

City of Maple Ridge

**COMMITTEE OF THE WHOLE AGENDA**

**September 20, 2022**

**11:00 a.m.**

**Virtual Online Meeting including Council Chambers**

*Committee of the Whole is the initial venue for review of issues. No voting takes place on bylaws or resolutions. A decision is made to send an item to Council for debate and vote or to send an item back to staff for more information or clarification before proceeding to Council.  
The meeting is live streamed and recorded by the City of Maple Ridge.*

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For virtual participation during Community Forum please go to  
[www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) and select the meeting date.

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**1. CALL TO ORDER**

**2. ADOPTION AND RECEIPT OF MINUTES**

2.1 Minutes - September 6, 2022

**3. DELEGATIONS/STAFF PRESENTATIONS**

**4. PLANNING & DEVELOPMENT SERVICES**

Note:

- Owners and/or Agents of development applications on this agenda may be present to answer Council questions pertaining to their item at the conclusion of Staff presentations for that item.
- The following items have been numbered to correspond with the Council Agenda where further debate and voting will take place, upon Council decision to forward them to that venue.

**1101 2022-024-RZ, 24266 110 Avenue, RS-3 to RS-1d**

Staff report dated September 20, 2022, recommending that Zone Amending Bylaw No. 7880-2022, to rezone from RS-3 (Single Detached Residential) to RS-1d (Single Detached (Half Acre) Residential), to permit a future subdivision of approximately nine single-family lots, be given first reading and that the applicant provide further information as described in the report.

**1102 2022-250-RZ, 22534, 22548 and 22556 Royal Crescent, RS-1 to RM-2**

Staff reported dated September 20, 2022, recommending that Zone Amending Bylaw No. 7874-2022 to rezone RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential) to permit the future construction of a six-story apartment building for 98 Senior Housing units with BC Housing be given first reading and that the applicant provide further information as described in the report.

- 1103    **2019-138-RZ, 22238, 22242, 22246, and 22286 Selkirk Avenue, 22245, 22251, and 22289 Loughheed Highway, PID 011-208-775, PID 011-208-848, and PID 011-208-856, C-3 and CS-1 to CD-2-22**

Staff report dated September 20, 2022, recommending that Official Community Plan Amending Bylaw No. 7878-2022 be given first and second reading and forwarded to Public Hearing, that Zone Amending Bylaw No. 7561-2019 be rescinded, and Zone Amending Bylaw No. 7879-2022, to rezone from C-3 (Town Centre Commercial) and CS-1 (Service Commercial) to CD-2-22 (Comprehensive Development) to permit the future construction of two apartment buildings, be given first and second reading and forwarded to Public Hearing.

- 1104    **2020-177-RZ, 12834 232 Street, RS-2 to CD-3-22**

Staff report dated September 20, 2022, recommending that Official Community Plan Amending Bylaw No. 7888-2022 be given first and second reading and forwarded to Public Hearing, that Zone Amending Bylaw No. 7661-2020 be rescinded, and that Zone Amending Bylaw No. 7889-2022, to rezone from RS-2 (One Family Suburban Residential) to CD-3-22 (Comprehensive Development), to permit the future construction of a three-storey, mixed-use building, be given first and second reading and forwarded to Public Hearing.

- 1105    **2021-393-RZ, 10869 and 10911 248 Street, RS-3 to R-1 and R-2 and R-3**

That staff report dated September 20, 2022, recommending that Official Community Plan Amending Bylaw No. 7890-2022 be given first and second reading and forwarded to Public Hearing and that Zone Amending Bylaw No. 7811-2021 to rezone from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential), R-2 (Single Detached (Medium Density) Urban Residential), and R-3 (Single Detached (Intensive) Urban Residential) to permit the future construction of approximately 34 lots, be given second reading, as amended, and forwarded to Public Hearing.

- 1106    **2020-409-DVP, 11089 240 Street, Development Variance Permit**

Staff report dated September 20, 2022, recommending that the Corporate Officer be authorized to sign and seal 2020-409-DVP, to reduce the front yard setback.

- 1107    **2020-250-DVP, 23939 Fern Crescent, Development Variance Permit**

Staff report dated September 20, 2022, recommending that the Corporate officer be authorized to sign and seal 2020-250-VP to reduce the lot width.



**1108 2018-182-RZ, 11040 Cameron Court, Payment in Lieu of Parkland Dedication**

Staff report dated September 20, 2022, recommending that Council require payment in lieu of parkland dedication for 6 lot subdivision of the property located at 11040 Cameron Court.

**5. ENGINEERING SERVICES**

**1131 Maple Ridge Water Service Amending Bylaw No. 7868-2022**

Staff report dated September 20, 2022, recommending that Maple Ridge Water Service Amending Bylaw No. 7868-2022 be given first, second and third readings.

**1132 2020-168-RZ, Alternative Approval Process to Permit a City Sewer Line in Dedicated Park Land**

Staff report dated September 20, 2022, recommending that City Sewer Line in Dedicated Park Land Bylaw No. 7867-2022 receive second and third reading.

**1133 11-52455-20-B512 & 01-0400-60, Alternative Approval Process to Permit an SRW for Metro Vancouver Forcemain in Dedicated Park Land Bylaw**

Staff report dated September 20, 2022, recommending that Bylaw No. 7841-2022 – Statutory Right of Way Over Dedicated Park and Dedicated Road for Metro Vancouver's Forcemain Project receive second and third reading.

**6. CORPORATE SERVICES**

**1151 05-1970-04, 2020 - 2023 Property Tax Exemption Amendment**

Staff report dated September 20, 2022, recommending that Maple Ridge Property Tax Exemption Amending Bylaw No. 7869-2022, be given first, second and third readings.

**7. PARKS, RECREATION & CULTURE**

**8. ADMINISTRATION**

**9. COMMUNITY FORUM**

**10. NOTICE OF CLOSED COUNCIL MEETING**

**11. ADJOURNMENT**

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## COMMUNITY FORUM

The Community Forum provides the public with an opportunity to speak with Council on items that are of concern to them, with the exception of Public Hearing bylaws that have not yet reached conclusion.

There is a two (2) minute time limit per speaker with a second opportunity provided if no one else is waiting to speak. Respectful statements and/or questions must be directed through the Chair and not individual members of Council. The total session is limited to 15 minutes.

Council meetings open to the public will continue to be hosted through electronic means, with up to 33 members of the public allowed physical access to Council Chambers through a first come, first served basis.

The wearing of masks will be encouraged but not required. Sanitizer stations will be available at entry points to Council Chambers.

Please check our website for the latest updates on how the City is facilitating public participation in response to evolving Public Health Orders: <https://www.mapleridge.ca/2408/COVID-19-Information>

We encourage the public to watch the video recording of the meeting via live streaming or any time after the meeting via: <https://media.mapleridge.ca/Mediasite/Showcase>

Using Zoom, input from the public during Community Forum is being facilitated via the raised hand function through the Zoom meeting. For virtual public participation during Community Forum please join the meeting by clicking on the date of the meeting at: <https://www.mapleridge.ca/640/Council-Meetings>. When the meeting reaches the Community Forum portion, please raise your virtual hand to indicate you would like to speak.

Council reserves the right to defer responding to a question in order to obtain the information required to provide a complete and accurate response.

Council will not tolerate any derogatory remarks directed at Council or staff members.

For more information on these opportunities contact:

Legal & Legislative Services Department at 604-463-5221 or [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca)  
Mayor and Council at [mayorcouncilandcaol@mapleridge.ca](mailto:mayorcouncilandcaol@mapleridge.ca)

APPROVED BY:



DATE:

SEP 15 / 22

PREPARED BY:



DATE:

Sept 15, 2022

CHECKED BY:



DATE:

Sept 15, 2022

**COMMITTEE OF THE WHOLE MEETING MINUTES**

September 6, 2022

The Minutes of the Committee of the Whole Meeting held on September 6, 2022 at 11:01 a.m. virtually and in Council Chambers of the City Hall, 11995 Haney Place, Maple Ridge, British Columbia for the purpose of transacting regular City business.

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<i>PRESENT</i>	<i>Appointed Staff</i>
<i>Elected Officials</i>	S. Hartman, Chief Administrative Officer
Mayor M. Morden	C. Carter, General Manager Planning & Development Services
Councillor J. Dueck	S. Labonne, General Manager Parks, Recreation and Culture
Councillor C. Meadus	D. Pollock, General Manager Engineering Services
Councillor G. Robson	P. Hlavac-Winsor, General Counsel and Executive Director, Legislative Services, Acting Corporate Officer
Councillor A. Yousef	A. Nurvo, Deputy Corporate Officer
<i>ABSENT</i>	<i>Other Staff as Required</i>
Councillor K. Duncan	C. Goddard, Director of Planning
Councillor R. Svendsen	M. Baski, Planner 2
	C. Lee, Manager of Revenue & Collections
	M. McMullen, Manager of Development Environmental Services
	R. Ollenberger, Manager of Infrastructure Development
	F. Smith, Director of Engineering
	R. Tardif, Planner 1
	T. Thompson, Director of Finance
	W. Cooper, Planner 1
	J. Kim, Computer Support Specialist

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Note: These Minutes are posted on the City website at [mapleridge.ca/AgendaCenter/](http://mapleridge.ca/AgendaCenter/)  
Video of the meeting is posted at [media.mapleridge.ca/Mediasite/Showcase](http://media.mapleridge.ca/Mediasite/Showcase)

Note: Acting Mayor Councillor Yousef chaired the meeting from the Council Chambers.

1. **CALL TO ORDER**

2. **ADOPTION AND RECEIPT OF MINUTES**

2.1 Minutes of the Committee of the Whole Meeting of July 19, 2022

It was moved and seconded

That the Minutes of the July 19, 2022 Committee of the Whole Meeting be adopted.

CARRIED

3. ***DELEGATIONS/STAFF PRESENTATIONS***

3.1 **BC Thanksgiving Food Drive**

Presentation by Brody McDermid, Meridian Farm Market, on the BC Thanksgiving Food Drive for the food bank.

4. ***PLANNING AND DEVELOPMENT SERVICES***

1101 **2021-355-RZ, 13301 251A Street, P-6 to M-3 and RS-2**

Staff report dated September 6, 2022, recommending that Zone Amending Bylaw No. 7783-2021 to rezone from P-6 (Civic) to M-3 (Business Park Industrial) and RS-2 (Single Detached Suburban Residential), to permit the future construction of an industrial business park and two single-family lots, be given first reading and that the applicant provide further information as described in the report.

M. Baski, Planner 2, provided a summary presentation and staff answered Council questions.

It was moved and seconded

**That staff report dated September 6, 2022, titled “First Reading, Zone Amending Bylaw No. 7783-2021, 13301 251A Street” be forwarded to the Council Meeting of September 13, 2022.**

CARRIED

1102 **2022-135-RZ, 11894 and 11904 Laity Street, RT-1 to RM-2**

Staff report dated September 6, 2022, recommending that Zone Amending Bylaw No. 7875-2022 to rezone from RT-1 (Two Unit Urban Residential) to RM-2 (Medium Density Apartment Residential), to permit the future construction of a six-storey apartment building with approximately 62 units with all of the parking provided underground, be given first reading and that the applicant provide further information as described in the report.

R. Tardif, Planner 1, provided a summary presentation and staff answered Council questions.

Note: Councillor Robson left the meeting at 11:32 a.m. and returned at 11:33 a.m.

It was moved and seconded

**That staff report dated September 6, titled “First Reading, Zone Amending Bylaw No. 7875-2022, 11894 and 11904 Laity Street” be forwarded to the Council Meeting of September 13, 2022.**

CARRIED

**1103 2022-228-RZ, 10441 245B Street, RS-2 to RS-1b**

Staff report dated September 6, 2022, recommending that Zone Amending Bylaw 7872-2022 to rezone from RS-2 (Single Detached Suburban Residential) to RS-1b (Single Detached (Medium Density) Residential), to permit a future subdivision of approximately three lots, be given first reading and that the applicant provide further information as described in the report.

R. Tardif, Planner 1, provided a summary presentation and staff answered Council questions.

It was moved and seconded

**That staff report dated September 6, 2022, titled, “First Reading, Zone Amending Bylaw No. 7872-2022, 10441 245B Street” be forwarded to the Council Meeting of September 13, 2022.**

CARRIED

**1104 2021-324-RZ, 20660 & 20670 123 Avenue and 20679 Tyner Avenue, RS-3 to R-1**

Staff report dated September 6, 2022, recommending that Official Community Plan Amending Bylaw No. 7871-2022 to be given first and second reading and forwarded to Public Hearing and that Zone Amending Bylaw No. 7788-2021 to rezone from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential) to permit a future subdivision of 10 lots, be given second reading and forward to Public Hearing.

M. McMullen, Manager of Development Environmental Services provided a summary presentation and staff answered Council questions.

It was moved and seconded

**That staff report dated September 6, 2022, titled, “First and Second Reading, Official Community Plan Amending Bylaw No. 7871-2022, Second Reading, Zone Amending Bylaw No. 7788-2021, 20660 & 20670 123 Avenue and 20679 Tyner Avenue” be forwarded to the next Council Meeting of September 13, 2022.**

CARRIED

**1105 2017-262-RZ/2019-064-RZ/2018-182-RZ, 11040, 11045 and 11060 Cameron Court**

Staff report dated September 6, 2022, recommending that Road Closure Bylaw No. 7864-2022, to close and remove the dedication of highway on a



portion of Cameron Court, be given first reading and that staff be authorized to commence the notification provisions of the Community Charter, S.B.C., c. 26.

It was moved and seconded

**That staff report dated September 6, 2022, titled, "First Reading, Road Closure Bylaw 7864-2022, 11040, 11045 and 11060 Cameron Court" be forwarded to the next Council Meeting of September 13, 2022.**

CARRIED

## **5. ENGINEERING SERVICES**

### **1131 11-5255-70-139, Award of Contract: ITT-EN22-24 – 263 Street Reservoir Expansion**

Staff report dated September 6, 2022, recommending that Contract ITT-EN22-24: 236 Street Expansion be awarded to Tritech Group Ltd., a construction contingency be approved, the existing Stantec Ltd. contract be increased and that the Corporate Officer be authorized to execute the contract.

F. Smith, Director of Engineering, provided a summary presentation and staff answered Council questions.

It was moved and seconded

**That staff report dated September 6, 2022, titled, "Award of Contract: ITT-EN22-24- 263 Street Reservoir Expansion" be forwarded to the next Council Meeting of September 13, 2022.**

CARRIED

## **6. CORPORATE SERVICES**

### **1151 Extension of Tax Sale Redemption Period**

Staff report dated September 6, 2022, recommending that Extension of Tax Sale Redemption Period Bylaw No. 7884-2022, to be given first, second, and third readings.

C.K. Lee, Manager of Revenue & Collections, provided a summary presentation and staff answered Council questions.

It was moved and seconded

**That staff report dated September 6, 2022, titled, "Extension of Tax Sale Redemption Period" be forwarded to the next Council Meeting of September 13, 2022.**

CARRIED

7.       **PARKS, RECREATION & CULTURE - *Nil***

8.       **ADMINISTRATION - *Nil***

9.       **COMMUNITY FORUM**

No members of the public asked any questions of Council.

10.      **NOTICE OF CLOSED COUNCIL MEETING – *Nil***

11.      **ADJOURNMENT – 12:18 p.m.**

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Councillor A. Yousef, Chair  
Presiding Member of the Committee

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First Reading  
Zone Amending Bylaw No. 7880-2022  
24266 110 Avenue

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2022-024-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 24266 110 Avenue, from RS-3 (Single Detached Rural Residential) to RS-1d (Single Detached (Half Acre) Residential), to permit a future subdivision of approximately nine single-family lots not less than 557m<sup>2</sup> (5,996ft.<sup>2</sup>) in size. The applicant intends to choose the Density Bonus option within the RS-1d (Single Detached (Half Acre) Residential) zone, which is specific to the Albion Area, enabling single-family lot sizes of 557m<sup>2</sup> (5,996ft.<sup>2</sup>).

The Albion Area Plan designates the subject property as *Low Density Residential, Park and Conservation*. The proposed zoning of RS-1d (Single Detached (Half Acre) Residential) is supported within the Zoning Matrix. The Zoning Matrix supports a Density Bonus to RS-1b (Single Detached (Medium Density) Residential) that will further permit 557m<sup>2</sup> (5,996ft.<sup>2</sup>) lots. The proposed application could result in a Density Bonus Contribution of approximately \$27,900 through the Albion Density Bonus provision at a rate of 9 x \$3,100 per lot.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution program at a rate of \$7,100 per lot, for a total estimated amount of \$63,900, or such rate applicable at third reading of this application.

Portions of the site have watercourses and steep slopes that are environmentally sensitive areas that will be protected. As such, an Official Community Plan (OCP) amendment will be required to include conservation areas based on the ground-truthing of the site.

To proceed further with this application, additional information is required as outlined below.

**RECOMMENDATIONS:**

1. In respect of Section 475 of the *Local Government Act*, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:
  - i. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
  - ii. The Board of any Regional District that is adjacent to the area covered by the plan;
  - iii. The Council of any municipality that is adjacent to the area covered by the plan;
  - iv. First Nations;

- v. Boards of Education, Greater Boards and Improvements District Boards; and
- vi. The Provincial and Federal Governments and their agencies.

and in that regard it is recommended that no additional consultation be required in respect of this matter beyond the early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment, and;

2. That *Zone Amending Bylaw No. 7880-2022* be given first reading; and further
3. That the applicant provide further information as described on Schedules A, B, F and G of the *Development Procedures Bylaw No. 5879-1999*, along with the information required for a Subdivision application.

#### DISCUSSION:

##### a) Background Context:

Applicant:	Don Bowins
Legal Description:	Lot 46 Section 10 Township 12 New Westminster District Plan 67469
OCP:	
Existing:	<i>Low Density Residential, Park and Conservation</i>
Proposed:	<i>Low Density Residential, Park and Conservation</i>
Within Urban Area Boundary:	Yes
Area Plan:	Albion Area Plan
OCP Major Corridor:	No
Zoning:	
Existing:	RS-3 (Single Detached Rural Residential)
Proposed:	RS-1d (Single Detached (Half Acre) Residential) with a Density Bonus down to the RS-1b (Single Detached (Medium Density) Residential) zone
Surrounding Uses:	
North:	Use: Single-Family Residential Zone: RS-3 (Single Detached Rural Residential) Designation: <i>Low Density Residential</i>
South:	Use: Kanaka Creek Regional Park Zone: RS-3 (Single Detached Rural Residential) Designation: <i>Park</i>
East:	Use: Single-Family Residential Zone: RS-3 (Single Detached Rural Residential) Designation: <i>Low Density Residential</i>
West:	Use: Single-Family Residential Zone: RS-3 (Single Detached Rural Residential) Designation: <i>Low Density Residential, Conservation, Park</i>

Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	1.39 ha (3.43 acres)
Access:	110 Avenue
Servicing requirement:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes

**b) Site Characteristics:**

The subject property, located at 24266 110 Avenue, is located within the Albion Area Plan and is approximately 1.39 ha (3.43 acres) in area (see Appendices A and B). The subject property fronts 110 Avenue. To the south is Kanaka Creek Regional Park; to the north, east and west are single-family houses with outbuildings.

The subject property has a gradual slope from the north-west to south-east towards Kanaka Creek. The subject property may be affected in areas by steep slopes over 25 percent to the east. Along the south the subject property abuts Kanaka Creek Regional Park.

**c) Project Description:**

The applicant has applied to rezone the subject property from the RS-3 (Single Detached Rural Residential) zone to the RS-1d (Single Detached (Half Acre) Residential) zone with a Density Bonus. The Albion Area Density Bonus Amenity Contribution program allows for RS-1b (Single Detached (Medium Density) Residential) sized lots to permit the subdivision of approximately nine single-family lots, not less than 557m<sup>2</sup> (5,996ft.<sup>2</sup>) in size, provided that an amenity contribution of \$3,100 per lot is provided.

The subject property is encumbered by several covenants and an easement. One of these covenants is held by Metro Vancouver and restricts the use of portions of the land to provide for an area on the southerly portion of the land where the vegetation, trees, shrubs, bushes and ground cover are left to grow naturally. This covenant may affect the ability of the subject property to be developed. A referral to Metro Vancouver will be required as part of the development process. The City and the Ministry of Environment also hold covenants on the subject property that restrict the uses of the land. As the application proceeds the requirements for the protection of the natural environment within these covenants will need to be aligned with the City's Natural Features and Watercourse Protection Development Permit. Modifications or discharges of these covenants may require the approval of the Province of British Columbia and Metro Vancouver.

At this time, the current application has been assessed to determine its compliance with the Official Community Plan and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and further reports will be required prior to second reading. Elements to be reviewed by the City include:

- Environmental report regarding the creeks;
- Arborist report assessing significant stands of trees;
- Servicing and lot grading plans; and
- Geotechnical report.

Assessment of these elements may impact proposed lot boundaries and yields, OCP designations and bylaw particulars, and may require application for further development permits.



Any subdivision layout provided is strictly preliminary and could change after servicing details and analysis reports are reviewed. Any subdivision layout provided is strictly preliminary and must be approved by the Approving Officer.

**d) Planning Analysis:**

**Official Community Plan:**

The development site is located within the Albion Area Plan and is currently designated *Low Density Residential*. The property to the east is designated *Conservation*. The *Conservation* designation identifies ecologically sensitive lands that require protection in order to ensure that their health, diversity and integrity are maintained. They are considered to be of high environmental or geological sensitivity. An OCP amendment will be required to adjust the *Conservation* boundary to reflect ground-truthing. The southern portion of the property is designated *Park* and is also subject to a covenant held by Metro Vancouver for the protection of the natural environment to provide a buffer to Kanaka Creek Regional Park.

The *Low Density Residential* designation corresponds with a single detached housing form at a low density urban standard with lots sized at 2,000m<sup>2</sup> (0.5 acre). Higher densities may be supportable in compliance with the Albion Area Density Bonus Amenity Contribution Program prescribed in the Zoning Bylaw.

Albion Plan Policy 10.2.2 – *"...is intended to meet the needs of the community and respond to changes in housing form and demand over time by enabling an additional means of providing neighbourhood amenities. The Albion Area Plan Community Amenity Program provides the opportunity for a Density Bonus within a number of zones identified with the Albion Zoning Matrix. Within these zones, 'bonus' density may be achieved through an Amenity Contribution toward community amenities that will be located within the boundaries of the Plan Area."*

The application is in compliance with the OCP policies for the Density Bonus, however an OCP amendment is required for the *Conservation* areas.

