	2 1/2" DBH



- NOTES:
1. TREE PROTECTION FENCES TO BE IN PLACE PRIOR TO ANY WORK ON SITE.
  2. LANDSCAPE ARCHITECT TO VERIFY PLACEMENT.
  3. FENCE TO ENCLOSE ALL TREE PROTECTION AREAS.

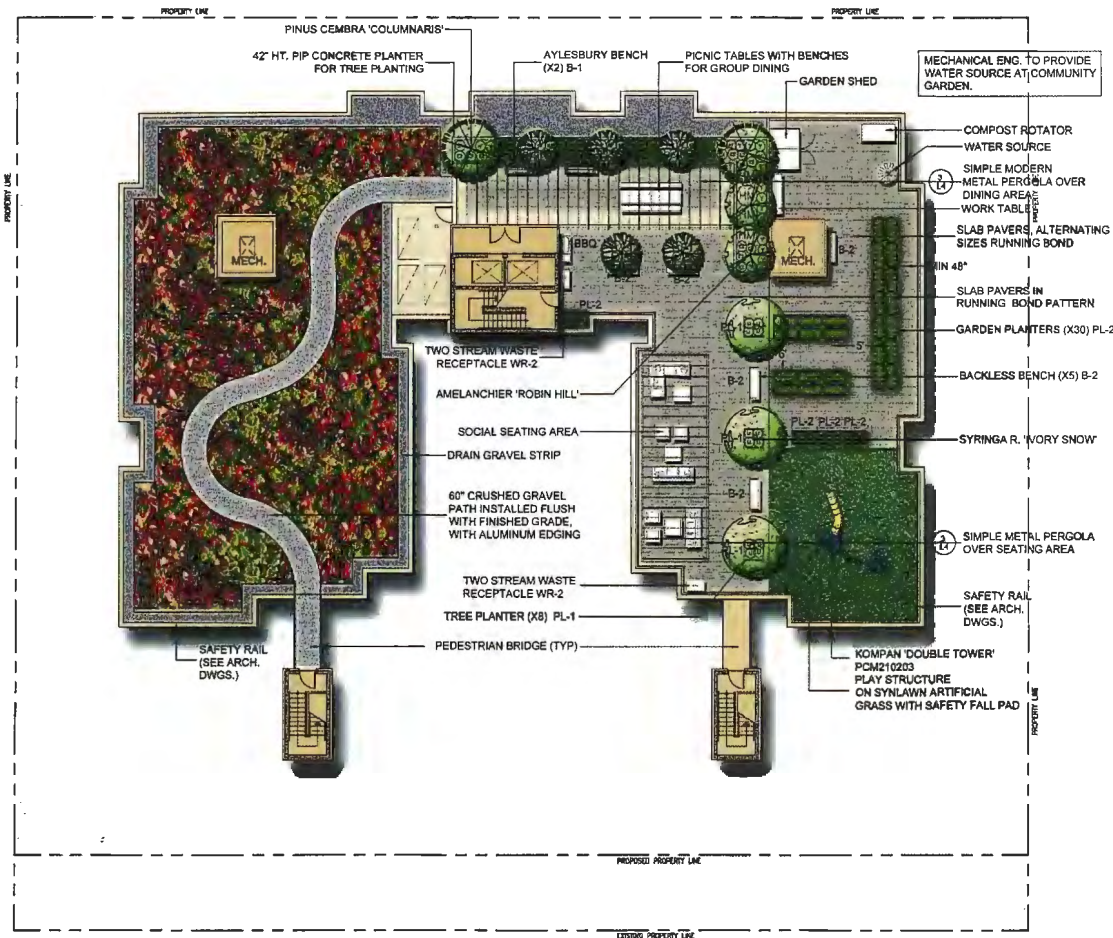


# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - ROOF

Details provided by PMG Landscape Architects.