**Zoning Bylaw:**

The current application proposes to rezone the subject property from RS-3 (Single Detached Rural Residential) to RS-1d (Single Detached (Half Acre) Residential) (see Appendix D), with a Density Bonus, to permit future subdivision into approximately nine single-family lots (see Appendix E).

The application of the Density Bonus, which is specific to the Albion Area Plan, will permit the applicant to reduce the single-family lot size from the RS-1d (Single Detached (Half Acre) Residential) density of 2,000m<sup>2</sup> (0.5 acre) to 557m<sup>2</sup> (5,996ft.<sup>2</sup>). An Amenity Contribution of \$3,100 per lot for each lot that is less than 2,000m<sup>2</sup> (0.5 acre) is required. This application will also be subject to the City-wide Community Amenity Contribution Program. Any variations from the requirements of the proposed zone will require a Development Variance Permit application.

**Development Permits:**

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments and building permits within 50 metres of the top of bank of all watercourses and wetlands. The purpose of the Watercourse Protection Development Permit is to

ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated Conservation on Schedule "B" or all areas within 50 metres of an area designated Conservation on Schedule "B", or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15 %;
- All floodplain areas and forest lands identified on Natural Features Schedule "C"

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

**Development Information Meeting:**

A Development Information Meeting is required for this application. Prior to second reading the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

**e) Interdepartmental Implications:**

In order to advance the current application, after first reading, comments and input, will be sought from the various internal departments and external agencies listed below:

- a) Engineering Department;
- b) Operations Department;
- c) Fire Department;
- d) Building Department;
- e) Parks, Recreation and Culture Department;
- f) School District;
- g) Utility companies;
- h) Metro Vancouver
- i) Ministry of Environment; and
- j) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for comments at this time; therefore, an evaluation of servicing and site access requirements have not been undertaken. We anticipate that this evaluation will take place between first and second reading.

**f) Early and Ongoing Consultation:**

In respect of Section 475 of the *Local Government Act* for consultation during an OCP amendment, it is recommended that no additional consultation is required beyond the early posting of the proposed OCP amendments on the City's website, together with an invitation to the public to comment.

**g) Development Applications:**

In order for this application to proceed the following information must be provided, as required by *Development Procedures Bylaw No. 5879-1999* as amended:

1. An OCP Application (Schedule A);
2. A complete Rezoning Application (Schedule B);
3. A Watercourse Protection Development Permit Application (Schedule F);
4. A Natural Features Development Permit Application (Schedule G); and
5. A Subdivision Application.

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

**CONCLUSION:**

The development proposal is in compliance with the Official Community Plan; therefore, it is recommended that Council grant first reading subject to additional information being provided and assessed prior to second reading.

It is expected that once complete information is received, *Zone Amending Bylaw No. 7880-2022* will be amended and an OCP Amendment to adjust the Conservation boundary may be required.

“Original signed by Wendy Cooper”

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Prepared by: **Wendy Cooper, M.Sc., MCIP, RPP**  
**Planner**

“Original signed by Charles Goddard”

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Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Charles Goddard” for

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Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

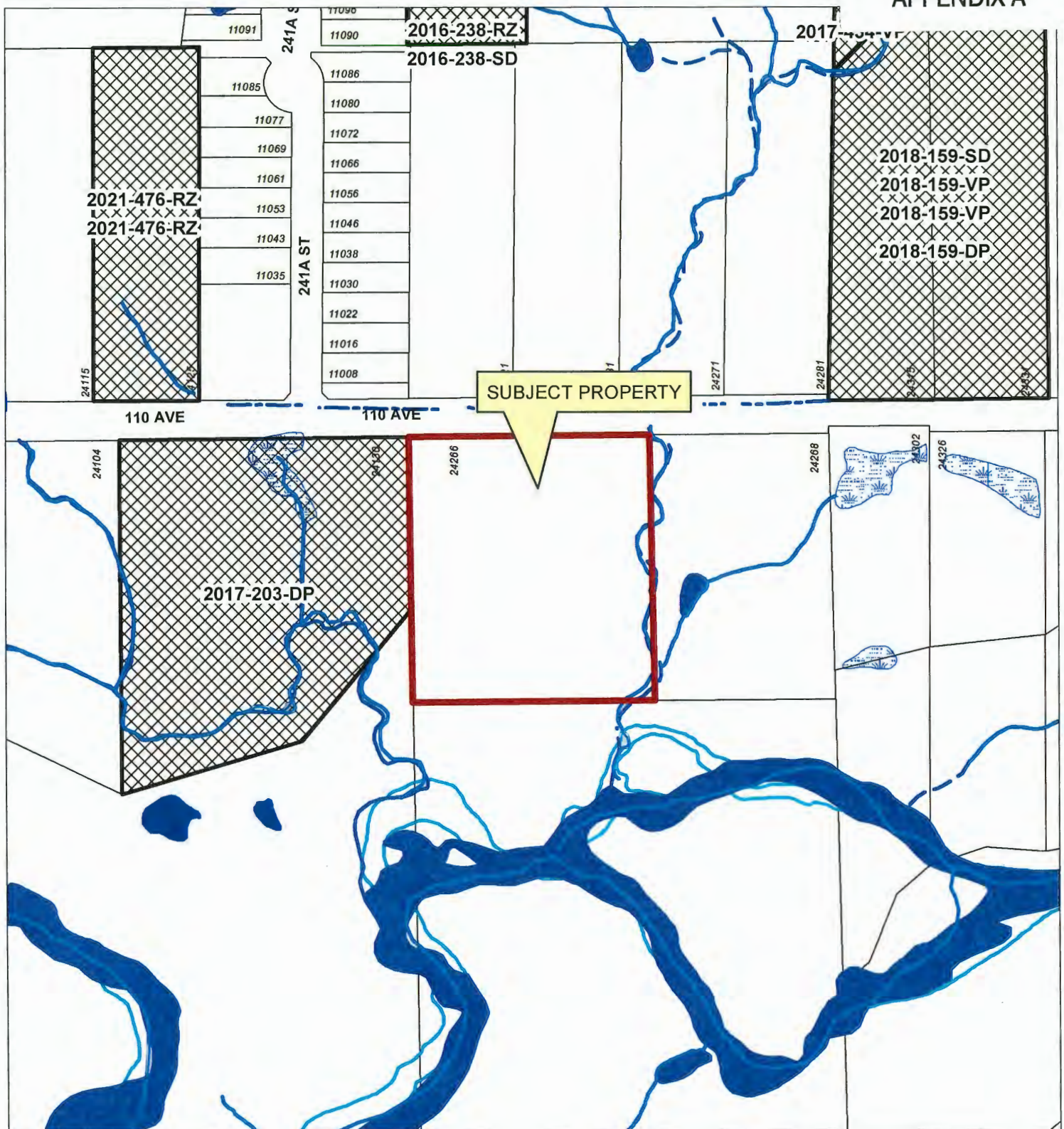
“Original signed by Scott Hartman”

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Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Environmental Context Map
- Appendix D – Zone Amending Bylaw No. 7880-2022
- Appendix E – Proposed Subdivision Plan



SUBJECT PROPERTY

2017-203-DP

24266

24266 110 AVE  
PID 002-381-451

PLANNING DEPARTMENT



mapleridge.ca

FILE: 2022-024-RZ/SD/DP/VP  
DATE: Jan 27, 2022

BY: AH

Legend

- Stream
- Ditch Centreline
- Edge of River
- Edge of Marsh
- Indefinite Creek
- River Centreline (Topographic)
- Lake or Reservoir
- Marsh
- River
- Major Rivers & Lakes
- Active Applications (RZ/SD/DP/VP)

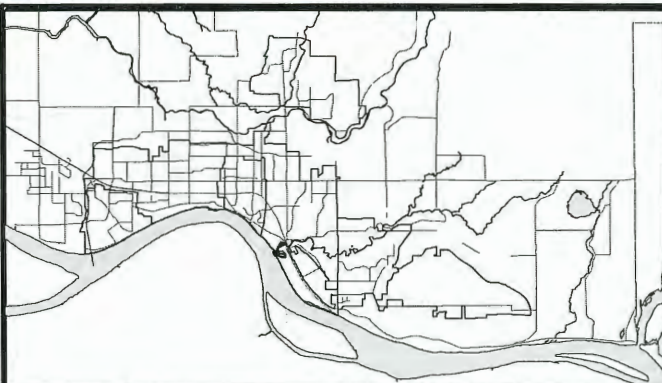


Scale: 1:2,500





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24266 110 AVE  
PID 002-381-451

PLANNING DEPARTMENT



MAPLE RIDGE  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2022-024-RZ/SD/DP/NP  
DATE: Jan 27, 2022

BY: AH





Preliminary Environmental Context  
View of 24266 110 Ave

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.

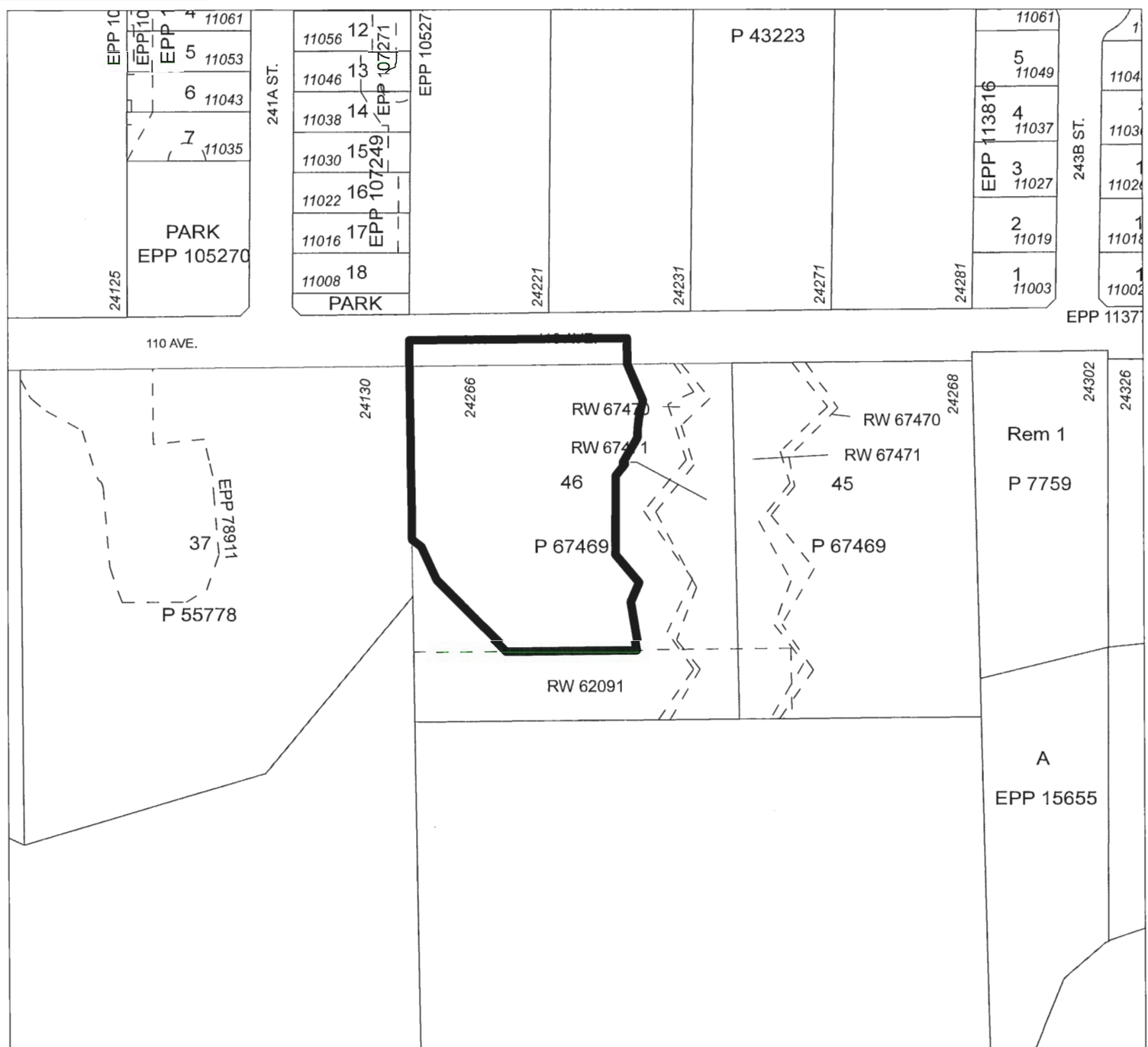
British Columbia

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BY: MP







## MAPLE RIDGE ZONE AMENDING

Bylaw No. 7880-2022

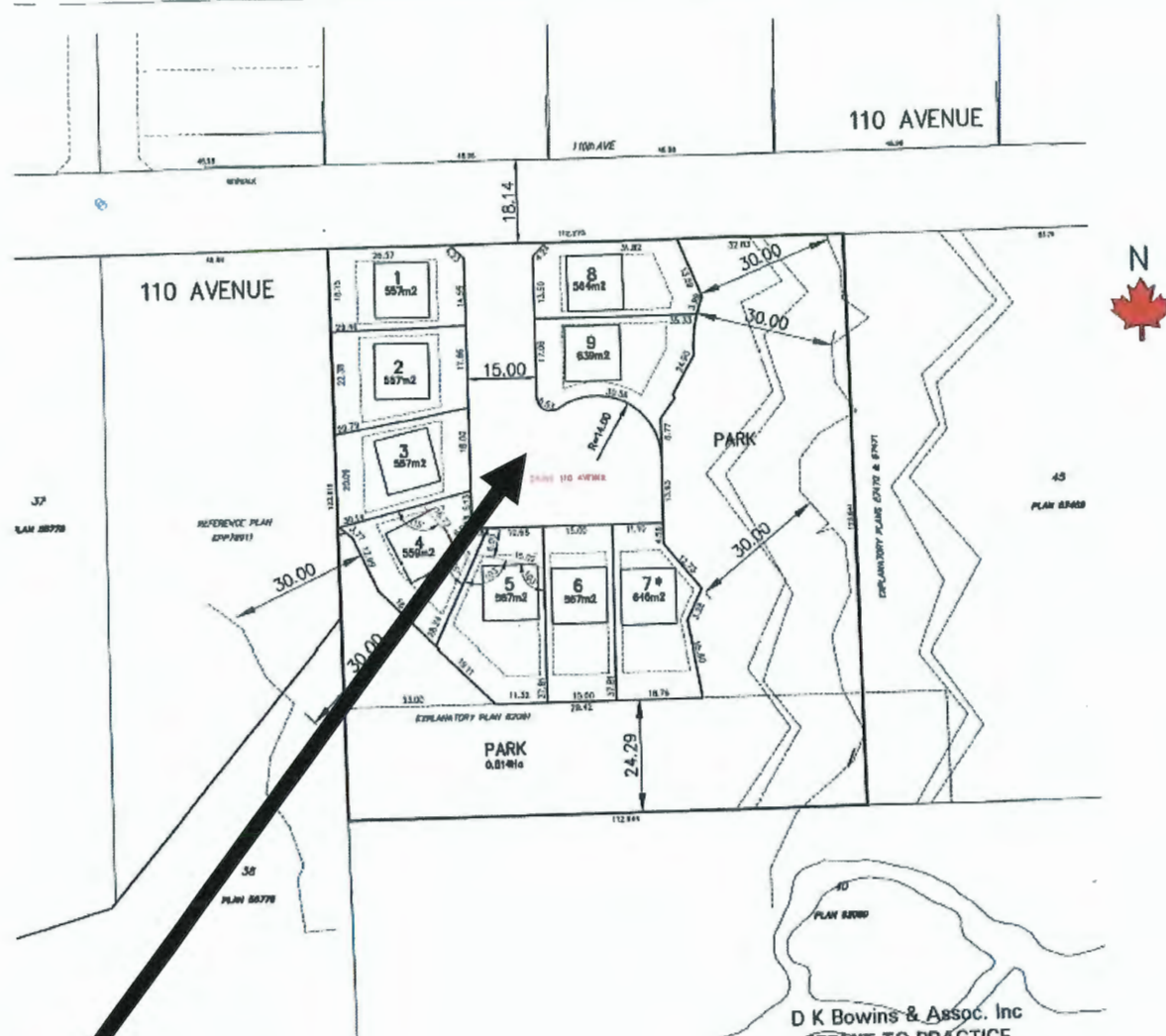
Map No. 1983

From: RS-3 (Single Detached Rural Residential)

To: RS-1d (Single Detached (Half Acre) Residential)



SCALE 1:2,000



Lot layout and lot yield is conceptual only. Technical reports have not been received to support the proposed layout.

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First Reading  
Zone Amending Bylaw No. 7874-2022  
22534, 22548, and 22556 Royal Crescent

**MEETING DATE:** September 6, 2022  
**FILE NO:** 2022-250-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties, located at 22534, 22548, and 22556 Royal Crescent, from the RS-1 (Single Detached Residential) zone to the RM-2 (Medium Density Apartment Residential) zone, to permit the future construction of a six-storey apartment building for 98 Senior Housing units with BC Housing.

To proceed further with this application there is a need to amend the Official Community Plan (OCP) to re-designate the site from *Ground-Oriented Multi-Family* to *Low-Rise Apartment*, allow for six storeys, and to provide the additional required information as outlined below.

This application is not subject to Community Amenity Contribution Council Policy 6.31 as this is a seniors rental building.

**RECOMMENDATIONS:**

1. In respect of Section 475 of the *Local Government Act*, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:
  - i. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
  - ii. The Board of any Regional District that is adjacent to the area covered by the plan;
  - iii. The Council of any municipality that is adjacent to the area covered by the plan;
  - iv. First Nations;
  - v. Boards of Education, Greater Boards and Improvements District Boards; and
  - vi. The Provincial and Federal Governments and their agencies.

and in that regard it is recommended that no additional consultation be required in respect of this matter beyond the early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment; and

2. That *Zone Amending Bylaw No. 7874-2022* be given first reading; and further
3. That the applicant provide further information as described on Schedules A, C, D, E, and G of the *Development Procedures Bylaw No. 5879-1999*.



## DISCUSSION:

### a) Background Context:

Applicant:	T. Ankenman, Ankenman Marchand Architects
Legal Descriptions:	Lots 18 and 19 District Lot 401 Group 1 New Westminster District Plan 4769; and Lot 1 District Lot 401 Group 1 New Westminster District Plan 10091
OCP:	
Existing:	<i>Ground-Oriented Multi-Family</i>
Proposed:	<i>Low-Rise Apartment</i>
Within Urban Area Boundary:	Yes
Area Plan:	Town Centre Area Plan, South of Lougheed Precinct
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-1 (Single Detached Residential)
Proposed:	RM-2 (Medium Density Apartment Residential)
Surrounding Uses:	
North:	Use: Multi-Family Residential Zone: RM-2 (Medium Density Apartment Residential) Designation: <i>Low-Rise Apartment</i>
South:	Use: Multi-Family Residential and Single Family Residential Zone: RM-2 (Medium Density Apartment Residential) and R-1 (Single Detached (Low Density) Urban Residential) Designation: <i>Low-Rise Apartment and Single Family Residential</i>
East:	Use: Multi-Family Residential Zone: RM-3 (Medium/High Density Apartment Residential) Designation: <i>Ground-Oriented Multi-Family</i>
West:	Use: Multi-Family Residential Zone: LUC (underlying zone of CD-1-00 for Seniors' Apartment) and RM-2 (Medium Density Apartment Residential) Designation: <i>Ground-Oriented Multi-Family and Low-Rise Apartment</i>
Existing Use of Property:	Multi-Family Residential (BC Housing Supportive Housing)
Proposed Use of Property:	Multi-Family Residential (BC Housing Seniors Housing)
Site Area:	0.44 ha (1.1 acres)
Access:	Royal Crescent
Servicing requirement:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes

**b) Site Characteristics and Project Description:**

The subject properties, located at 22534, 22548, and 22556 Royal Crescent, are currently being used for modular housing through BC Housing, providing 53 supportive housing units. Two of the properties, 22534 and 22548 Royal Crescent, are relatively flat, whereas 22566 Royal Crescent has some steep slopes on the southern half of the property (see Appendices A and B).

BC Housing is proposing to re-locate the existing modular housing and develop the subject properties into a six-storey apartment for approximately 98 independent housing units for seniors. The 53 existing supportive housing units will be re-located to another housing project on Fraser Street.

At this time the current application has been assessed to determine its compliance with the Official Community Plan (OCP) and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and further reports will be required prior to second reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and bylaw particulars, and may require application for further development permits.

**c) Planning Analysis:**

**Official Community Plan:**

The subject properties are located within the South of Lougheed precinct of the Town Centre Area Plan and are currently designated *Ground-Oriented Multi-Family*. For the proposed development, an OCP amendment will be required to re-designate the subject properties to *Low Rise Apartment* to allow the proposed RM-2 (Medium Density Apartment Residential) zoning. Policy 3-22 of the Town Centre Area Plan states the following:

*3-22 All Low-Rise Apartment developments should be a minimum of three (3) storeys and a maximum of five (5) storeys in height. In instances where it is demonstrated that shadowing, neighbourhood character, view obstruction, and other negative impacts are sufficiently mitigated, the height may be increased to six (6) storeys.*

The surrounding area consists of two-storey and five-storey apartment buildings to the north, a three-storey apartment building to the east, two-storey apartment buildings to the west and south, and single-family homes to the south. The area slopes to the south and the southern portion of 22556 Royal Crescent will likely remain more naturalized due to the slope protection, so will not significantly impact the single-family homes to the south (see Appendix C). A shadow analysis of the proposed building will be required prior to second reading.

The South of Lougheed precinct area serves as a key transportation and transit corridor for Maple Ridge, supporting commercial, mixed-use, commercial and higher density residential development along its route. Intensive residential infill development will offer the precinct, and the downtown core, the vibrancy needed to sustain local commercial, recreation and employment opportunities.

Both the City's Housing Action Plan (2014) and Housing Needs Report (2021) identifies the need for additional senior-friendly housing forms in Maple Ridge. Lower income seniors are struggling to find affordable, accessible housing options in Maple Ridge. It is also important to consider proximity of community amenities and transit to new seniors housing projects to help ensure seniors can continue to access services and transportation.

Since 2015, the number of seniors on BC Housing's waitlist has increased. As of 2021, there were 129 senior households on the waitlist for BC Housing administered units in Maple Ridge.

**Zoning Bylaw:**

The current application proposes to rezone the subject properties from the RS-1 (Single Detached Residential) zone to the RM-2 (Medium Density Apartment Residential) zone (see Appendix D) to permit a six-storey apartment building for seniors (see Appendix E). A Housing Agreement Bylaw will also accompany this application to ensure the rental housing units for seniors in perpetuity. Any variations from the requirements of the proposed zone will require a Development Variance Permit application.

**Development Permits:**

Pursuant to Section 8.11 of the OCP, a Town Centre Development Permit application for the South of Lougheed precinct is required for all multifamily residential, flexible mixed use and commercial development located in the Town Centre.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated Conservation on Schedule "B" or all areas within 50 metres of an area designated Conservation on Schedule "B", or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15 %;
- All floodplain areas and forest lands identified on Natural Features Schedule "C"

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

**Advisory Design Panel:**

A Town Centre Development Permit is required and must be reviewed by the Advisory Design Panel prior to second reading.

**Development Information Meeting:**

A Development Information Meeting is required for this application. Prior to second reading, the applicant is required to host a Development Information Meeting in accordance with *Council Policy* 6.20.

**d) Interdepartmental Implications:**

In order to advance the current application, after first reading, comments and input will be sought from the various internal departments and external agencies listed below:

- a) Engineering Department;
- b) Operations Department;
- c) Fire Department;
- d) Building Department;
- e) Parks, Recreation and Culture Department;

- f) School District;
- g) Utility companies;
- h) Ministry of Transportation and Infrastructure; and
- i) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

**e) Early and Ongoing Consultation:**

In respect of Section 475 of the *Local Government Act* for consultation during an OCP amendment, it is recommended that no additional consultation is required beyond the early posting of the proposed OCP amendments on the City's website, together with an invitation to the public to comment.

**f) Development Applications:**

In order for this application to proceed the following information must be provided, as required by *Development Procedures Bylaw No. 5879-1999*, as amended:

1. An OCP Application (Schedule A);
2. A complete Rezoning Application (Schedule C);
3. A Town Centre Development Permit Application (Schedule D);
4. A Development Variance Permit (Schedule E); and
5. A Natural Features Development Permit Application (Schedule G).

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

**CONCLUSION:**

The development proposal requires an OCP amendment to re-designate the site from *Ground-Oriented Multi-Family* to *Low-Rise Apartment* and allow for six storeys. This is supported as the scale of the proposal is compatible with the area, and the City's Housing Action Plan and Housing Needs Report that identify the need for seniors housing. It is, therefore, recommended that Council grant first reading, subject to additional information being provided and assessed prior to second reading.

"Original signed by Mark McMullen" for  


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 Prepared by: **Michelle Baski, ASCT, MA**  
**Planner**

"Original signed by Charles Goddard"  


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 Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"  


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 Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development**  
**Services**

"Original signed by Scott Hartman"  

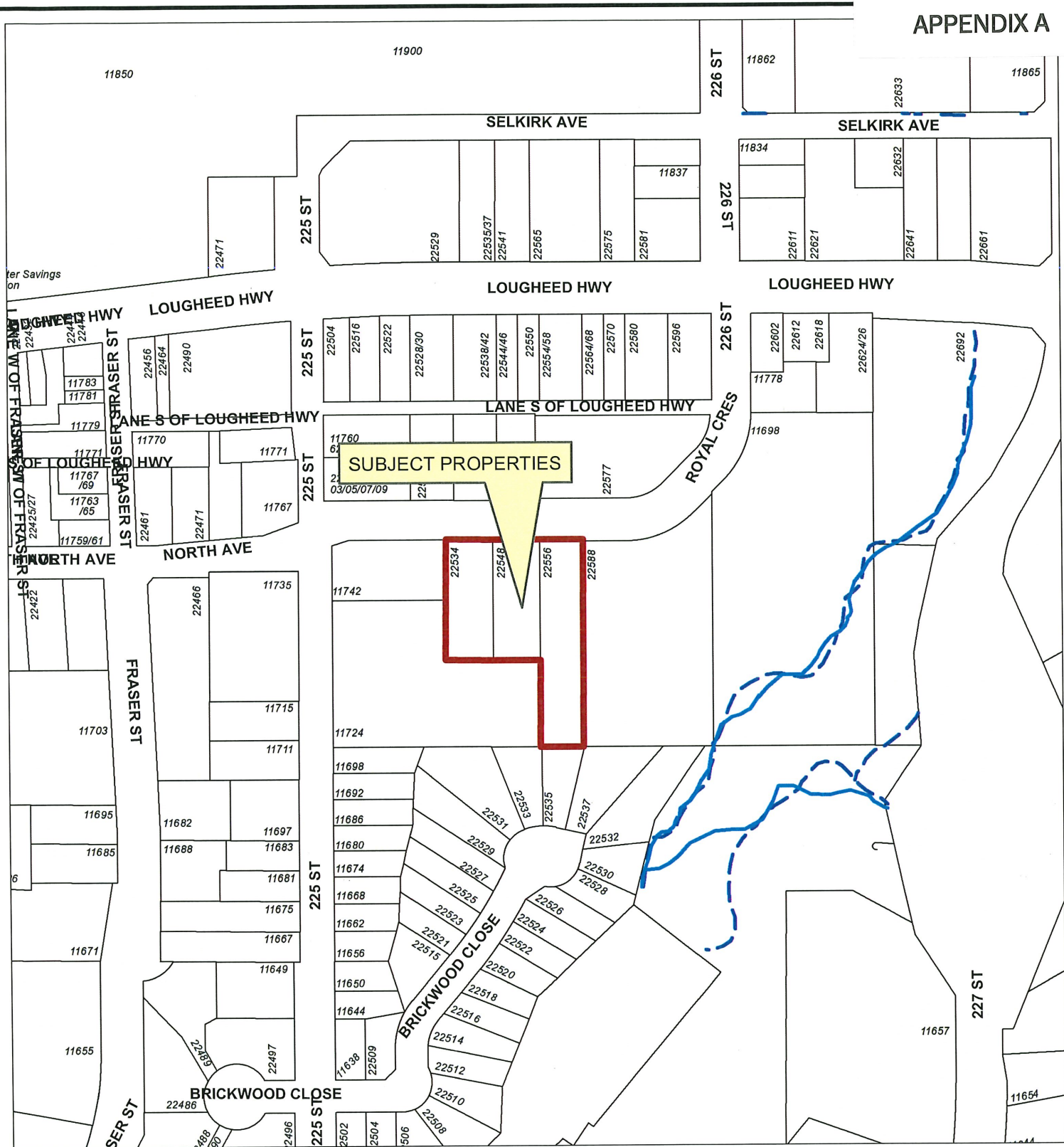

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 Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Preliminary Environmental Context Map

- Appendix D – Zone Amending Bylaw No. 7874-2022
- Appendix E – Proposed Site Plan



Scale: 1:2,500

## Legend

-  Stream  
 Ditch Centreline  
 Indefinite Creek

22534/ 48/ 56 ROYAL CRESCENT  
PID'S 011-107-880, 004-921-666  
& 009-246-924

PLANNING DEPARTMENT



## MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2022-250-RZ

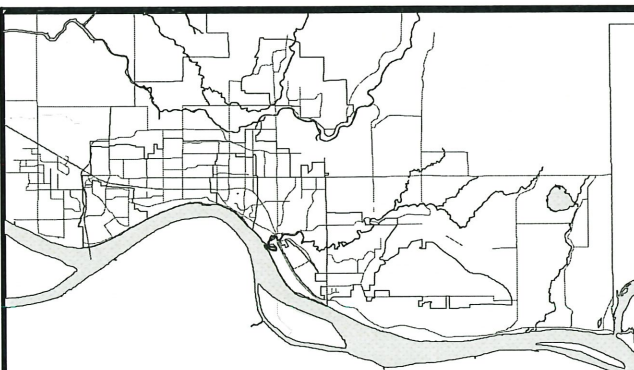
DATE: Jul 13, 2022

BY: AH





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22534/ 48/ 56 ROYAL CRESCENT  
PID'S 011-107-880, 004-921-666  
& 009-246-924

PLANNING DEPARTMENT



MAPLE RIDGE  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2022-250-RZ  
DATE: Jul 13, 2022

BY: AH





# Site Context Map for Royal Cresc and 225 St. Area

ENGINEERING DEPARTMENT

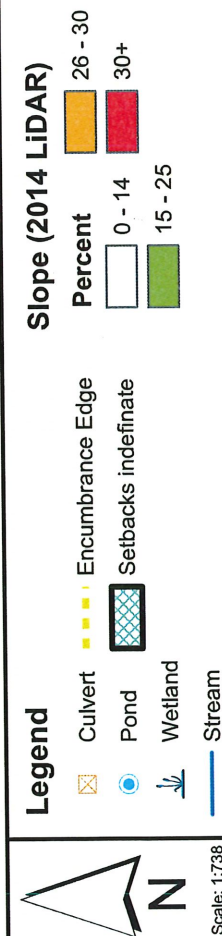


**mapleridge.ca**

FILE: Rods Subject Map3

FILE: Rods Subject M  
DATE: May 26, 2022

BY: RS



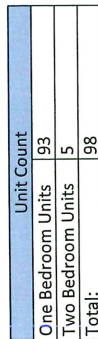
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CORPORATE OFFICER







This proposal is for a six-story, Approximate 72,000 square foot building with 98 units for BC housing seniors. The property size is 47,345.34 Sqf, and the FSR proposed around 1.5 with a 30 percent stalls per unit requirement. Seeking for relaxation on east side set back from 7.5 meter on RM-2 zoning to 4 meter.

Site Area:	47,345.34 ft <sup>2</sup>	4,398.53 m <sup>2</sup>
Ground Floor Area:	11,575.91 ft <sup>2</sup>	1,075.44 m <sup>2</sup>
2nd Floor Area:	11,509.86 ft <sup>2</sup>	1,069.30 m <sup>2</sup>
3rd Floor Area:	11,509.86 ft <sup>2</sup>	1,069.30 m <sup>2</sup>
4th Floor Area:	11,509.86 ft <sup>2</sup>	1,069.30 m <sup>2</sup>
5th Floor Area:	11,509.86 ft <sup>2</sup>	1,069.30 m <sup>2</sup>
6th Floor Area:	11,509.86 ft <sup>2</sup>	1,069.30 m <sup>2</sup>
Total Gross Area:	69,125.21 ft <sup>2</sup>	6,421.94 m <sup>2</sup>
Amenity & Office:	1,449.87 ft <sup>2</sup>	134.70 m <sup>2</sup>
Total Residential:	57,659.42 ft <sup>2</sup>	5,356.74 m <sup>2</sup>
Efficiency:	83.41%	FSR : 1.46



**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
Official Community Plan Amending Bylaw No. 7878-2022  
Zone Amending Bylaw No. 7879-2022  
22238, 22242, 22246, and 22286 Selkirk Avenue;  
22245, 22251, and 22289 Lougheed Highway;  
PID 011-208-775, PID 011-208-848, and PID 011-208-856

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2019-138-RZ  
**MEETING:** C o W

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**EXECUTIVE SUMMARY:**

An application has been received to rezone the ten subject properties, located at 22238, 22242, 22246, and 22286 Selkirk Avenue; 22245, 22251, and 22289 Lougheed Highway; and PID's 011-208-775, 011-208-848, and 011-208-856, from C-3 (Town Centre Commercial) and CS-1 (Service Commercial) to CD-2-22 (Comprehensive Development) to permit the future construction of two apartment buildings. Both buildings will be six-storeys tall with a total of approximately 3,201m<sup>2</sup> of ground floor commercial space and 255 apartment units above. The applicant is proposing to develop the two buildings in two different phases, each with two and a half levels of enclosed parking.

Council granted first reading to *Zone Amending Bylaw No. 7561-2019* and considered the early consultation requirements for the Official Community Plan (OCP) amendment on October 15, 2019. This application requires an amendment to the Official Community Plan to re-designate the land use from *Town Centre Commercial* and *Flexible Mixed-Use* to *Town Centre Commercial*.

In 2019, *Zone Amending Bylaw No. 7561-2019* was brought forward for first reading under the former *Zoning Bylaw No. 3510-1985*; therefore, *Zone Amending Bylaw No. 7879-2022* is now being introduced to rezone the site under the current *Zoning Bylaw No. 7600-2019*, rather than the old *Zoning Bylaw*. This means that first reading of *Zone Amending Bylaw No. 7561-2019* will need to be rescinded before first and second reading can be granted to *Zone Amending Bylaw No. 7879-2022*.

Pursuant to *Council Policy 6.31*, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$4,300 per apartment dwelling unit; for an estimated amount of \$1,096,500 or such rate applicable at third reading of this application.

The cash contribution total for the additional bonus density, from 2.5 to 2.674 FSR (2,464 m<sup>2</sup>), would be approximately \$397,837.44 based on rate of \$161.46 per square metre (\$15.00 per square foot) for the additional bonus density being sought in accordance with the proposed CD-2-22 zone. To proceed further with this application additional information is required as outlined below.

## RECOMMENDATIONS:

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7878-2022* on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7878-2022* be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
3. That it be confirmed that *Official Community Plan Amending Bylaw No. 7878-2022* is consistent with the Capital Expenditure Plan and Waste Management Plan;
4. That *Official Community Plan Amending Bylaw No. 7878-2022* be given first and second reading and be forwarded to Public Hearing;
5. That first reading of *Zone Amending Bylaw No. 7561-2019* be rescinded;
6. That *Zone Amending Bylaw No. 7879-2022* be given first and second reading and be forwarded to Public Hearing; and further
7. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Approval from the Ministry of Transportation and Infrastructure;
  - iii) Amendment to Official Community Plan Schedule "A", Chapter 10.4 Town Centre Area Plan, Schedule 1 – Town Centre Area Land-Use Designation Map;
  - iv) Road dedication on 223 Street, Selkirk Avenue and the lane as required;
  - v) Road Closure Bylaw for the portion of the lane to be closed, adopted by Council, and sold to the developer under an agreement and executed to the satisfaction of the City's Realty, Engineering and Planning Departments;
  - vi) Consolidation of the subject properties;
  - vii) Removal of existing buildings;
  - viii) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
  - ix) Registration of a Restrictive Covenant for Stormwater Management;
  - x) Registration of a Restrictive Covenant for phasing and servicing to the satisfaction of the City's Engineering and Planning Departments;

- xi) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;
- xii) That a voluntary contribution, in the amount of \$1,096,500.00 (\$4,300.00/unit), or such rate applicable at third reading of this application, be provided in keeping with the *Council Policy 6.31* with regard to Community Amenity Contributions; and
- xiii) That a voluntary contribution, in the amount of \$397,837.44 based on rate of \$161.46 per square metre (\$15.00 per square foot) for the additional bonus density being sought in accordance with the proposed CD-2-22 zone in *Zoning Bylaw No. 7600-2019*.

## DISCUSSION:

### 1. Background Context:

Applicant:	Bissky Architecture and Urban Design Ltd.
Legal Description:	Lots 17, 18, 19, 20, 21, 29, 30, 31, and 32 District Lot 398 Group 1 New Westminster District Plan 6808; and Lot 61 District Lot 398 Group 1 New Westminster District Plan 25783
OCP:	
Existing:	Town Centre Commercial and Flexible Mixed-Use
Proposed:	Town Centre Commercial
Within Urban Area Boundary:	Yes
Area Plan:	Town Centre Area Plan
OCP Major Corridor:	Yes
Zoning:	
Existing:	C-3 (Town Centre Commercial) and CS-1 (Service Commercial)
Proposed:	CD-2-22 (Comprehensive Development)
Surrounding Uses:	
North:	Use: Office and Residential Zone: RM-3 (High Density Apartment Residential) Designation: <i>Low-Rise Apartment</i>
South:	Use: Gas Station and Restaurant Zone: CD-2-85 (Town Centre Commercial (Comp. Development)), CS-2 (Service Station Commercial), and C-3 (Town Centre Commercial) Designation: <i>Town Centre Commercial</i>
East:	Use: Office and Residential Zone: C-3 (Town Centre Commercial) Designation: <i>Town Centre Commercial and Flexible Mixed-Use</i>

West:	Use:	Office and Commercial
	Zone:	C-3 (Town Centre Commercial)
	Designation:	<i>Town Centre Commercial and Flexible Mixed-Use</i>

Existing Use of Property:	Vacant, Parking Lots and Commercial
Proposed Use of Property:	Mixed-Use Building
Site Area:	0.68 ha (1.68 acres)
Access:	Rear Lane
Servicing:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes

## 2. Background:

The ten subject properties are located on either side of an existing east-west lane, bounded by 223 Street to the east, Selkirk Avenue to the north, Lougheed Highway to the south, and Commercial buildings to the west. The majority of the subject parcels are currently vacant, with two parcels being utilized as a used car dealership with an office building and car lot, and one parcel currently as a leather shop. The subject properties are flat with minimal tree canopy (see Appendix A and B).

## 3. Project Description:

The comprehensive re-development of the ten subject properties will include a total of two mixed-use buildings with a total of six-storeys each, 255 residential units and approximately 3,201m<sup>2</sup> (34,455 ft<sup>2</sup>) of commercial floor space proposed. The development plan includes two levels of underground parking and smaller upper level of enclosed parking, which will be completely encompassed by commercial space on the ground floor of the building. Vehicle access is proposed to come off the lane on the western portion of the building. As part of the proposal, the existing east-west lane that runs through the site will be reconfigured to run north-south and now border the site on the west side. This will ensure that neighbourhood connectivity is maintained, while also accommodating access for the proposed building off the lane. The applicant is proposing to develop the site over two different phases.

### Summary of Development Phases One and Two

	Phase One	Phase Two
<b>Commercial Area</b>	1,884m <sup>2</sup>	1,317m <sup>2</sup>
<b>Number of Units</b>	150	105
<b>Number of Parking Stalls</b>	238	191
<b>Outdoor Amenity Area</b>	880m <sup>2</sup>	400m <sup>2</sup>

Both the Town Centre Area Plan guiding principles and design guidelines speak to new developments that create a pedestrian-friendly design and enhanced public spaces that ensure an attractive, distinctive and vibrant centre. The building will enhance the existing public realm, to include street furniture and landscaping along three street frontages. Pedestrian access corridors will be located along the perimeter of the buildings to allow movement from the street front, to the large internal amenity area located at the centre of the development.

The existing lane separating the subject properties is currently owned by the City; however, the developer is proposing to purchase the lane to be included as part of the development prior to final reading. This purchase will need to be endorsed by Council and a road closure bylaw will need to be approved prior to final reading. City Council will be consulted on the appraisal of the City-owned lane and will be required to authorize the sale.

#### 4. Planning Analysis:

##### i) Official Community Plan:

The development site is located within the Downtown West Precinct of the Town Centre Area Plan and is currently designated *Flexible Mixed-Use* and *Town Centre Commercial*. For the proposed development an OCP amendment will be required to re-designate the northerly portion of the site from *Flexible Mixed-Use* to *Town Centre Commercial* to accommodate the proposed development (see Appendix C). The OCP identifies this precinct as an important neighbourhood that could 'grow to accommodate boutique retail, arts and culture centres, and tourism related services such as hotels and small scale conference centres, in addition to multi-family residential development.' The OCP also identifies that this precinct is an important gateway for travelers heading east along Lougheed Highway.

The following Town Centre policy applies as it relates to underground parking:

- 3-15 *Concealed parking structures are encouraging in all commercial commercial, mixed-use, multi-family uses, and institutional uses in the Town Centre. Below grade parking structures are particularly encouraged for Low-Rise, Medium, and High-Rise Apartment, Mixed-Use, Flexible Mixed-Use/Live-Work, Commercial, and Institutional buildings. Above grade concealed parking is a viable option where building height (six or more storeys) coupled with challenging site conditions make it cost prohibitive to provide all required parking spaces in an underground structure.*

The proposed buildings are six storeys and feature two levels of underground parking, along with one level above grade parking. All of the above grade parking is wrapped in street front commercial space that enhances the pedestrian realm.

The *Town Centre Commercial* designation is intended to create a compact and vibrant commercial area that is pedestrian-oriented. Permitted uses include commercial, mixed-use, and multi-family residential. The proposed development aligns well with the following policies of the Town Centre Commercial designation:

- 3-29 *Building heights within Town Centre Commercial will range from three (3) storeys in height to over twenty (20) storeys. Generally, building heights should not be permitted greater than twenty-five (25) storeys.*

At six storeys, the proposed building heights comply with the three storey minimum height in the *Town Centre Commercial* designation.

- 3-31 *Within a Mixed-Use development, retail, service, and entertainment uses shall be encouraged at ground level with office and/or residential uses encouraged above-grade.*

Ground floor commercial is included along all three street frontages at Lougheed Highway, 223 Street and Selkirk Avenue. These frontages will include future retail and other services, while the residential component is located above grade.

ii) **Zoning Bylaw:**

Included in this application, is a proposal to rezone the subject properties from C-3 (Town Centre Commercial) and CS-1 (Service Commercial) to CD-2-22 (Comprehensive Development) (see Appendix E) to permit a mixed use development, consisting of ground-floor commercial and residential units above in a two phased development (see Appendices E, F & G).