PLANT	SYMBOL	COMMON NAME	PLANTED SIZE / QUANTITY
1	[Symbol]	AYLESBURY BENCH (K2) B-1	2 30" HT. BENCH
2	[Symbol]	PICNIC TABLES WITH BENCHES FOR GROUP DINING	2 30" HT. BENCH
3	[Symbol]	GARDEN SHED	1 30" HT. BENCH
4	[Symbol]	MECHANICAL ENG. TO PROVIDE WATER SOURCE AT COMMUNITY GARDEN	1 30" HT. BENCH
5	[Symbol]	COMPOST ROTATOR	1 30" HT. BENCH
6	[Symbol]	WATER SOURCE	1 30" HT. BENCH
7	[Symbol]	SIMPLE MODERN METAL PERGOLA OVER DINING AREA	1 30" HT. BENCH
8	[Symbol]	WORK TABLES	1 30" HT. BENCH
9	[Symbol]	SLAB PAVERS, ALTERNATING SIZES RUNNING BOND	1 30" HT. BENCH
10	[Symbol]	SLAB PAVERS IN RUNNING BOND PATTERN	1 30" HT. BENCH
11	[Symbol]	GARDEN PLANTERS (X30) PL-2	1 30" HT. BENCH
12	[Symbol]	BACKLESS BENCH (X5) B-2	1 30" HT. BENCH
13	[Symbol]	SYRINGA R. VORY SNOW	1 30" HT. BENCH
14	[Symbol]	SIMPLE METAL PERGOLA OVER SEATING AREA	1 30" HT. BENCH
15	[Symbol]	SAFETY RAIL (SEE ARCH. DWGS.)	1 30" HT. BENCH
16	[Symbol]	KOMPAN DOUBLE TOWER' PCM210203 PLAY STRUCTURE ON SYN-LAWN ARTIFICIAL GRASS WITH SAFETY FALL PAD	1 30" HT. BENCH
17	[Symbol]	PEDESTRIAN BRIDGE (TYP)	1 30" HT. BENCH
18	[Symbol]	TREE PLANTER (X8) PL-1	1 30" HT. BENCH
19	[Symbol]	TWO STREAM WASTE RECEPTACLE WR-2	1 30" HT. BENCH
20	[Symbol]	60" CRUSHED GRAVEL PATH INSTALLED FLUSH WITH FINISHED GRADE, WITH ALUMINUM EDGING	1 30" HT. BENCH
21	[Symbol]	SOCIAL SEATING AREA	1 30" HT. BENCH
22	[Symbol]	AMELANCHIER 'ROBIN HILL'	1 30" HT. BENCH
23	[Symbol]	DRAIN GRAVEL STRIP	1 30" HT. BENCH
24	[Symbol]	PINUS CEMBRA 'COLUMNARIS'	1 30" HT. BENCH
25	[Symbol]	42" HT. PIP CONCRETE PLANTER FOR TREE PLANTING	1 30" HT. BENCH
26	[Symbol]	SAFETY RAIL (SEE ARCH. DWGS.)	1 30" HT. BENCH





# LANDSCAPE ROOF DECK

The roof deck will provide space for residents to have private social gatherings, a children's play area, and personal gardens.

Utilizing sustainable methods for shade and cooling, the roof will support the heating/cooling of the building naturally.

Final plans will be made in consultation with **PMG Landscape Architects**.



Project: 2019-393-F Z 22904-22922 Dewdney Trunk Road

Date: May 21, 2021

To: City of Maple Ridge, Advisory Design Panel Review Response

Dear Panel,

Following the second Design Review on May 12<sup>th</sup>, 2021, please see our responses to the comments provided. These responses should be reviewed in conjunction with our revised drawings submitted On May 20, 2021