Due to the unique design, number of properties involved, location within the Town Centre and with the proposed density exceeding the maximum FSR permitted in the C-3 (Town Centre Commercial) zone, a comprehensive development zone, CD-2-22, is being utilized (see Appendix D). The proposed CD-2-22 Zone is based on the C-3 (Town Centre Commercial) Zone and will permit the additional residential density that this proposal includes. The proposed zone will also require that the ground floor of the building contain commercial space on all street fronts, however, it will also allow the interior of the ground floor of the building to contain parking. The proposed CD-2-22 zone includes the same uses found in the C-3 Zone, except for funeral services, refund container recycling depots and tourist accommodation. A comparison of the density, lot coverage, setbacks, building height, parking and permitted uses in the proposed CD-2-22 zone to the C-3 Zone are provided in the following table:

<b>Zone</b>	<b>C-3 Zone</b>	<b>Proposed CD-2-22 Zone</b>
<b>Residential FSR</b>	<b>1.8 up to 2.5 with density bonus</b>	<b>1.8 up to 2.75 with density bonus</b>
<b>Lot Coverage</b>	N/A	N/A
<b>Setbacks</b>	Front – 0.0 metres Rear – 6.0 metres Interior Side North – 0.0 metres Interior Side South – 0.0 metres	Front – 0.0 metres Rear – 0.0 metres Interior Side North – 0.0 metres Interior Side South – 0.0 metres
<b>Height</b>	11 metres minimum	11 metres minimum
<b>Principal Permitted Uses</b>	Apartment Residential, Assembly, Business Services, Cannabis Retail, Civic, Convenience Store, Financial Services, Funeral Services, Indoor Commercial Recreation, Licensed Retail Store, Light Industrial (limited to Microbrewery), Liquor Primary Establishment, Media Production Studio, Personal Repair Services, Personal Services, Place of Worship, Private Hospital, Professional Services, Public Market, Refund Container Recycling Depot, Restaurant, Retail (excluding Highway Retail) and Tourist Accommodation.	Apartment Residential, Assembly, Business Services, Cannabis Retail, Civic, Convenience Store, Financial Services, Indoor Commercial Recreation, Licensed Retail Store, Light Industrial (limited to Microbrewery), Liquor Primary Establishment, Media Production Studio, Personal Repair Services, Personal Services, Place of Worship, Private Hospital, Professional Services, Public Market, Restaurant and Retail (excluding Highway Retail).
<b>Parking</b>	As per Section 10.0 of the <i>Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990</i>	As per Section 10.0 of the <i>Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990</i>

The subject property is identified on Schedule “G” of the Zoning Bylaw, which indicates there is a requirement for ground-floor commercial at this location.



The applicant is proposing an increase in base density from 1.8 floor space ratio (FSR) to 2.674 FSR, which can be achieved through cash contribution rate based on the C-3 zone, at \$161.46 per m<sup>2</sup> (\$15.00 per ft<sup>2</sup>). The cash contribution, which equates to 2,464.0 m<sup>2</sup> (26,522.3 ft<sup>2</sup>) of added floor area, would be approximately \$397,837.44. This proposed Amenity Contribution also aligns with Official Community Plan Policy 2-9 in the OCP, as follows:

- 2-9 *Community Amenity Contribution and density bonuses may also be considered at Council's discretion for all Official Community Plan and Zoning Bylaw amending applications that are seeking a higher density than is envisioned in Schedule "A" and/or Schedule "B", to help provide a variety of amenities and facilities throughout the municipality.*

Any variations from the requirements of the proposed zone will require a Development Variance Permit application and will be subject of a future report to Council.

iii) **Housing Action Plan:**

City's Housing Action Plan (HAP) was endorsed by Council in 2014. It seeks to increase access to "safe, affordable, and appropriate housing that meets the diverse and changing needs of the community". The HAP also speaks of the need to provide a range of affordable, rental and special needs housing. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September, 2015. As per Section 402.10 of the *Maple Ridge Zoning Bylaw No. 7600-2019*, the Density Bonus for the Town Centre Area provides a cash contribution to an Affordable Housing Density Bonus Reserve Fund to fund affordable housing projects. The \$397,837.44 density bonus contribution from this project will be directed towards the aforementioned fund.

The subject application does provide a mix of unit sizes to help in achieving housing diversity. This includes the following breakdown:

- 36 studio suites (14.1%)
- 44 one bedroom suites (17.25%);
- 135 two bedroom suites (52.94%); and
- 40 three bedroom suites (15.68%).

iv) **Off-Street Parking and Loading Bylaw:**

The proposed CD-2-22 Zone will have the same parking requirements as other mixed-use zones, such as the C-3 (Town Centre Commercial). The CD-2-22 Zone will require the following as per Section 10.0 of the *Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1190*:

Residential Component:

- Bachelor = 0.9 spaces/unit
- 1 bedroom = 1 space/unit
- Each additional bedroom = 0.1/unit

Visitor Component:

- 0.10 space/unit – where on-street supply available.

## Commercial Component

- 1 per 100 m<sup>2</sup> GFA (gross floor area) - Small Retail Units (under 300 m<sup>2</sup>)
- 3 per 100m<sup>2</sup> GFA - Large Retail Units (over 300 m<sup>2</sup>)
- 2 per 100m<sup>2</sup> GFA - Office

The following parking is being provided:

- The *Off-Street Parking and Loading Bylaw* requires 388 spaces; however, a total of 429 parking spaces are being provided, which represents an additional 41 spaces over what the Bylaw requires;
- 73 of the parking spaces are enclosed above-ground, while 356 are located in two levels of underground parking;
- 26 of the parking spaces are visitor spaces, while the remaining 330 parking spaces are for the residents of both buildings and all are located on the two levels of underground parking;
- All 73 spaces located above-ground are for the commercial units on the ground floor;
- Five of the spaces underground are in a tandem configuration;
- Seven of the above spaces are to be designed as accessible parking spaces. This has been provided in accordance with the Bylaw;
- A total of 91 of the required parking spaces are designed to be small car spaces, which exceeds the 10% restriction in the Bylaw and will require a variance; and
- 91 long-term and 70 short-term bicycle spaces are provided, which meets the minimum requirements of the Bylaw.

The project will also comply with the electric vehicle charging requirements by having roughed-in infrastructure capable of providing Level 2 charging outlets for each residential parking space, and one Level 2 outlet each for every two of the visitor parking spaces (i.e. at least 50%).

### v) Proposed Variances:

A Development Variance Permit application has been received for this project and involves the following relaxations:

1. To permit up to 22% of all parking spaces to be small car spaces.

Increasing the number of smaller car spaces in this development is supportable due to the urban nature of the proposed building and the additional parking provided above the minimum required. The requested variance will be the subject of a future Council report and represents an increase in 48 small car spaces from the 10% permitted in the Bylaw.

### vi) Development Permits:

Pursuant to Section 8.11 of the OCP, a Town Centre Development Permit application is required for all multi-family residential, flexible mixed-use and commercial development located in the Town Centre. This proposal is subject to the following Key Guideline concepts of the Downtown West Precinct:

1. *Provide a gateway to the Town Centre.*
2. *Create a pedestrian-oriented, boutique-style shopping district.*
3. *Enhance the quality, character and vibrancy of the Town Centre.*
4. *Reference traditional architectural styles.*
5. *Capitalize on important views.*
6. *Provide public outdoor space.*
7. *Provide climate appropriate landscaping and green features.*
8. *Maintain street interconnectivity.*

Accordingly, prior to final zoning approval, the Development Permit must be reviewed and approved. An application for the Development Permit has been received. Adherence of this project to the guidelines will be the subject of a future report to Council and a security will be taken as a condition of the issuance of the Development Permit to ensure that the Development Permit Area guidelines are met.

**vii) Advisory Design Panel:**

The application was reviewed by the Advisory Design Panel at the July 20, 2022 meeting and their comments and the applicant's responses can be seen in Appendix H.

A detailed description of the projects form and character will be included in a future Development Permit report to Council.

**viii) Development Information Meeting:**

In lieu of a Development Information meeting, an interim process was established to allow for a ten day Public Comment Opportunity. The notification requirements were the same as for the Development Information Meeting and included a mail-out, newspaper advertisements, and notice on the development signs that provided the contact information for the developer and the Public Comment Opportunity.

The Public Comment Opportunity period ran between July 18 to July 27, 2022. The applicant received a total of three responses. A summary of the main comments and discussions with the attendees at the Public Comment Opportunity was provided by the applicant and is attached to this report as seen in Appendix I.

**5. Traffic Impact:**

As the subject properties are located within 800 metres of the Lougheed Highway, a referral has been sent to the Ministry of Transportation and Infrastructure.

Ministry approval of the Zone Amending Bylaw will be required as a condition of final reading. At this time, the Ministry has granted preliminary approval of the development application.

**6. Interdepartmental Implications:**

**i) Engineering Department:**

The Engineering Department has indicated that the following servicing upgrades will be required through the Rezoning Servicing Agreement:

- Road dedication as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- Utility servicing as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- Frontage upgrades to the applicable road standard.

## 7. School District No. 42 Comments:

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 and the response is attached to this report as Appendix J.

## 8. Intergovernmental Issues:

### i) Local Government Act:

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, OCP Amending Bylaw No. 7878-2022, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

## CONCLUSION:

It is recommended that first and second reading be given to *Official Community Plan Amending Bylaw No. 7878-2022*, that first reading of *Zone Amending Bylaw No. 7561-2019* be rescinded, that *Zone Amending Bylaw No. 7879-2022* be given first and second reading, and that application 2019-138-RZ be forwarded to Public Hearing.

“Original signed by Rene Tardif”

Prepared by: **Rene Tardif**  
**Planner 1**

“Original signed by Charles Goddard”

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development**  
**Services**

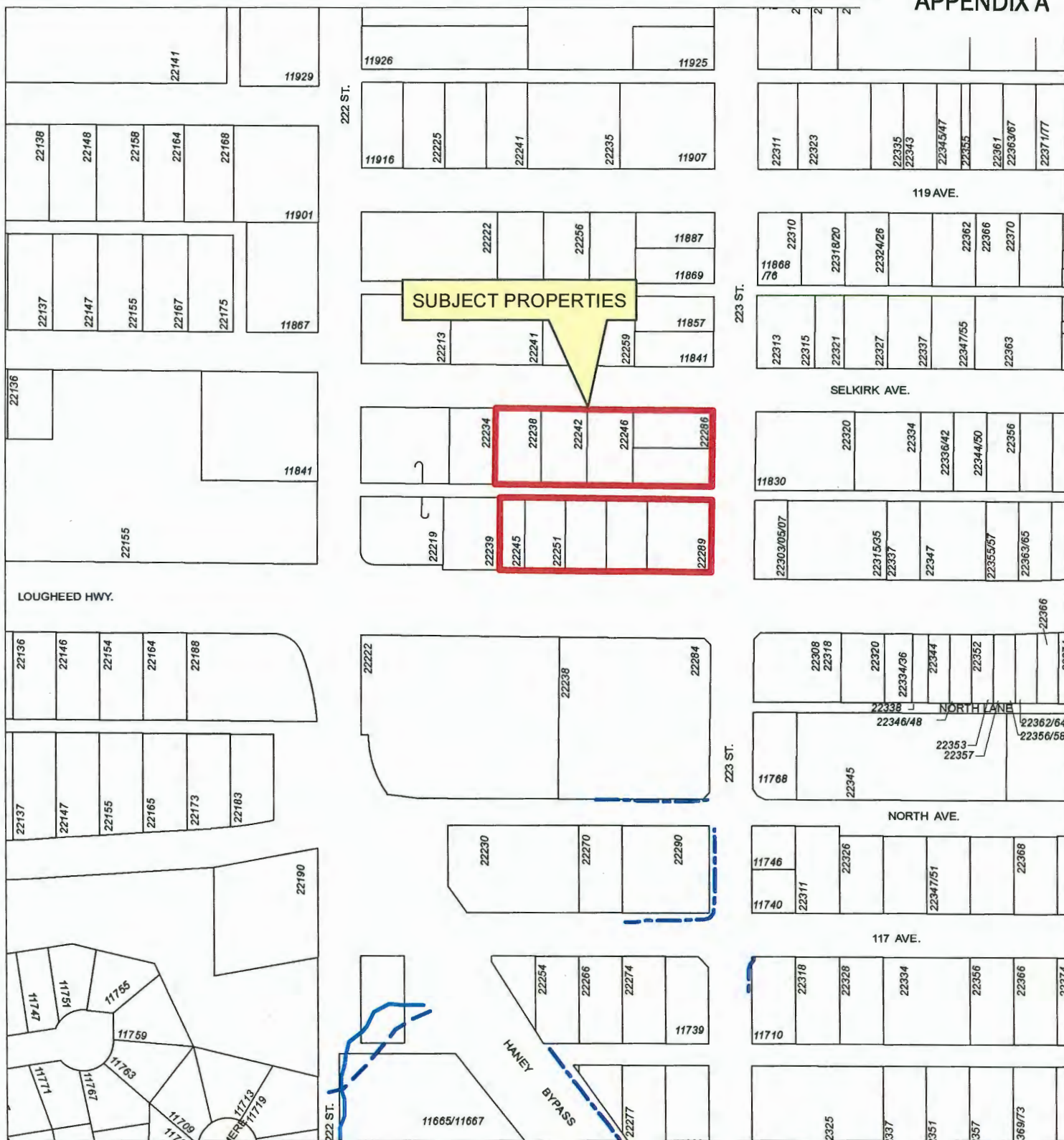
“Original signed by Scott Hartman”

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – Official Community Plan Amending Bylaw No. 7878-2022  
Appendix D – Zone Amending Bylaw No. 7879-2022  
Appendix E – Zone Amending Bylaw No. 7561-2019  
Appendix F – Site Plan  
Appendix G – Architectural and Landscape Plan  
Appendix H – ADP Design Comments  
Appendix I – PCO Summary Report  
Appendix J – SD 42 Referral Comments





Scale: 1:2,500

### Legend

- Stream
- - - Ditch Centreline
- - - Indefinite Creek

22238,42,46 Selkirk Ave  
22245,51,89 Lougheed Hwy  
Lot 18,30,31 NWP 6808

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

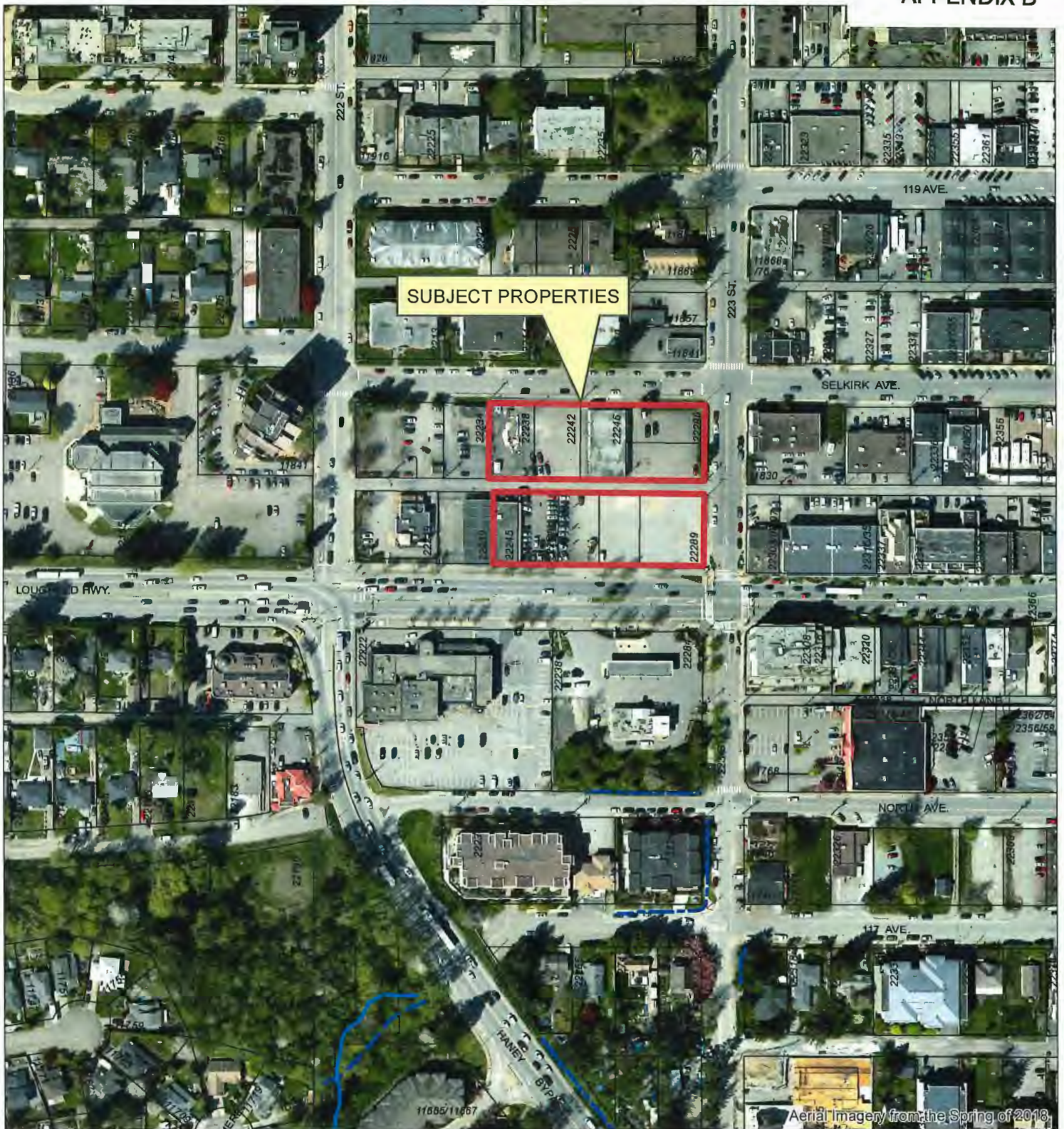
[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-138-RZ

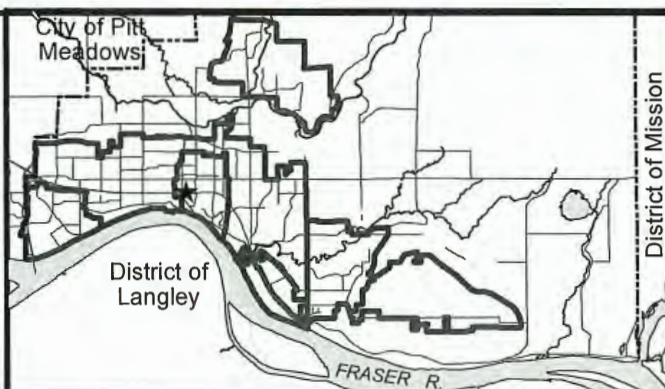
DATE: Apr 24, 2019

BY: LP





Scale: 1:2,500



22238,42,46 Selkirk Ave  
 22245,51,89 Lougheed Hwy  
 Lot 18,30,31 NWP 6808

PLANNING DEPARTMENT



MAPLE RIDGE  
 British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-138-RZ  
 DATE: Apr 24, 2019

BY: LP



CORPORATE OFFICER





**CITY OF MAPLE RIDGE  
BYLAW NO. 7879-2022**

A Bylaw to amend the text and Schedule “A” Zoning Bylaw Map  
of Zoning Bylaw No. 7600-2019 as amended

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as “Maple Ridge Zone Amending Bylaw No. 7879-2022”.

2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended by inserting the following CD Zone immediately following the last section in Part 10 and numbering it in sequential order accordingly:

10XX      **Zone CD-2-22 MEDIUM DENSITY MIXED USE COMMERCIAL AND MARKET APARTMENT RESIDENTIAL**

10XX.1    **PURPOSE**

1. This zone provides for a Medium Density Mixed Use Commercial and Market Rental Apartment Residential use with a maximum Building Height of six (6) Storeys.

10XX.2    **PRINCIPAL USES**

1. The following Principal Uses *shall* be permitted in this Zone:
  - a. Apartment Residential, within the Town Centre Area, as identified on Schedule “C” (Town Centre Area Plan) of this Bylaw;
  - b. Assembly;
  - c. Business Services;
  - d. Cannabis Retail;
  - e. Civic;
  - f. Convenience Store;
  - g. Financial Services;
  - h. Indoor Commercial Recreation;
  - i. Licensee Retail Store;
  - j. Light Industrial, limited to Microbrewery, Microwinery and Microdistillery;
  - k. Liquor Primary Establishment;
  - l. Media Production Studio;
  - m. Off-Street Parking;
  - n. Personal Repair Services;
  - o. Personal Services;
  - p. Place of Worship;
  - q. Private Hospital;
  - r. Professional Services;
  - s. Public Market;

- t. Restaurant; and
- u. Retail, excluding Highway Commercial.

#### 10XX.3 ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:
  - a. Apartment Residential;
  - b. Home Occupation.
  - c. one or two Dwelling Units; and
  - d. Outdoor Display or sales area.
2. Refer to Section 402 of this Bylaw for additional information.

#### 10XX.4 LOT AREA AND DIMENSIONS

1. Minimum Lot Area and dimensions shall be not less than:
  - a. in Lot Area 1,672.00 square metres
  - b. in Lot Width 36.0 metres
  - c. in Lot Depth 27.0 metres.
2. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum Building Envelope dimensions.

#### 10XX.5 DENSITY

1. The Residential Floor Space Ratio shall not exceed a base Density of 1.0 times the Lot Area (Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw);
2. Additional Density may be added to the Residential Floor Space Ratio, up to a maximum of 4.0 times the Lot Area, excluding the Port Haney and Fraser River Waterfront Area as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, with the following provisions:
  - a. an amount equal to 0.25 times the Lot Area may be added for providing a minimum of 90% of the required Residential parking spaces in an Underground Structure for parking;
  - b. an additional amount equal to 0.25 times the Lot Area may be added for providing all parking spaces, excluding visitor parking spaces, in an Underground Structure for parking;
  - c. an amount equal to 0.25 times the Lot Area may be added for each Storey above the third (3) Storey, but in no case shall this amount exceed 2.0 times the Lot Area;
  - d. for Lots located within the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, or Designated as "Major Corridor Residential" in the Maple Ridge Official Community Plan Bylaw No. 7060-2014 (as identified in Chapter 3 and Figure 4 of the Maple Ridge Official Community Plan Bylaw No. 7060-2014), an amount not to exceed 0.75 times the Lot Area may be added to the Residential Floor Space Ratio for providing a cash contribution at a rate of \$161.46 per square metres (\$15.00 per square foot) as a Density Bonus. Refer to Section 402 (Density Bonus for Town Centre Area and Major Corridor Residential) of this Bylaw.
3. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

10XX.6 LOT COVERAGE

1. All Principal Buildings and Principal Structures and Accessory Buildings and Accessory Structures together shall not exceed a Lot Coverage of 90% except:
  - a. the Lot Coverage may be 100% where all the required parking is provided in accordance with Part 3 (Off-Street Parking Requirements) of the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.

10XX.7 SETBACKS

1. Minimum Setbacks for all Buildings and Structures shall be not less than:
  - a. from a Front Lot Line 0.0 metres
  - b. from a Rear Lot Line 0.0 metres
  - c. from an Exterior Side Lot Line North 0.0 metres
  - d. from an Exterior Side Lot Line South 0.0 metres.
2. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

10XX.8 HEIGHT

1. Building Height for Principal Buildings and Principal Structures shall be not less than 11.0 metres.
2. Building Height for Accessory Buildings and Accessory Structures shall not exceed 4.5 metres.
3. Refer to Section 403 (Building Height) of this Bylaw.

10XX.9 LANDSCAPING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw of this Bylaw.

10XX.10 PARKING AND LOADING

1. Off-Street Parking and Off-Street Loading shall be provided in accordance with the C-3 Zone in the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990, or as per the applicable use in any future Bylaw.
2. An Off-Street Parking Use shall be concealed within a Building or located in an Underground Structure for parking.

10XX.11 OTHER REQUIREMENTS

1. A Residential Use shall:
  - a. be the only Use in a Storey so Used;
  - b. shall be limited exclusively to the Storeys above the First Storey;
  - c. be located within a Building above all Storeys which are used for a non-Residential Principal Use;
  - d. provide a separate and independent access from the ground floor front elevation if located together in a Building or Structure with other Uses, except that on a corner Lot access may be from the ground floor exterior side elevation;



**ADOPTED** the                      day of                      , 202X.





**CITY OF MAPLE RIDGE  
BYLAW NO. 7561-2019**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7561-2019."
2. Those parcel (s) or tract (s) of land and premises known and described as:

Lot 61 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 29 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 30 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 31 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 32 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 21 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 20 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 19 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 18 District Lot 398 Group 1 New Westminster District Plan 6808  
 Lot 17 District Lot 398 Group 1 New Westminster District Plan 6808

and outlined in heavy black line on Map No. 1801 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to CD-1-19 (Comprehensive Development).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

**READ** a first time the 15<sup>th</sup> day of October, 2019.

**READ** a second time the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

**APPROVED** by the Ministry of Transportation and Infrastructure this            day of            , 20

**ADOPTED**, the            day of            , 20

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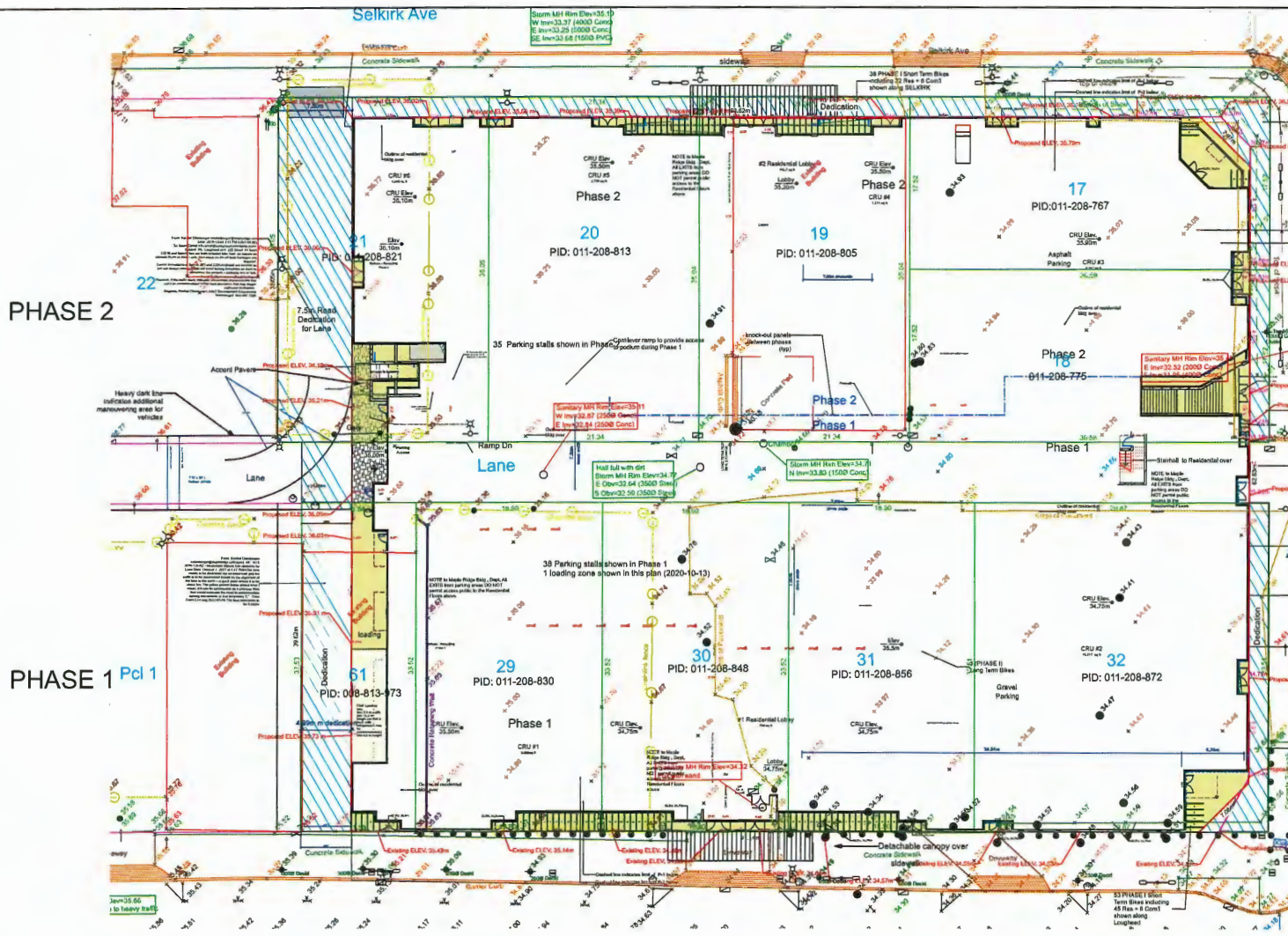
**PRESIDING MEMBER**

---

**CORPORATE OFFICER**







PROPOSED 6 STOREY  
MULTI-USE DEVELOPMENT



CNIC Address: See Zong Anywhere  
Legal Address: See Zong Anywhere

ISSUED DRAWINGS

[illegible]

**WAYNE STEPHEN BISSKY**  
ARCHITECTURE & URBAN DESIGN INC.  
PLANNING INTERIOR DESIGN

8204 222ND LANE NORTH, SUITE 100  
NAPLES, FLORIDA 34109-2714  
TEL: 813-447-4200 FAX: 813-447-4205  
E-MAIL: [bissky@wbsky.com](mailto:bissky@wbsky.com)  
WWW: [www.wbsky.com](http://www.wbsky.com)

## Drawing List

Cover Sheet	10.00
Project Information	10.01
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Section 79	11.01
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Section 97	11.19
Section 98	11.20
Section 99	11.21
Section 100	11.22
Section 101	11.23
Section 102	11.24
Section 103	11.25
Section 104	11.26
Section 105	11.27
Section 106	11.28
Section 107	11.29
Section 108	11.30
Section 109	11.31
Section 110	11.32
Section 111	11.33
Section 112	11.34
Section 113	11.35
Section 114	11.36
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Section 123	11

View to N-W Along Loughheed





Company:	22238, 22242, 1
Club Address:	22245, 22251, 1
PO:	011-206-779, 0

Ernsting Zoology

(Planted 1st  
density of 2.15)

NET SITE Area (after road dedication)	70,001 ft <sup>2</sup>
Zoning Information for C/D-1.1B (Comprehensive Development)	
Commercial Area	Proposed
Residential Units	225 units

11	Proposed Base Density	
2	Proposed Bonus Density	
1	TOTAL PROPOSED RESIDENTIAL DENSITY	
	Site: Main Floor - Commercial	Provided

Front Setback:	0.0 m
Rear Setback:	0.0 m
Exterior Side Yard Setback:	0.0 m
Interior Side Yard Setback:	0.0 m

Common Activity Areas: 1 m2 / Coasting Unit	Required: 255 m2
Usable Open Space:	20% lot area 14192.1 sq m

3 Bedroom Units	40
540 Total	235
Puja Visitors at 1 status per unit	
Total Residential Parking Required	
Commercial Parking / Loading Stalls	

Bicycle Parking:	Requirement:
Commercial Short Term	8 per 1500m <sup>2</sup>
Commercial Long Term	1 per 750m <sup>2</sup>
Residential Short Term	6 per 20 units
Residential Long Term	1 per 4 Units

Unit Name		Area per Unit		FSC (Per Area)	
A1	32.8 sqm	A1	32.8 sqm	A1	18.0 sqm
A2	35.3 sqm	A2	35.3 sqm	A2	14.2 sqm
A3	42.5 sqm	A3	42.5 sqm	A3	34.5 sqm
A4	40.0 sqm	A4	40.0 sqm	A4	61.5 sqm
A5	40.2 sqm	A5	40.2 sqm	A5	14.2 sqm
A6	40.2 sqm	A6	40.2 sqm	A6	14.2 sqm
A7	46.2 sqm	A7	46.2 sqm	A7	22.5 sqm
A8	41.0 sqm	A8	41.0 sqm	A8	26.6 sqm
A9	51.2 sqm	A9	51.2 sqm	A9	25.5 sqm
B1	61.8 sqm	B1	61.8 sqm	B1	25.5 sqm
B2	61.8 sqm	B2	61.8 sqm	B2	25.5 sqm
B3	63.1 sqm	B3	63.1 sqm	B3	31.5 sqm
B4	63.1 sqm	B4	63.1 sqm	B4	31.5 sqm
B5	64.2 sqm	B5	64.2 sqm	B5	22.5 sqm
B6	64.2 sqm	B6	64.2 sqm	B6	22.5 sqm
B7	64.2 sqm	B7	64.2 sqm	B7	22.5 sqm
B8	74.1 sqm	B8	74.1 sqm	B8	31.5 sqm
B9	74.1 sqm	B9	74.1 sqm	B9	31.5 sqm
C1	75.8 sqm	C1	75.8 sqm	C1	22.2 sqm
C2	75.8 sqm	C2	75.8 sqm	C2	22.2 sqm
C3	75.8 sqm	C3	75.8 sqm	C3	22.2 sqm
C4	75.8 sqm	C4	75.8 sqm	C4	22.2 sqm
C5	75.8 sqm	C5	75.8 sqm	C5	22.2 sqm
C6	75.8 sqm	C6	75.8 sqm	C6	22.2 sqm
C7	74.1 sqm	C7	74.1 sqm	C7	31.5 sqm
C8	74.1 sqm	C8	74.1 sqm	C8	31.5 sqm
C9	75.8 sqm	C9	75.8 sqm	C9	22.2 sqm
D1	75.8 sqm	D1	75.8 sqm	D1	22.2 sqm
D2	75.8 sqm	D2	75.8 sqm	D2	22.2 sqm
D3	75.8 sqm	D3	75.8 sqm	D3	22.2 sqm
D4	75.8 sqm	D4	75.8 sqm	D4	22.2 sqm
D5	75.8 sqm	D5	75.8 sqm	D5	22.2 sqm
D6	75.8 sqm	D6	75.8 sqm	D6	22.2 sqm
D7	75.8 sqm	D7	75.8 sqm	D7	22.2 sqm
D8	75.8 sqm	D8	75.8 sqm	D8	22.2 sqm
D9	75.8 sqm	D9	75.8 sqm	D9	22.2 sqm
E1	61.8 sqm	E1	61.8 sqm	E1	46.2 sqm
E2	61.8 sqm	E2	61.8 sqm	E2	46.2 sqm
E3	61.8 sqm	E3	61.8 sqm	E3	46.2 sqm
E4	61.8 sqm	E4	61.8 sqm	E4	46.2 sqm
E5	61.8 sqm	E5	61.8 sqm	E5	46.2 sqm
E6	61.8 sqm	E6	61.8 sqm	E6	46.2 sqm
E7	61.8 sqm	E7	61.8 sqm	E7	46.2 sqm
E8	61.8 sqm	E8	61.8 sqm	E8	46.2 sqm
E9	61.8 sqm	E9	61.8 sqm	E9	46.2 sqm
F1	61.8 sqm	F1	61.8 sqm	F1	46.2 sqm
F2	61.8 sqm	F2	61.8 sqm	F2	46.2 sqm
F3	61.8 sqm	F3	61.8 sqm	F3	46.2 sqm
F4	61.8 sqm	F4	61.8 sqm	F4	46.2 sqm
F5	61.8 sqm	F5	61.8 sqm	F5	46.2 sqm
F6	61.8 sqm	F6	61.8 sqm	F6	46.2 sqm
F7	61.8 sqm	F7	61.8 sqm	F7	46.2 sqm
F8	61.8 sqm	F8	61.8 sqm	F8	46.2 sqm
F9	61.8 sqm	F9	61.8 sqm	F9	46.2 sqm
G1	91.7 sqm	G1	91.7 sqm	G1	46.5 sqm
G2	91.7 sqm	G2	91.7 sqm	G2	46.5 sqm
G3	91.7 sqm	G3	91.7 sqm	G3	46.5 sqm
G4	91.7 sqm	G4	91.7 sqm	G4	46.5 sqm
G5	91.7 sqm	G5	91.7 sqm	G5	46.5 sqm
G6	91.7 sqm	G6	91.7 sqm	G6	46.5 sqm
G7	91.7 sqm	G7	91.7 sqm	G7	46.5 sqm
G8	91.7 sqm	G8	91.7 sqm	G8	46.5 sqm
G9	91.7 sqm	G9	91.7 sqm	G9	46.5 sqm
H1	91.7 sqm	H1	91.7 sqm	H1	46.5 sqm
H2	91.7 sqm	H2	91.7 sqm	H2	46.5 sqm
H3	91.7 sqm	H3	91.7 sqm	H3	46.5 sqm
H4	91.7 sqm	H4	91.7 sqm	H4	46.5 sqm
H5	91.7 sqm	H5	91.7 sqm	H5	46.5 sqm
H6	91.7 sqm	H6	91.7 sqm	H6	46.5 sqm
H7	91.7 sqm	H7	91.7 sqm	H7	46.5 sqm
H8	91.7 sqm	H8	91.7 sqm	H8	46.5 sqm
H9	91.7 sqm	H9	91.7 sqm	H9	46.5 sqm
I1	91.7 sqm	I1	91.7 sqm	I1	46.5 sqm</

CRU Unit #	Area
CRU-1	470.5 sq m
CRU-2	1413.7 sq m
CRU-3	847.8 sq m
CRU-4	118.1 sq m
CRU-5	254.4 sq m
CRU-6	87.1 sq m
Total Commercial Area	3301.4 sq m

ADP General Resolutions

the N-E or Phase 1 Building down to the commercial level where for security to prevent access from the main floor to the residents.

2. Phase 1 courtyard appears to lack access from Building 1, it is courtyard. Perhaps further details for access to courtyard in Phase 1 from Bldg 1 from both northern ends of the corridor.

1. Suggest incorporating features into guard rails to address the "PLANTERS HAVE BEEN ADDED AT THE SIDES OF THE STAIRS BY ELECTRICAL."
2. Provide adequate soil volume for trees (10 m<sup>3</sup> of soil per tree).
3. Ensure adequate tree protection on existing trees along Lough...

8. Suggest providing alternative to checker board to improve program.

---

View from NW

View from S/E

View from N/E

View from SW

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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Average Finished Grade Calculation	
Corner	Grade
North West	36.00m
North East	36.50m
South East	34.75m
South West	35.50m
Av. Fin Grade	35.688 m

[illegible]

Site Context Key Plan  
N.T.S.

A.O.:

Civic Address: See Zoning Analysis  
Legal Address: See Zoning Analysis

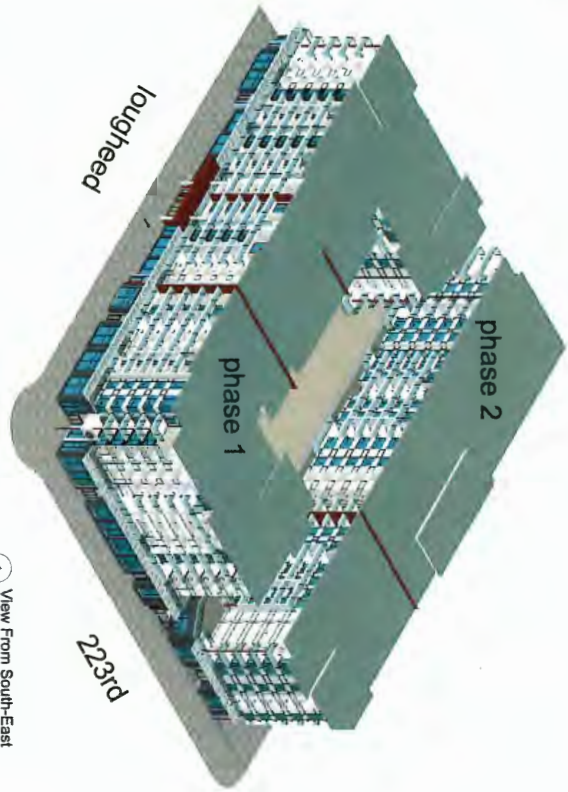
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**WAYNE STEPHEN BISSKY**  
ARCHITECTURE & URBAN DESIGN INC.  
PLANNING INTERIOR DESIGN

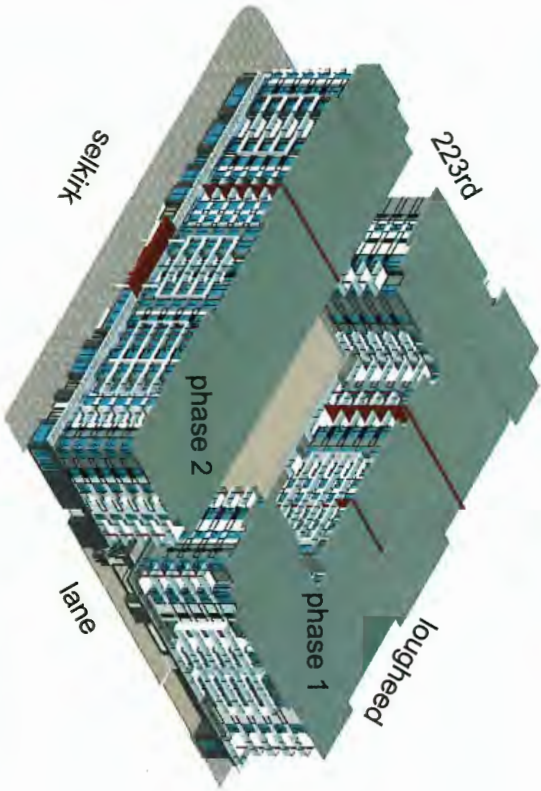
#204 ZZZZ0 Loughheed Highway,  
Maple Ridge, B.C. V2X 2T4  
ph. 604-467-8300 fax 604-487-8305  
E-mail: [bissky@telus.net](mailto:bissky@telus.net)  
Website:

Date:	September 2020
Scale	As Noted
Drawn	WB, BT
Project ID	1015

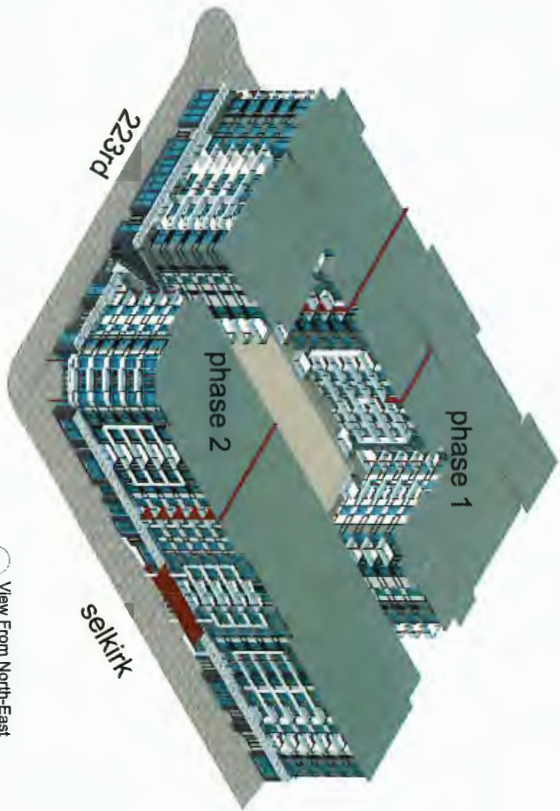




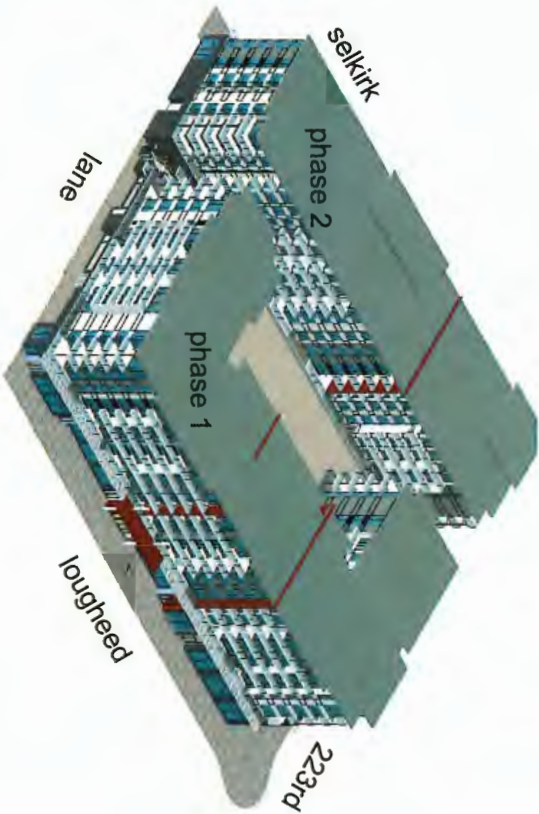
1 View From South-East



3 View From North-West



2 View From North-East



4 View From South-West

# Axonometric Views

WAYNE STEPHEN BISSKY  
ARCHITECTURE & URBAN DESIGN INC.  
PLANNING INTERIOR DESIGN

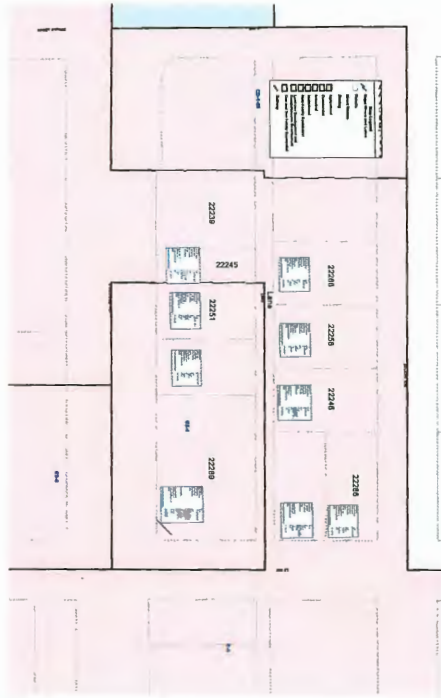
223rd Loughheed Highway  
West Ridge, B.C. V2C 2T4  
ph 604-467-8200 fax 604-467-8305  
E-mail: wsb@wsbna.net  
Website: www.wsbna.net