2019-392-R Z 22904 - 22922 Dewdney Trunk Road		
Item	Architectural Comments	Response
1	Reconsider commercial component; OCP suggest multi-family residential. Proposed parking at rear is awkward and compromises potential for green space;	Presently, the commercial components are provided at the request of Council. In terms of moving the together adjacent the gas station, we feel that their present location provides better symmetry for the building and, given the development of the adjacent site, having commercial closer to that larger residential building will be more appropriate.
2	Renderings are not consistent with coloured elevations. Please coordinate all plans;	Completed
3	Generally the site is over built. Livability is compromised. Consider a larger courtyard and or removing units at the south to create a U-shaped building. Over shadowing will be a concern;	We have been able to widen the courtyard and have redesigned access to it from adjacent residents. We have also stepped back the fifth floor more from the courtyard in order to allow more light. Care has been taken to provide ample outdoor space for all residents in either the courtyard, the ample patios and the very large roof top amenity. This project has, by far, more outdoor space provided than many other similar projects on just 3 lots.
4	Over heating will be of a concern on the south and west elevations. Consider greater overhangs and or solar shading device;	Greater overhangs and sun shading will be provided. Vertical shading elements will be considered for areas of the West facade.
5	Consider locating the indoor amenity room with direct access to the outdoor amenity.	Completed. This has further benefited the functionality of the courtyard.
Item	Landscape Comments	Response
1	Provide a coordinated Landscape submission. Submission needs to be consistent with the Architect Plan;	Completed
2	Provide more pedestrian circulation and access to the courtyard. Strongly suggest to include gates from adjacent residential units;	Completed



3	In conjunction with the reconsideration of the commercial space consider where additional green space could be added to enhance livability and complement the courtyard;	The courtyard has been redesigned to make it more inviting. It also, now, has direct access to both amenity rooms while keeping the gate through to the parking. With Engineering's request to remove additional pathways to the sidewalk, this has again provided more area for planting.
Item	Engineering Comments	Response
1	It is doubtful that you can retain the trees along the west and east p/l as proposed as they are taking their parkade to p/l. Ownership should be established and permission granted to remove if needed prior to going to final adoption.	Agreed. Agreement will be sought. as the properties to the west are presently in the design phase for a larger development, this can easily be achieved.
2	The 2 extra sidewalk connections on the east and west should be removed. These are proposed inside the City's ROW and Engineering would like only 1 sidewalk connection to the building.	Agreed. To be Completed through further discussion with Engineering.
3	Please show Hydro transmission lines on their renderings and highlight to their architect to consider them.	These will be added to the rendering.
4	Your excavation plan cannot anticipate encroaching into the City's ROW and impacting the sidewalk.	Agreed

If you have any questions please contact Robert Billard at 604-619-0529, extension #1003.

Regards,


  
Robert G. Billard, Architect AIBC, MRAIC, LEED AP
   
Principle/Chief Architect
   
Billard Architecture Inc.

# DEWDNEY TRUNK ROAD

22904-22922 DEWDNEY TRUNK ROAD

MAPLE RIDGE, BRITISH COLUMBIA

## Public Comment Opportunity Report

FILE NO: 2019-392-RZ

LOCATION: 22904 - 22922 Dewdney Trunk Road, Maple Ridge

PUBLIC COMMENT OPPORTUNITY: May 18 – 27, 2021

*Prepared by*

Billard Architecture Inc.

[Billardarchitecture.ca](http://Billardarchitecture.ca)



The Public Comment Opportunity for 2019-392-RZ, 22904 - 22922 Dewdney Trunk Road, Maple Ridge was advertised in the Maple Ridge-Pitt Meadows News in the May 7, 2021 edition both in print and online  
<https://issuu.com/blackpress/docs/i20210507020307455/26>

The Maple Ridge Pitt Meadows News

**The North Shore Film Festival**



# NOTIFICATION TO THE PUBLIC – SITE SIGN & MAILOUT

A sticker was placed on the site sign informing the public of the Public Comment Opportunity on May 7, 2021