Drawn: AS, NB, BS  
Checked: WS, BT  
Project ID: 10315

City Address: See Zoning Analysis  
Legal Address: See Zoning Analysis  
PID #: \_\_\_\_\_

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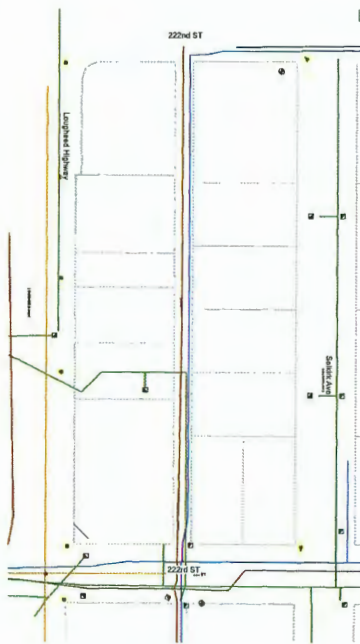
ISSUED DRAWINGS



Municipal Zoning from Ridge View  
Scale: 1"=50'



Municipal OCP from Ridge View  
Scale: 1"=50'



Municipal Services  
Scale: 1"=50'



Municipal Aerial from Ridgeview  
Scale: 1"=50'



ISSUED DRAWINGS

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City Address: See Zoning Analysis  
Legal Address: See Zoning Analysis  
PID #:

Ridge View

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PLANNING INTERIOR DESIGN

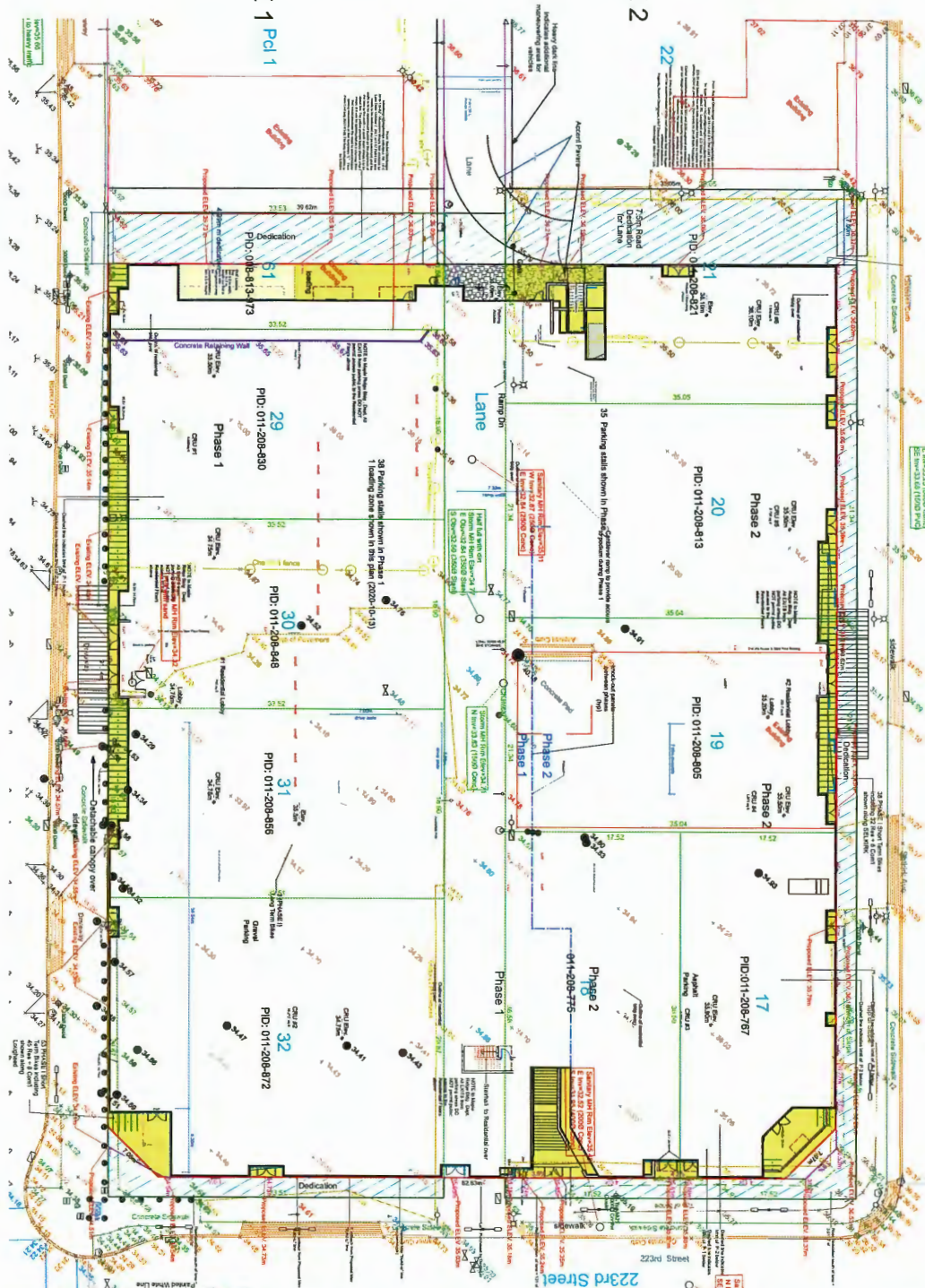
200 S. 22nd Street, Suite 200  
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Phone: 612.338.1111  
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Date: September 2020  
Scale: As Noted  
Drawn: WSB, BT  
Project ID: 1015

A0.3



## PHASE 1 Pd1



1  
Site Plan  
Scale: 1:200

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P/Yahoo

Civic Address: See Zoning Analysis  
 Legal Address: See Zoning Analysis  
 PID #

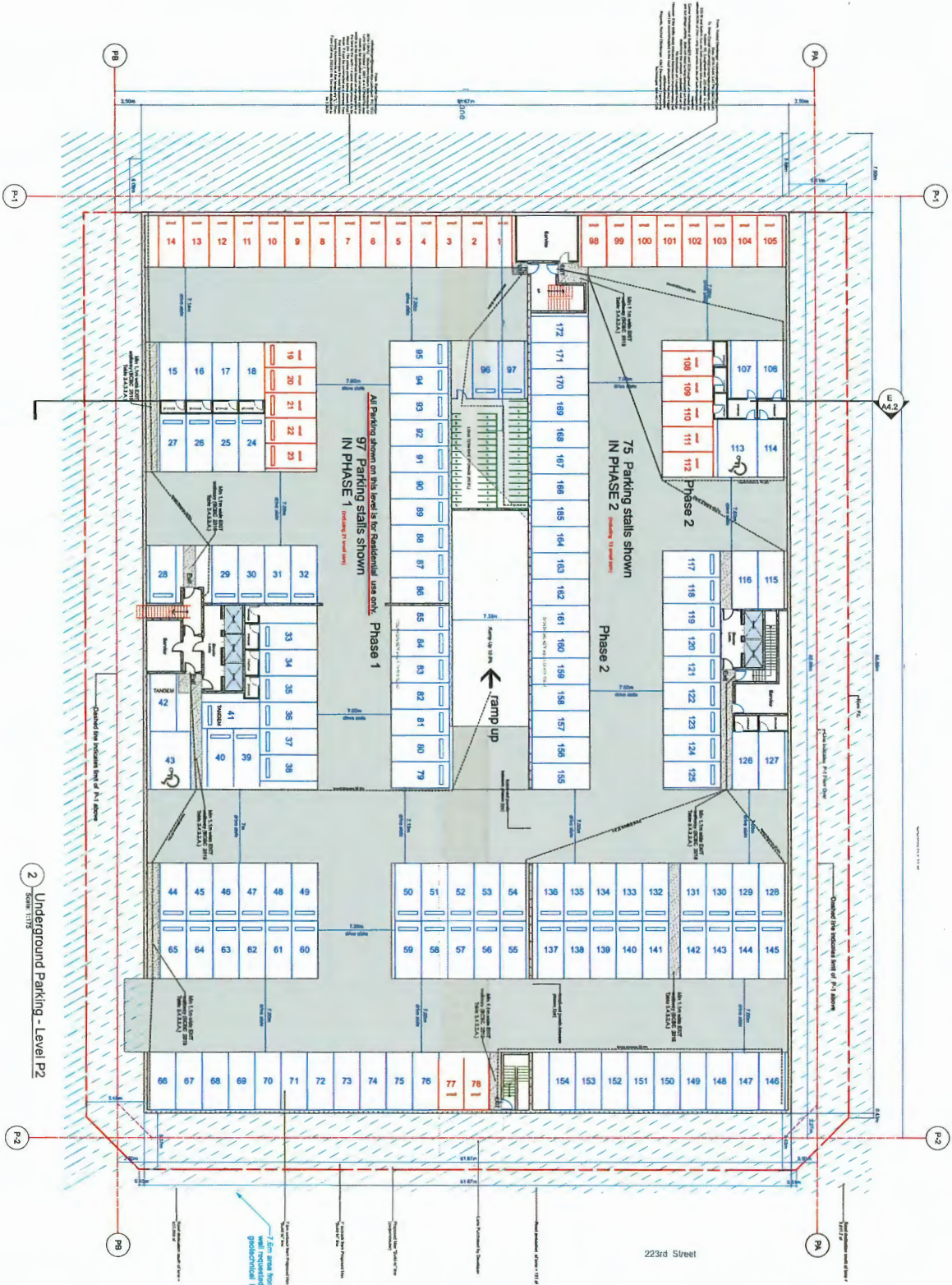
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ISSUED DRAWINGS

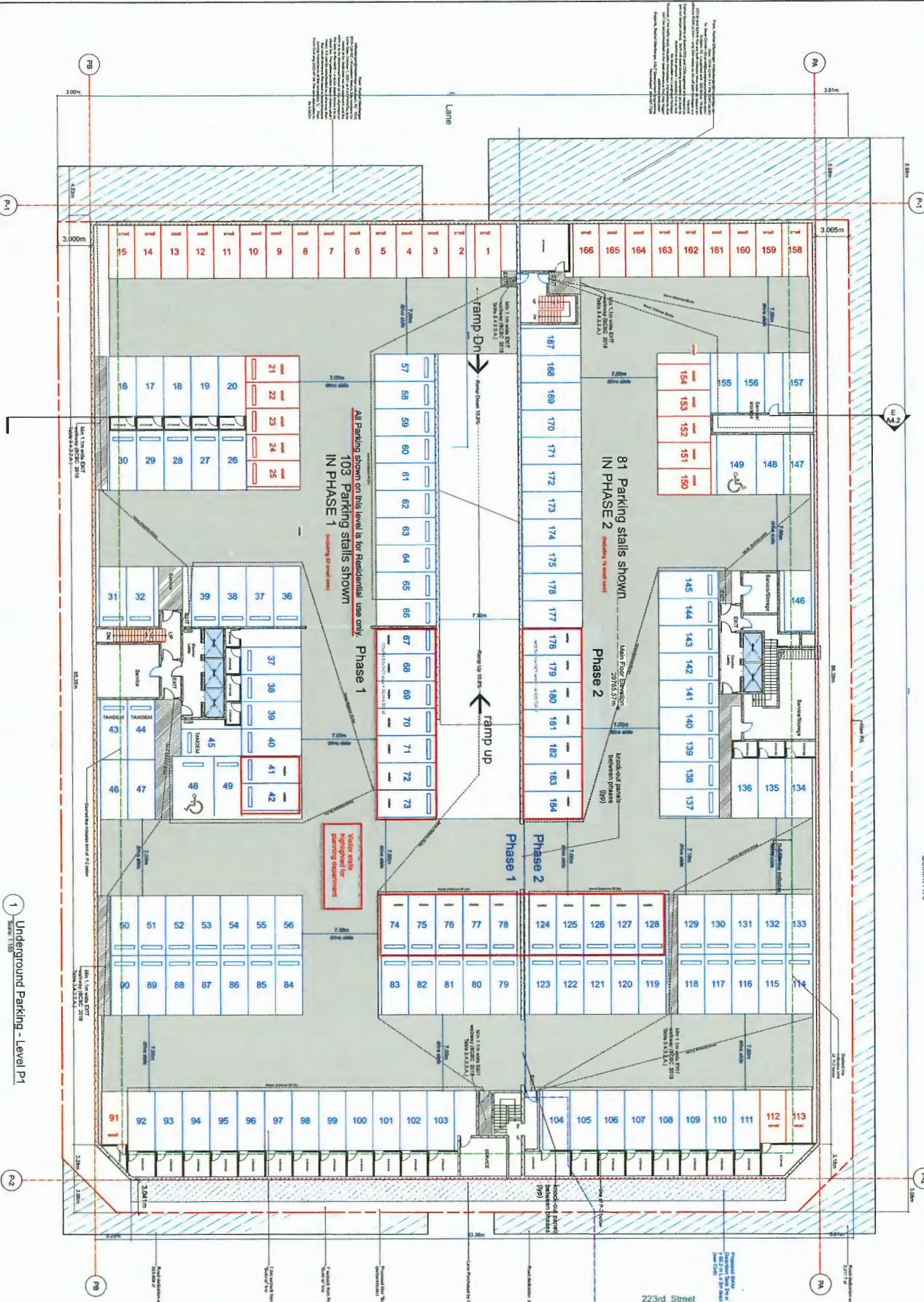












1 Underground Parking - Level P-1

Sheet A2.2

WAYNE STEPHEN BISSKY  
ARCHITECTURE & URBAN DESIGN INC.  
PLANNING INTERIOR DESIGN

2024 223rd Street  
Vancouver, B.C. V6A 2T8  
403-467-1999 / 403-467-1999  
wbs@wbsky.com

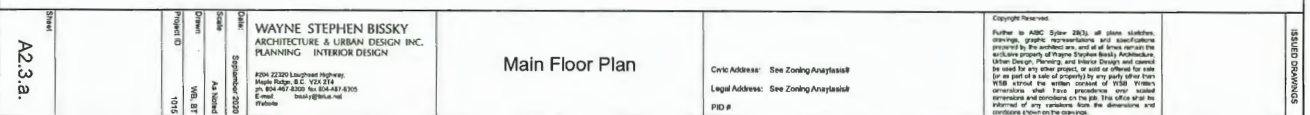
Project: 223rd Street  
Date: 2024-03-20  
Scale: 1/8" = 1'-0"

P-1 U/G Parking

Civic Address: See Zoning Analysis  
Legal Address: See Zoning Analysis  
PID #: 0000000000

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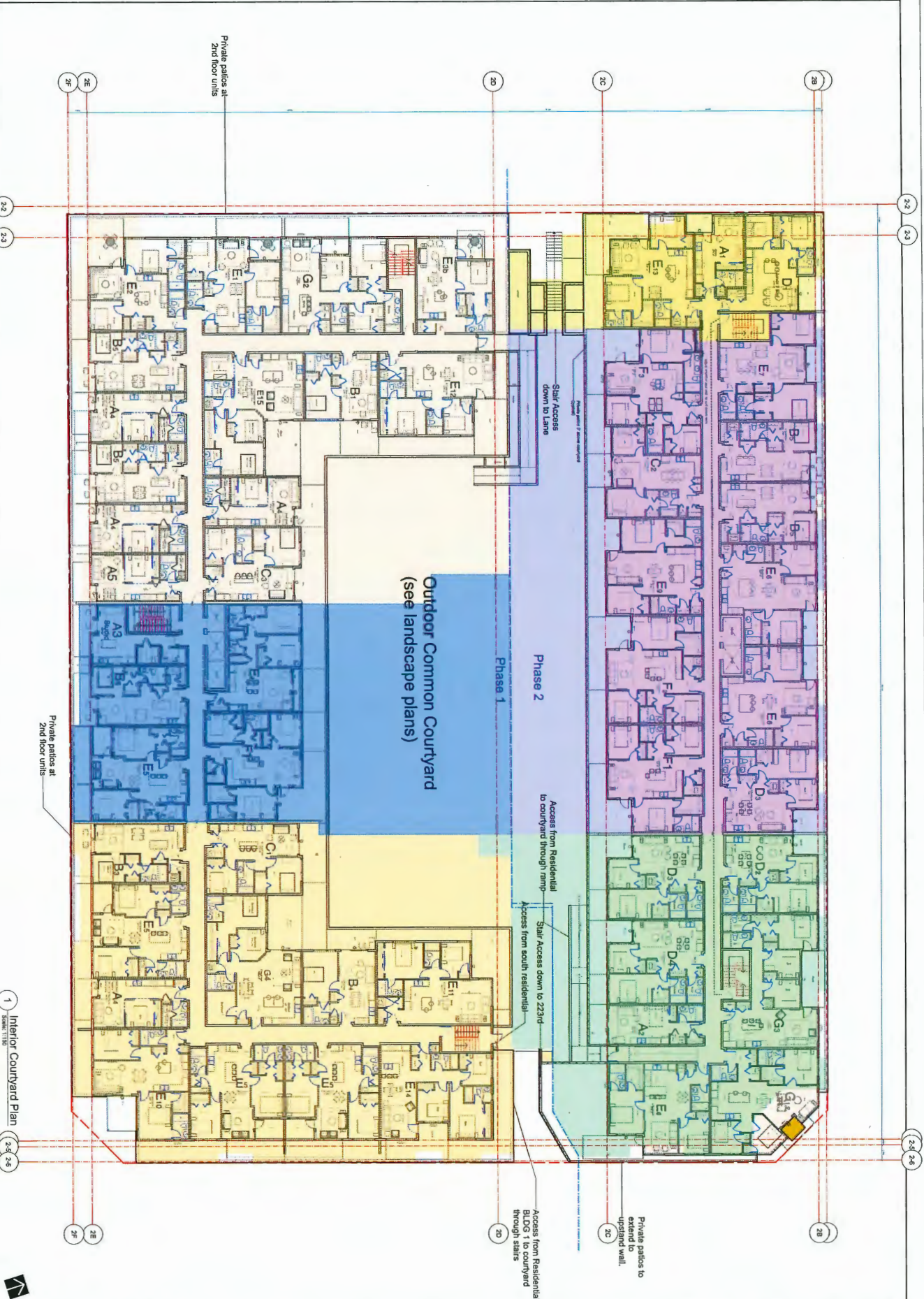