## Public Comment Opportunity for Proposed Development

May 7, 2021

2019-392-RZ

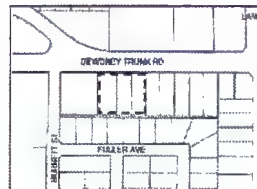
## Public Comment Opportunity for Proposed Development at 22904 - 22922 Dewdney Trunk Road

Dear Neighbour,

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 22904 - 22922 Dewdney Trunk Road, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

The proposal includes the following components as attached to this letter:

- Official Community Plan - Urban Residential, no change
- Rezoning from RS-1 to CD
- 6-storey mixed-use building with 127 strata units, and two commercial units to replace 3 single-family dwellings
- Lot size 3330.0m



PUBLIC COMMENT OPPORTUNITY  
DATE: May 18 - 27, 2021

EMAIL FOR INFO & TO PROVIDE COMMENTS:  
info@billardarchitecture.ca  
604-619-0529 ext 1001

To view the presentation and provide comments  
online, type the following link into an internet  
browser:  
<https://forms.gle/Qwcfb9XQ7BA4V78AA>

Your thoughts are important to us. If you require additional information or and/or would like to provide your comments, please do not hesitate to contact the undersigned at info@billardarchitecture.ca 604-619-0529 ext 1001 or the City of Maple Ridge Planning Department 604-467-7341.

Sincerely,

Billard Architecture

Please note that all comment and attendance sheets produced as a result of this Public Comment Opportunity will be provided to the City of Maple Ridge and form part of the public record that is available for viewing by the public upon request.

On May 7, 2021 notices were mailed to 191 neighbours within 100 metres of the development site, inviting the public to provide feedback by email, phone, and a Google webform.



# PRESENTATION MATERIALS

- The web address in the mailout provided a link to a Google webform which displayed information about the Public Comment Opportunity, project details, the City's mandatory disclaimer, as well as a link to view and download the presentation and a form to provide feedback



## Public Comment Opportunity for Proposed Development at 22904 - 22922 Dewdney Trunk Road

2019-392-RZ

\*Required

### PUBLIC COMMENT OPPORTUNITY: MAY 18 - 27, 2021

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 22904 - 22922 Dewdney Trunk Road, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

The proposal includes the following components:

- Official Community Plan - Urban Residential, no change
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- 6-storey mixed-use building with 127 strata units, and two commercial units to replace 3 single-family dwellings
- Lot size 3330.0sm

The presentation is available to view here

<https://www.dropbox.com/s/gqn8udya606hb9y/Public%20Comment%20Opportunity%20-%202019-392-RZ%2022904-22922%20Dewdney%20Trunk%20RD.pdf?dl=0>

Your thoughts are important to us. If you require information in addition to the following presentation or and/or would like to provide your comments, please do not hesitate to contact the undersigned at [info@billardarchitecture.ca](mailto:info@billardarchitecture.ca) and/or 604-619-0529 ext 1001, or the City of Maple Ridge Planning Department 604-467-7341.

Sincerely,

Billard Architecture

Please note that all comment and attendance sheets produced as a result of this Public Comment Opportunity will be provided to the City of Maple Ridge and form part of the public record that is available for viewing by the public upon request.

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# ANALYSIS AND RESPONSE TO COMMENTS

There was one neighbour that provided comments by phone, webform, and email.

Question/Concern	Response
The neighbour has concerns regarding privacy and visibility into their yard.	The design of the project has taken great care to step back away from the neighbouring properties to the south. It steps back significantly at each floor above the third storey. In addition, the design has oriented most of its windows to the east and west to avoid overlook. Finally, with the addition of the lane, the building has been moved as far away from the neighbouring properties as possible.
The neighbour has concerns that the height will completely diminish the sunlight.	The building is located to the north of the neighbouring properties .Therefore no sunlight falling on the neighbouring properties will be impacted.
The neighbour has concerns that the development will devalue their property.	This project fits the Official Community Plan and as such the community as a whole has determined that this form of project is beneficial to the neighbourhood. Additionally, studies have shown that adding quality multifamily homes to an area increases neighbourhood amenities and other advantages. There has been no indication that providing such housing decreases property values.
The neighbour has concerns about how waste management will be handled and is concerned about an increase in rodents and dumpster diving.	The project has located its garbage staging area against the eastern edge of the property adjacent the Husky Gas Station. This area is just used on the day of garbage and recycling pick-up. The private hauler collects the bins from the underground garbage and recycling room, brings them to the staging area outside on the day of collection. The bins are then returned to the underground garbage/recycling room after collection. As such there is very little chance of interference with the bins.
The neighbour has concerns about the noise from waste management service vehicles.	As the garbage and recycling schedule would fall on the same day as for the existing properties, there would be no increase in disruption.