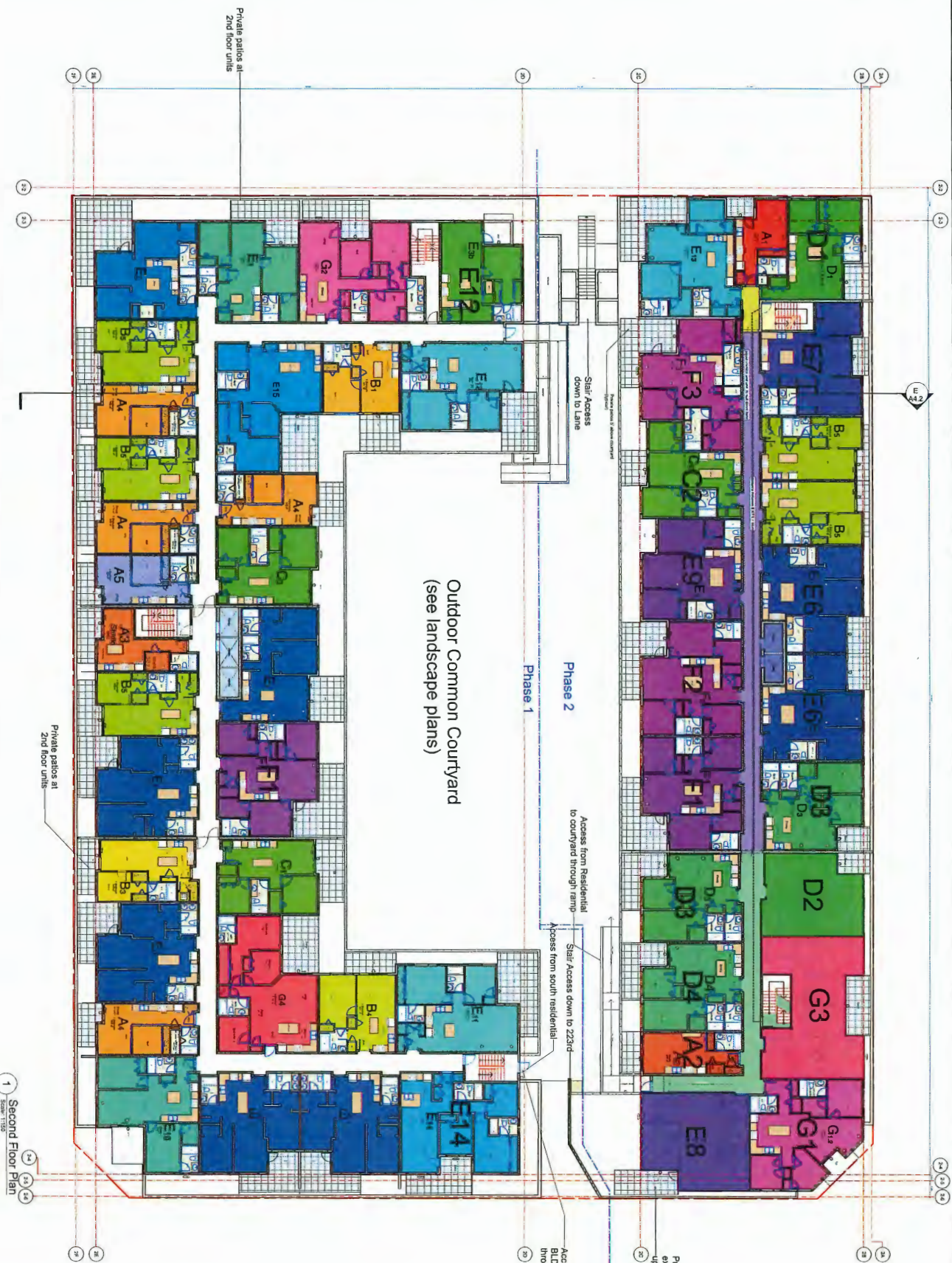




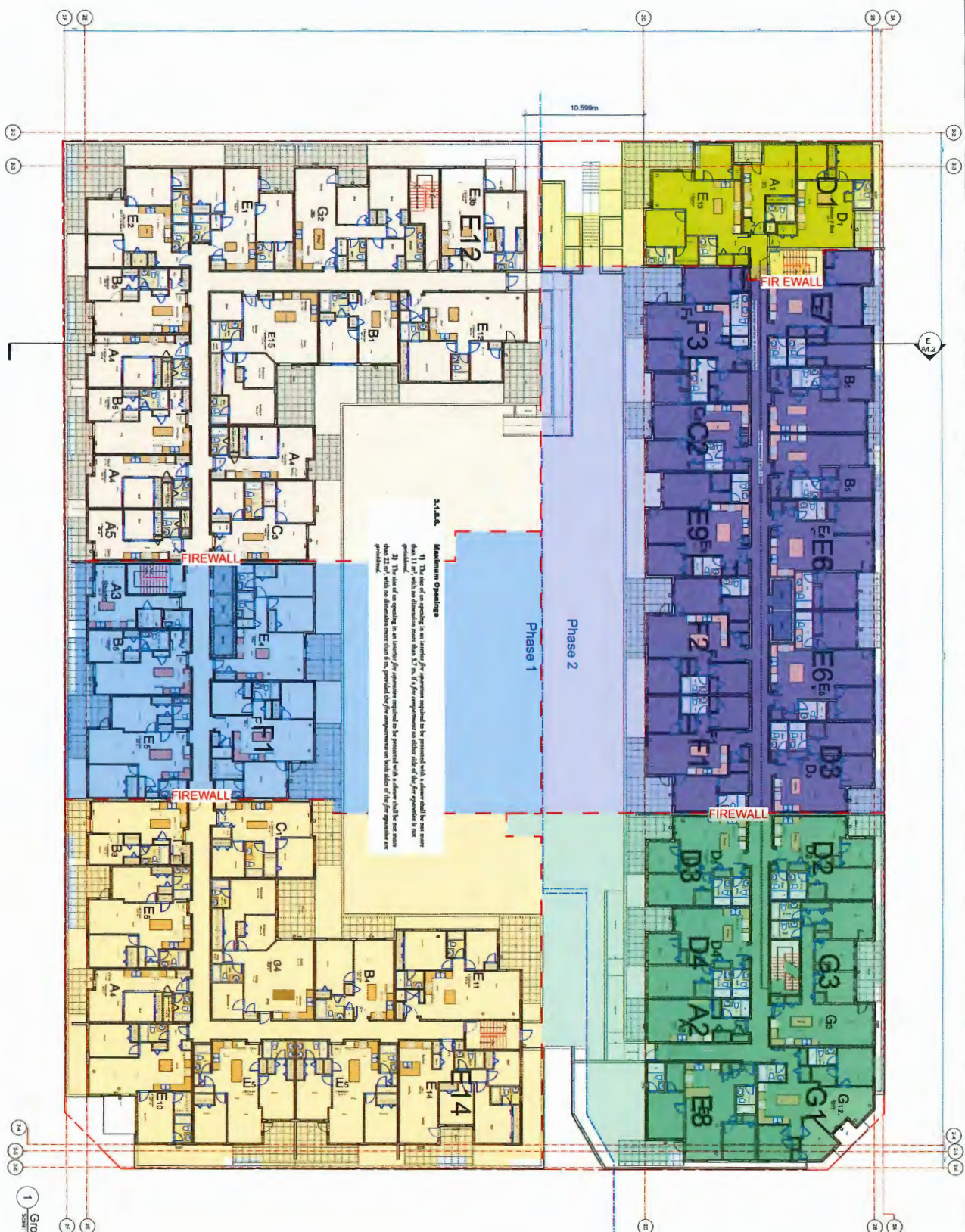


1 Interior Courtyard Plan  
SCALE: 1/8" = 1'-0"









**3.1.4.A. Maximum Openings**

1) The size of an opening in a fire-rated floor assembly shall be limited to a maximum of 100 sq. ft. for openings in a fire-rated floor assembly and 150 sq. ft. for openings in a fire-rated wall assembly.

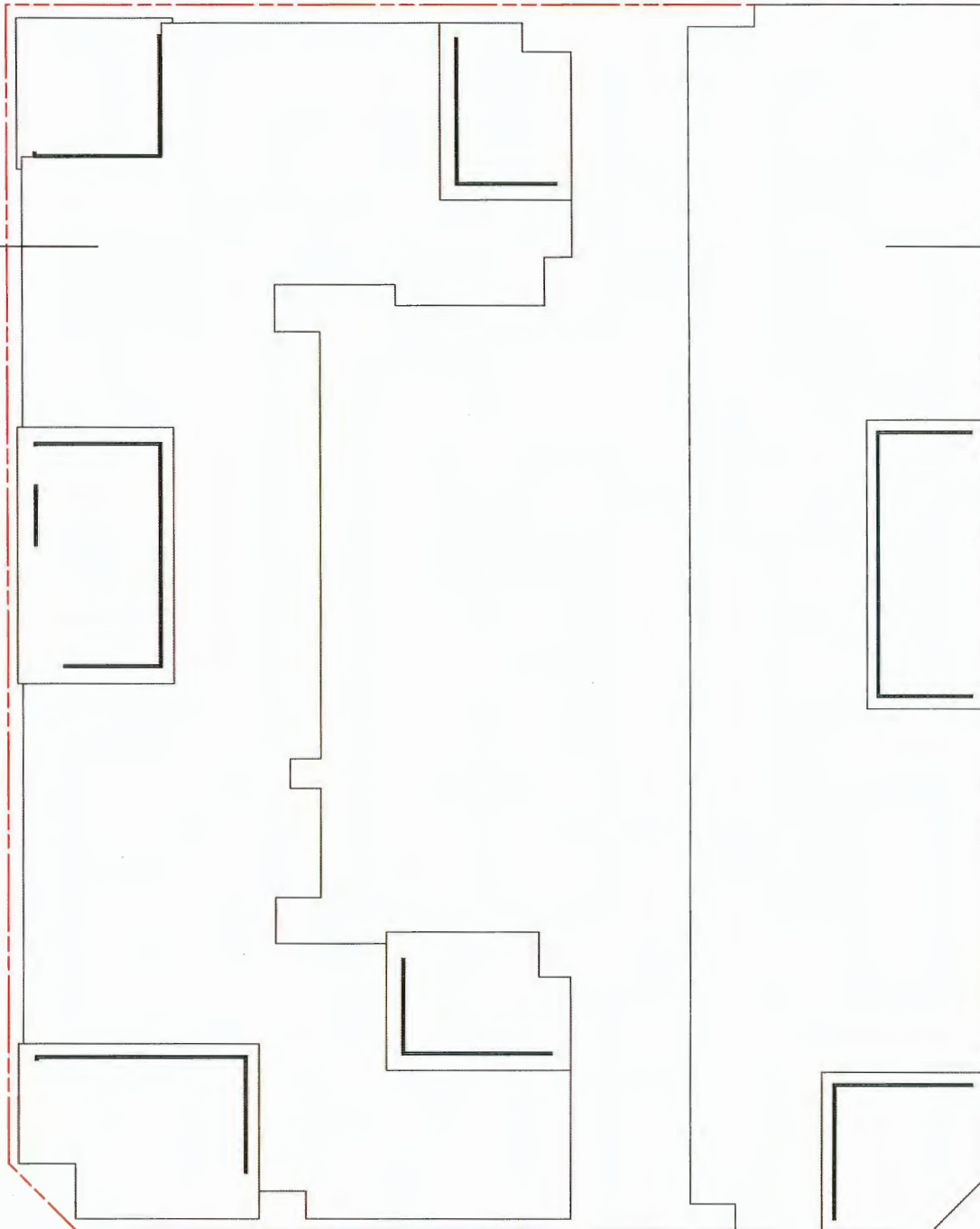
2) The size of an opening in a fire-rated floor assembly shall be limited to a maximum of 100 sq. ft. for openings in a fire-rated floor assembly and 150 sq. ft. for openings in a fire-rated wall assembly.

1 Ground Floor Plan  
Scale: 1/8" = 1'-0"





1 Floor Plans 3 to 6  
Scale: 1/8" = 1'-0"



1  
Roof Plan  
Scale: 1" = 10'



A2.7

WAYNE STEPHEN BISSKY  
ARCHITECTURE & URBAN DESIGN INC.  
PLANNING INTERIOR DESIGN

2024 20250101 (Updated 10/2024)  
Main Page, B.E. V22.274  
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Email: wsb@wsb-usa.net  
Website: www.wsb-usa.net

Date: September 2023

Scale: As Noted

Drawn: WSB, JRT

Project ID: 10715

### Roof Plan

Civic Address: See Zoning Analysis/Map

Legal Address: See Zoning Analysis/Map

PHD #:

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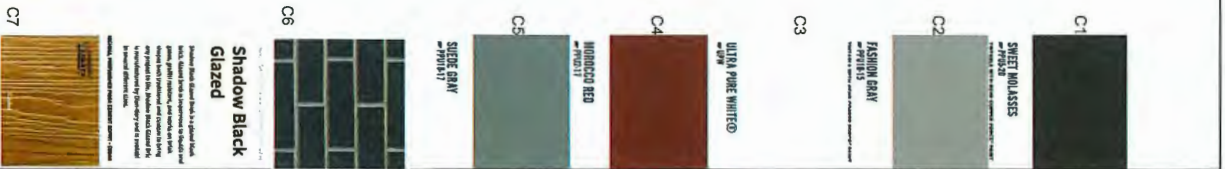




### Exterior Materials

- 1 White Road Membrane
  - 2 Exposed Concrete
  - 3 Masonry - CM Panels with Tilm System - Colour C2
  - 4 Fibre-Cement Panels with Tilm System - Colour C3
  - 5 Fibre-Cement Panels with Tilm System - Colour C5
  - 6 Aluminium Framed Windows & Doors - Colour C8
  - 7 Vinyl Framed Windows & Doors - Colour Dark Gray
  - 8 Metal Panels - Colour C4
  - 9 Metal Panels - Colour C4
  - 10 Metal Panels - Colour C4
  - 11 Metal Panels - Colour C4
  - 12 Prefinished Metal Gutter & Downspout - Colour C1
  - 13 Extended Acrylic Signage
  - 14 Detachable Metal Canopy - Colour C4
  - 15 Metal Through-wall Flashing - Colour C5
  - 16 Metal Through-wall Flashing - Colour C5
  - 17 Metal Through-wall Flashing - Colour C5
  - 18 Fibre-Cement Sill - Colour C2
  - 19 Fibre-Cement Sill - Colour C1
  - 20 Fibre-Cement Sill - Colour C1
- ### Colour Finishes
- C1 Sherwin Williams - PMS 10-65-20
  - C2 Behr Fashion Gray PPU18-15
  - C3 Behr Ultra Pure White UPW
  - C4 Behr MOROCCO RED PPU2-17
  - C5 Behr SUEDE GRAY PPU18-17
  - C6 RAL Black Shadow Black Gloss
  - C7 CEDAR, PREFINISHED FIBER CEMENT SMOOTH - CEDAR
- \* All Materials as noted or approved equal

Partial East Elevation (Facing 229rd)  
Scale: 1/32"



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Client: Wayne Stephen Bissky Architecture & Urban Design Inc.  
Date: 2020  
Scale: 1/32"

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Project: 2290 229th Street, Suite 100  
Client: Wayne Stephen Bissky Architecture & Urban Design Inc.  
Date: 2020  
Scale: 1/32"







# PHASE 2



# PHASE 2

2 SOUTH ELEVATION - PHASE 2  
Scale: 1/8" = 1'-0"

1 NORTH ELEVATION Ph 2 (Facing Selkirk)  
Scale: 1/8" = 1'-0"

## North & South Elevations Phase 2

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Email: wsb@wbsai.com

City Address: See Zoning Analysis  
Legal Address: See Zoning Analysis  
PID #: 223rd

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Author: Wayne Stephen Bissky  
Date: 10/1/2013  
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ISSUED DRAWINGS





2 SOUTH ELEVATION (Facing Loughree) Ph 1  
Scale: 1:125



3 EAST ELEVATION (Facing 223rd) Ph 1 & 2  
Scale: 1:125









2 View to South-East Along Selkirk  
Scale: 1:48





1

View S-W At Selkirk & 223rd  
Scale: 1:48

A09

WAYNE STEPHEN BISSKY  
ARCHITECTURE & URBAN DESIGN INC.  
PLANNING INTERIOR DESIGN  
2234 223rd Loughheed Highway  
Markham, ON L3R 9V4  
ph. 905-487-8303 fax 905-487-8305  
email: wsb@wbsky.com

View to South-West  
along Selkirk

Mixed Use Development at  
223rd & Loughheed Highway

Civic Address: See Zoning Analysis  
Legal Address: See Zoning Analysis

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REVISIONS





TO SCALE WHEN VIEWED ON 17"X11" - 1/8"=1'-0"

1 View to N-W Along Lougheed  
Scale: 1:400

A10	22-1-21 AS SHOWN 10/1/22	<b>WAYNE STEPHEN BISSKY</b> ARCHITECTURE & URBAN DESIGN INC. PLANNING INTERIOR DESIGN 4036 223rd Lougheed Highway Maple Ridge, B.C. V2X 2Y4 ph: 604-497-8300 fax: 604-497-8305 email: wsb@wsbdesign.com	<b>View to N-W</b>	<b>Mixed Use Development at 223rd &amp; Lougheed Highway</b> Civic Address: See Zoning Analysis Legal Address: See Zoning Analysis	Copyright Reserved Further to ABC Bylaw 2013, all plans, sketches, drawings, graphical representations and specifications prepared by the architect, are, and of all rights herein, the exclusive property of Wayne Stephen Bissky Architecture, Urban Design, Planning, and Interior Design and cannot be used for any other project or site without the written consent of WSB. Where necessary, such consent shall be obtained in writing and shall be subject to the terms and conditions of any written form the documents and conditions present in the drawings.
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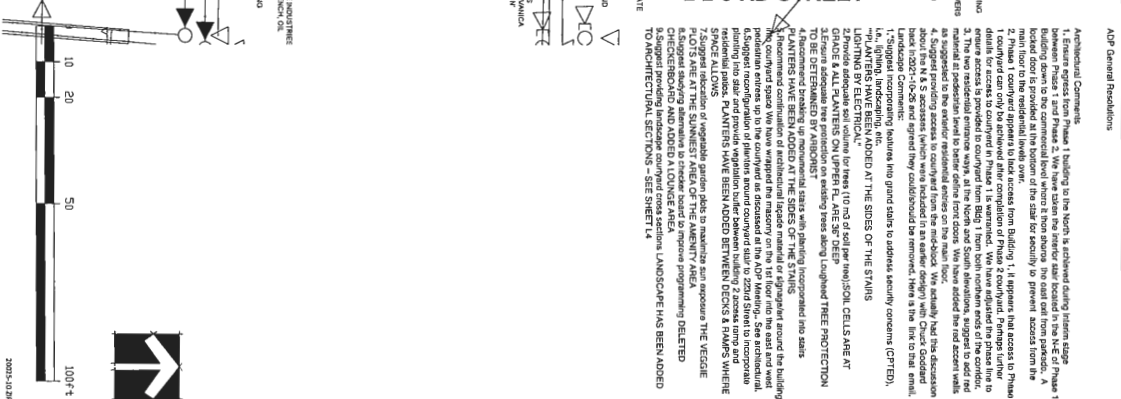




1 View to N-E Along Lougheed  
Scale: 1:480

A11	WAYNE STEPHEN BISSKY ARCHITECTURE & URBAN DESIGN INC. PLANNING INTERIOR DESIGN	22-6-21	4004 223rd Lougheed Highway Maple Ridge, B.C. V2X 2Y1 ph: 604-467-6300 fax: 604-467-6305 email: wsb@wsbinc.com	View N-E Along Lougheed	Mixed Use Development at 223rd & Lougheed Highway	Copyright Reserved Further to AIBC Section 20(2), all plans, sketches, drawings, graphics, reports and other documents prepared by the Architect, and all and every item in the above program of drawings, reports, and other documents, shall remain the property of the Architect and shall not be reproduced, in whole or in part, or used for any other purpose, or sold or otherwise distributed, without the prior written consent of the Architect. The Architect and its staff shall not be held responsible for the actions of any third parties who may use the information contained in the above program of drawings, reports, and other documents for any purpose other than that for which they were prepared. The Architect and its staff shall not be held responsible for the actions of any third parties who may use the information contained in the above program of drawings, reports, and other documents for any purpose other than that for which they were prepared.	ENGINEER

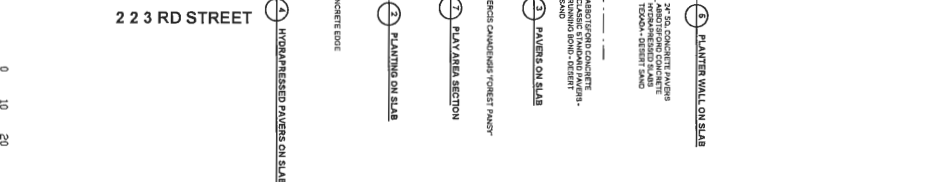


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HAUSER - SHORE II SLING SC  
K LOUNGE CHAIR / SUI VERB A[illegible]

**pmc**  
LANDSCAPE  
ARCHITECTS

3000 Old  
Belt Road  
Suite 100  
Baltimore, MD 21206  
P: 804-293-0011 • F: 804-293-0022

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PROJECT  
COMMERCIAL/RESIDENTIAL  
DEVELOPMENT

2230 ST & LOUGHEED HWY  
MAPLE RIDGE, BC

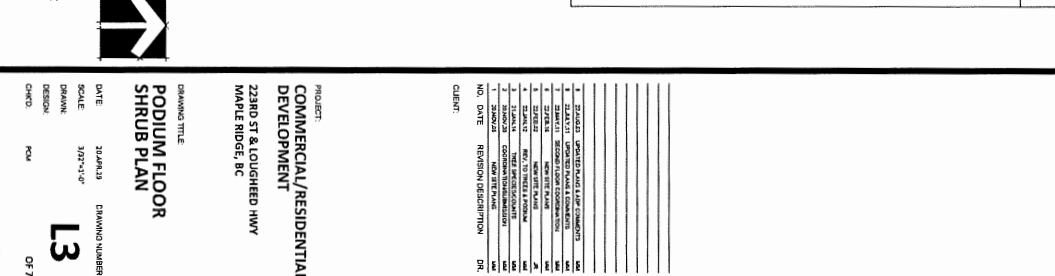
DRAWING TITLE  
PODIUM FLOOR  
TREE PLAN

DATE	20 JAN 21	DRAWING NUMBER
SCALE	1/16" = 1'-0"	<b>L2</b>
DRAWN		
DESIGN		
CHECK		
PCN		OF 7

DWG PROJECT NUMBER

20-0235

PLANT SCHEDULE		2ND FLOOR	PLANTED SPECIES REMAINING
PLANT	BOTANICAL NAME	COMMON NAME	
PERENNIAL			
1	HELEBRUS AMERENSIS	LESTER'S ROSE	NO. POT
2	HELEBRUS SWEET TALK	COAL BLOSS	NO. POT
3	NOCTA CLOUTIER PRIMER	NOCTA, CLOUTIER AND WHITE VARIETATED	#1 NO. 1, EVE
4	DRUMME WILLOW	BULB CLUMP	NO. NO. 1
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14	POLYSTICHUM ALUTICUM	WESTERN SWAMPY FERN	#1 POT, 2004
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**pmg**  
LANDSCAPE  
ARCHITECTS

3000 S. GATEWAY BLVD., SUITE 100  
BIRMINGHAM, ALABAMA 35205  
P: 205-251-0011 • F: 205-291-0022

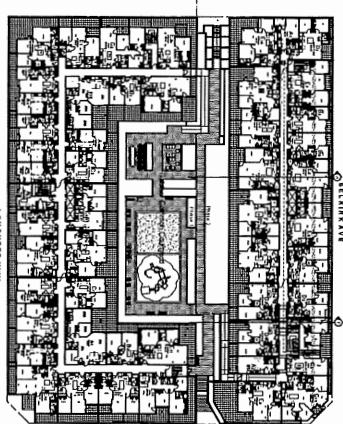
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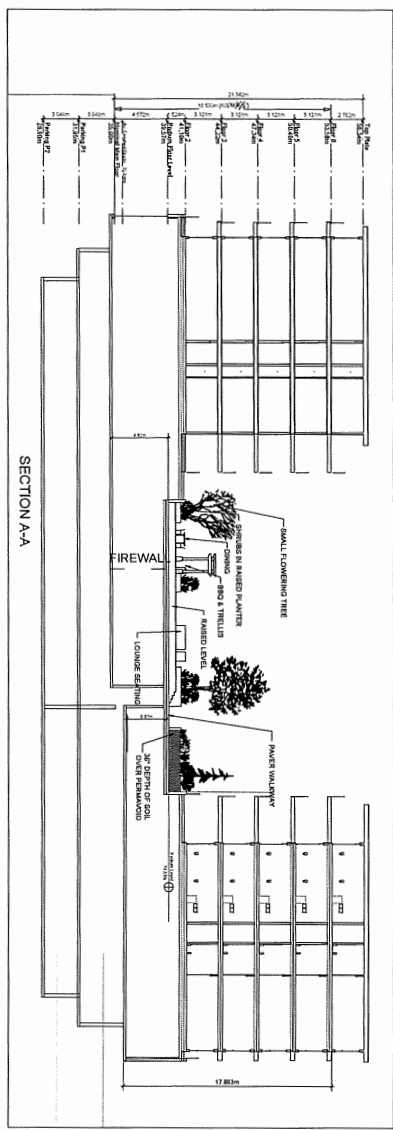
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**pms**  
LANDSCAPE  
ARCHITECTS  
Suite C100 • 4185 88th Street  
P. 604.294.0011 F. 604.294.0022