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# RESPONSE TO COMMENTS

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## Question/Concern

The neighbour is concerned about the availability of street parking with increased density.

The neighbour claims that the Husky Gas station owners are concerned about additional with traffic from this laneway interfering with RV and trailer line-ups at the dumping station.

The neighbour has concerns about increased traffic and safety and noted that there are no traffic lights at nearby intersection.

The neighbour is concerned that current infrastructure of the neighbourhood is inadequate to support the size of the development.

The neighbour is concerned about the number of deliveries that the commercial units will be requiring for operation and that the noise from the delivery and commercial trucks will be intrusive.

The neighbour is concerned about noise and exhaust pollution from the laneway traffic.

## Response

The projects meets the city's off street parking bylaws in terms of the number of stall required.

The creation of the laneway is mandated by the City of Maple Ridge. Its creation and use is independent of this project. The Husky Station has already entered into a Memorandum of Understanding with the developer.

A comprehensive traffic study has been completed by professional traffic engineers and has been reviewed by the City of Maple Ridge Engineering Department.

The City of Maple Ridge Engineering Department has reviewed the project's Civil Engineering reports and designs as they pertain to loads on the existing infrastructure and have determined that the project will comply.

The two commercial units are very small and are intended to be neighbourhood cafés or of similar use. As such, the requirement for significant deliveries is very small. In addition, given the deliveries and servicing to the existing Husky Gas Station, any additional deliveries will not equate to any significant or noticeable increase.

The creation of the laneway is mandated by the City of Maple Ridge. Its creation and use is independent of this project. It is not anticipated that there would be a significant amount of disruption from the lane. Certainly, any amount of exhaust pollution would be very small by comparison to the existing Husky Gas Station.

---

# RESPONSE TO COMMENTS

---

## Question/Concern

## Response

The neighbour is concerned about light pollution from the exterior lighting.

As mentioned, the project dramatically steps back away from the neighbouring properties. In addition, care will be taken to specify lighting that not only protects residents in the lane, deters loitering and does not shed light onto the neighbouring properties. This is a standard process in today's lighting design.

The neighbour is concerned about potential criminal activity in the lane.

As noted, the design of the lighting and access to the building will be designed in such a way as to deter any unwanted activity in and around the lane.

The neighbour is concerned about potential loitering and homeless individuals using building overhangs for shelter.

As noted, the design of the lighting and access to the building will be designed in such a way as to deter any unwanted activity in and around the lane.

The neighbour is concerned the design does not fit into the neighbourhood.

This project fits the Official Community Plan and as such the community as a whole has determined that this form of project is beneficial to the neighbourhood.

The neighbour would like to know if it is possible to use the lane to provide access to a future coach house.

The City of Maple Ridge would need to be consulted on this. However, it is generally accepted that laneways provide the opportunity for the neighbours to create laneway homes.

The neighbour is concerned about the noise from construction and the duration of construction.

The project will be subject to the noise bylaws of the City of Maple Ridge and care will be taken to build a positive relationship with the neighbours and to minimize impact during construction.



## CONCLUSION

- The Public Comment Opportunity has concluded, and we have received comments by phone, email, and webform from one neighbour. We have adequately addressed their concerns and we will continue to work with the community to ensure the success of the neighbourhood.