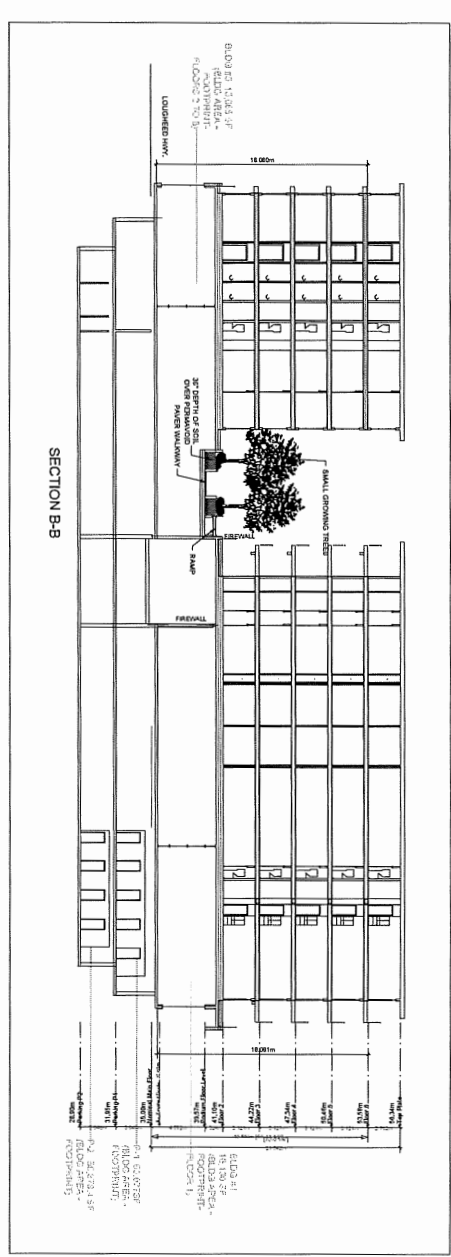
SCALE:



KEY PLAN



SECTION A-A



SECTION B-B



NO.	DATE	REVISION DESCRIPTION	BY
1	2015-10-29	ISSUED FOR PERMIT	MM
2	2015-11-05	REVISED PLANTING	MM
3	2015-11-05	REVISED PLANTING	MM
4	2015-11-05	REVISED PLANTING	MM
5	2015-11-05	REVISED PLANTING	MM
6	2015-11-05	REVISED PLANTING	MM
7	2015-11-05	REVISED PLANTING	MM
8	2015-11-05	REVISED PLANTING	MM
9	2015-11-05	REVISED PLANTING	MM
10	2015-11-05	REVISED PLANTING	MM

CLIENT:

PROJECT:  
COMMERCIAL/RESIDENTIAL  
DEVELOPMENT  
2230 RD STREET & LOUGHREE HWY  
MARLE RIDGE, ONT

DRAWING TITLE:  
PODIUM FLOOR  
SECTIONS

DATE: 2015-10-29  
SCALE: 1/8"=1'-0"  
DRAWING NUMBER: L4  
DESIGN: MM  
CHECK: MM  
PROJECT NUMBER: 2015-10-29

# CITY OF MAPLE RIDGE - STREET TREE PLANTING REQUIREMENTS

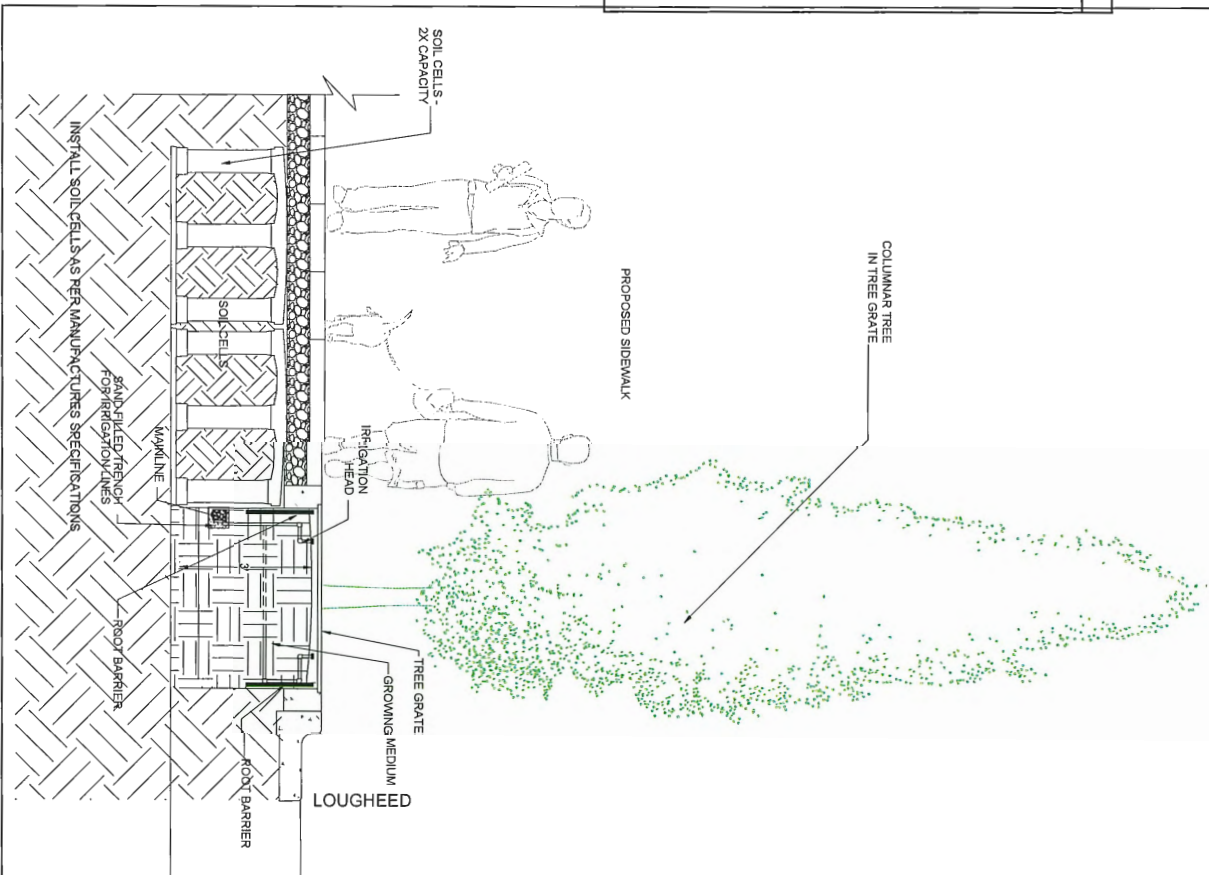
### PLANT SPACINGS

- STREET TREES SHALL BE SPACED FROM 10M TO 15M APART DEPENDING ON THE SPECIES USED IN THE DESIGN. BOLLIVARD PLANTINGS SHALL BE DESIGNED TO FILL IN AS A MASS PLANTING WITHIN 3 YEARS OF INSTALLATION, A MAXIMUM SPACING AT INSTALLATION SHALL BE 1M ON CENTRE FOR NO. 2 POT EVERGREEN SHRUBS AND 500MM ON CENTRE FOR 10CM POT EVERGREEN GROUND COVERS.

## MINIMUM TREE PLANTING CLEARANCES

- STREET TREES IN DIFFERENT ROAD CATEGORIES SHALL BE PLANTED AT OFFSETS SHOWN IN THE STANDARD DRAWINGS. IN ADDITION, STREET TREES SHALL HAVE A MINIMUM DISTANCE FROM THE FOLLOWING: (EXEMPTIONS MAY BE PERMITTED IF THE SITE DESIGN DOES NOT ALLOW THESE DISTANCES, AND THE ENVIRONMENT TECHNICIAN APPROVES)
    - LAMP STANDARDS 8.0M
    - STEEL/WOODEN POLES 3.0M
    - DRIVEWAYS 2.0M
    - CATCH BASINS 2.0M
    - MANHOLES, VALVE BOXES, SERVICES 1.2M
    - STORM 1.5M
    - SEWER 2.0M
    - WATER 1.5M
    - HYDRANTS 2.0M
    - CORNERS IN LINE WITH 7.5M SIGHT TRIANGLE
  - UTILITY PLANTING STRIP AREA (AREA BETWEEN SIDEWALK AND CURB):
    - CURB FACE 0.75M-1.20M
    - EDGE OF SIDEWALK 0.75-2.65M
  - BOULEVARD PLANTING AREA (AREA BETWEEN COMBINED CURBSIDEWALK AND PROPERTY LINE):
    - CURB FACE 0.75M
- CONSIDERATION SHOULD BE GIVEN IN LOCATING TREES WITHIN BOULEVARD TO AVOID OBSTRUCTING TRAFFIC SIGNS

NO-MPLR.DWG



## SECTION THRU SOIL CELLS

$$1/2''=1'-0''$$

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**pm3**  
LANDSCAPE  
ARCHITECTS

Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia V5C 6G5  
P 604.294-0011 : F 604.294-0022

SEAL:

SEAL

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CUENT

**PROJECT:**  
**COMMERCIAL/RESIDENTIAL  
DEVELOPMENT**  
**223RD ST & LOUGHEED HWY**  
**MAPLE RIDGE, BC**

MAPLE RIDGE, BC

DRAWING TITLE:  
**GROUND FLOOR  
DETAILS**

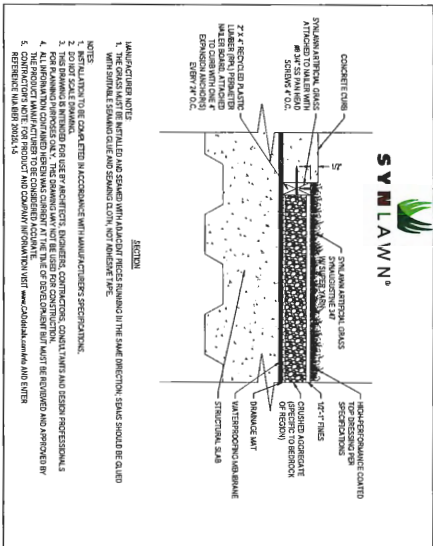
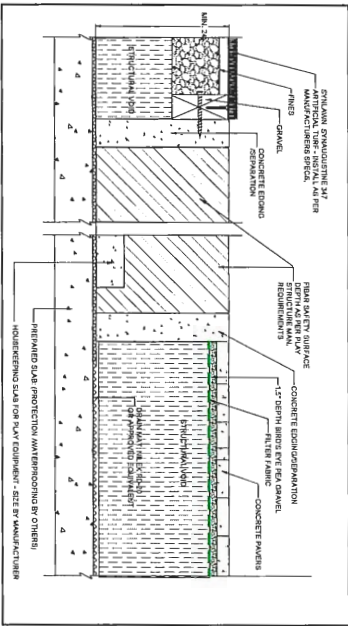
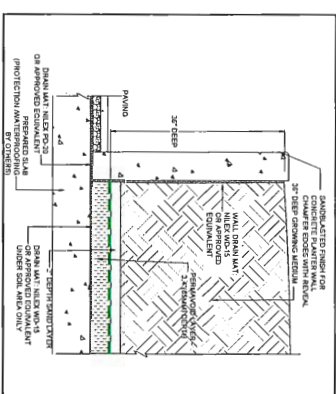
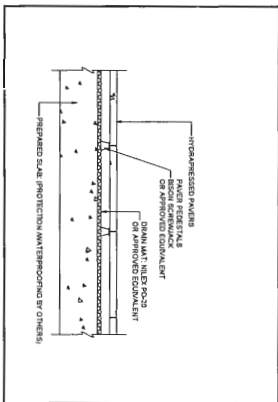
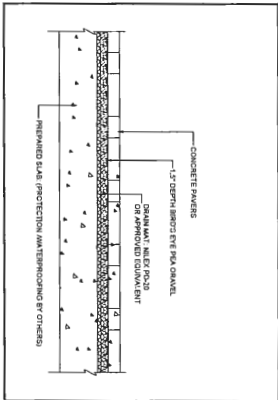
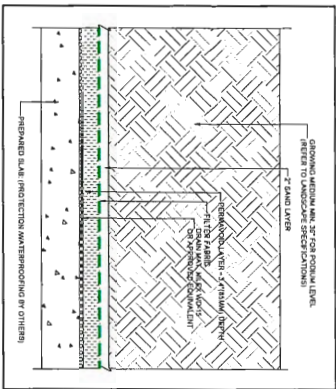
DATE	20 APR 79	DRAWING NUMBER
SCALE	AS NOTED	
DRAWN:		
DESIGN:		
CHECK:	POM	QF 7

20025-10.278

PMD PROJECT NUMBER

20-025





PROJECT: COMMERCIAL/RESIDENTIAL DEVELOPMENT  
2280 ST & LOUGHEED HWY  
MAPLE RIDGE, BC

DRAWING TITLE: PODIUM FLOOR DETAILS

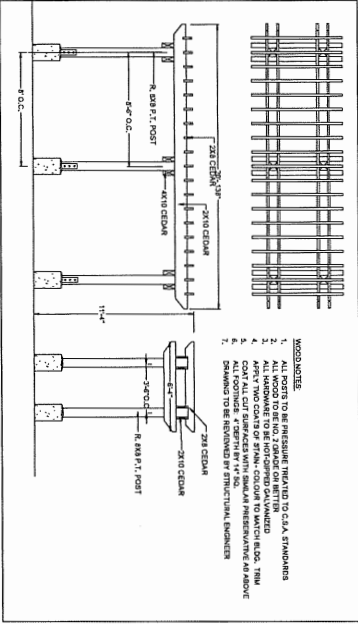
DATE: 23 JUN 23  
SCALE: AS NOTED  
DESIGN: L6  
CHECK: KCM  
PROJECT NUMBER: 20-025

LANDSCAPE ARCHITECTS  
4182 88th Street, Unit 103  
Burnaby, BC V5N 3K1  
Tel: 604-291-1000  
Fax: 604-291-1001  
www.landscapearchitects.ca

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**pmg**  
LANDSCAPE  
ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G8  
P: 604 294-0011 F: 604 294-0022

SEAL



## 7) TRELLIS

NO.	DATE	REVISION DESCRIPTION	DRN
8	REVISION	UPDATING I-28 COMMENTS	MM
7	REVISION	UPDATING PLANS I-28 COMMENTS	MM
6	REVISION	REWORKING LAYOUT COORDINATION	MM
5	REVISION	NEW SITE PLAN	MM
4	REVISION	REV. TO STREET & POLEMAN	MM
3	REVISION	FINAL SPECIFICATIONS	MM
2	REVISION	CONSTRUCTION PERMIT APPLICATION	MM
1	REVISION	NEW SITE PLAN	MM

CURRENT:

PROJECT:  
**COMMERCIAL/RESIDENTIAL  
DEVELOPMENT**  
223RD ST & LOUGHEED HWY  
MAPLE RIDGE, BC

**MAPLE RIDGE, BC**

DRAWING TITLE  
**PODIUM FLOOR  
DETAILS**

DATE:	20 APR 29	DRAWING NUMBER
SCALE:	AS NOTED	
DRAWN:		
DESIGN:		

20025-10.211

PROJECT NUMBER:

20-025



WAYNE  
STEPHEN  
BISSKY

## RESPONSE TO ADP RESOLUTION

ARCHITECTURE URBAN DESIGN PLANNING INTERIOR DESIGN  
106 - 11893 227TH STREET, MAPLE RIDGE, BC PH 604-467-8300 FAX 604-467-8305

Rene Tardif  
(604) 463-5221  
[rtardif@mapleridge.ca](mailto:rtardif@mapleridge.ca)  
Planning Department  
City of Maple Ridge Planning Department  
11995 Haney Place  
Maple Ridge, BC  
V2X 6A9

Wednesday, August 3, 2022

### Response to ADP Comments for:

**Our Project No.:** 1015

**City Ref No.:** Development Permit File No. 2019-138-DP

Civic Address	Legal Address
22238 Selkirk Avenue	Lot 21, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-821
22242 Selkirk Avenue	Lot 20, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-813
22245 Lougheed Highway	Lot 61, District Lot 398, Group 1, NWD, Plan 25783, PID: 008-813-973
22246 Selkirk Avenue	Lot 19, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-805
22251 Lougheed Highway	Lot 29, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-830
22286 Selkirk Avenue	Lot 17, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-767
22289 Lougheed Highway	Lot 32, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-872
Lot 18, 223rd Street	Lot 18, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-775
Lot 30, 223rd Street	Lot 30, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-848
Lot 31, Lougheed Highway	Lot 31, District Lot 398, Group 1, NWD, Plan 6808, PID: 011-208-856

Dear Rene;

We have adjusted the architectural and landscape plans in response to the listed ADP resolutions following. Please note that we have commented on how each one has been dealt. The PDF files on the revised plans can be viewed and/or downloaded at the dropbox links following. Simply click on the text below. We will deliver two hard copies of each set on Thursday, August 4th as requested.

[Link to Architectural Plans](#)  
[Link to Landscape Plans](#)

Please see our itemized response as follows with regard to:

*" R/2022-ADP-034. It was moved and seconded : That the Advisory Design Panel has reviewed application 2019-138-DP and recommends that the application be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up. "*

WAYNE  
STEPHEN  
BISSKY

ARCHITECTURE URBAN DESIGN PLANNING INTERIOR DESIGN  
106 - 11893 227TH STREET, MAPLE RIDGE, BC PH 604-467-8300 FAX 604-467-8305

No.	Comment	
<b>ADP General Resolutions</b>		
<b>Architectural Comments</b>		
1.	Ensure egress from Phase 1 building to the North is achieved during interim stage between Phase 1 and Phase 2.	We have taken the interior stair located in the N-E of Phase 1 Building down to the commercial level where it then shares the east exit from parkade. A locked door is provided at the bottom of the stair for security to prevent access from the main floor to the residential levels over.
2.	Phase 1 courtyard appears to lack access from Building 1, it appears that access to Phase 1 courtyard can only be achieved after completion of Phase 2 courtyard. Perhaps further details for access to courtyard in Phase 1 is warranted.	We have adjusted the phase line to ensure access is provided to courtyard from Bldg 1 from both northern ends of the corridor.
3.	The two residential entrance ways, at the North and South elevations, suggest to add red material at pedestrian level to better define front doors	We have added the red accent walls as suggested to the exterior residential entries on the main floor.
4.	Suggest providing access to courtyard from the mid-block	We actually had this discussion about the N & S accesses (which were included in an earlier design) with Chuck Goddard back in 2021-10-26 and agreed they could/should be removed. Here is the <a href="#">link</a> to that email.
<b>Landscape Comments:</b>		
1.	Suggest incorporating features into grand stairs to address security concerns (CPTED), i.e., lighting, landscaping, etc.	PLANTERS HAVE BEEN ADDED AT THE SIDES OF THE STAIRS We commit that CPTED LIGHTING of all public areas will be provided on the ELECTRICAL plans at the BP submission
2.	Provide adequate soil volume for trees (10 m <sup>3</sup> of soil per tree);	SOIL CELLS ARE AT GRADE & ALL PLANTERS ON UPPER FL. ARE 36" DEEP
3.	Ensure adequate tree protection on existing trees along Loughheed	TREE PROTECTION TO BE DETERMINED BY ARBORIST
4.	Recommend breaking up monumental stairs with planting incorporated into stairs	PLANTERS HAVE BEEN ADDED AT THE SIDES OF THE STAIRS
5.	Recommend continuation of architectural façade material or signage/art around the building into courtyard space	We have wrapped the masonry on the 1st floor into the east and west pedestrian entrees up to the courtyard as discussed at the ADP Meeting.. See architectural.
6.	Suggest reconfiguration of planters around courtyard stair to 223rd Street to incorporate planting into stair and provide vegetation buffer between building 2 access ramp and residential patios.	PLANTERS HAVE BEEN ADDED BETWEEN DECKS & RAMPS WHERE SPACE ALLOWS
7.	Suggest relocation of vegetable garden plots to maximize sun exposure	THE VEGGIE PLOTS ARE AT THE SUNNIEST AREA OF THE AMENITY AREA
8.	Suggest studying alternative to checker board to improve programming	DELETED CHECKERBOARD AND ADDED A LOUNGE AREA
9.	Suggest providing landscape courtyard cross sections	LANDSCAPE HAS BEEN ADDED TO ARCHITECTURAL SECTIONS – SEE SHEET L4

Sincerely,



Wayne S. Bissky  
Architect, AIBC, MRAIC



WAYNE  
STEPHEN  
BISSKY

# Public Comments Opportunity Summary Report

ARCHITECTURE URBAN DESIGN PLANNING INTERIOR DESIGN

HEAD OFFICE: 106 - 11968 227th STREET, MAPLE RIDGE BC PH 604-467-8300 FAX 604-467-8305

July 28, 2022

Rene Tardif  
Maple Ridge Planning Department  
11995 Haney Place  
Maple Ridge, BC V2X 6A9  
Ph: 604-463-5221

**Civic Address:** 22238, 22242, 22246, and 22286 Selkirk Avenue, 22245, 22251, and 22289 Lougheed Highway, and PID's 011-208-775, 011-208-848, and 011-208-856, Maple Ridge

**File No.:** 2019-138-RZ

**Public Comments Opportunity Period:** July 18 to July 27, 2022

**Number of Responses:** We received three responses.

**Comments Sheets and Correspondence:** I have attached summaries of the feedback received from respondents. We received three phone calls, but no emails or comments sheets.

**Summary of how issues and concerns identified will be addressed:** The issues identified respondents are noted in the table below, along with how we are addressing them. Two of the three respondents spoke favourably about the development and see it as a benefit to the neighbourhood.

Sincerely,



Wayne Bissky  
**Wayne Stephen Bissky Architecture Urban Design Inc**  
106 - 11893 227th Street  
Maple Ridge, BC V2X 6H9  
Ph: 604-467-8300  
Email: wayne@bisskyarchitecture.ca

## Summary, Analysis, and Response to Public Comments Opportunity Comments

Item	Analysis and Response
<b>Building Shadows</b> One respondent expressed concern about the shadows the building will cast on adjacent properties.	We've included a Solar Study in the architectural drawings package, which demonstrates the impact of shadows on adjacent buildings. Please note that there is a full street right of way separating the building from the apartments to the north.
<b>Construction Disruption</b> Two respondents were concerned about disruption to local traffic flows and noise during construction.	Construction hours will be governed by municipal requirements. We note that the municipal noise bylaw disallows construction noise between 9pm and 7am from Monday to Saturday and all day on Sunday. The developer will apply for a Highway Use Permit during construction if temporary lane closures are necessary.
<b>Parking</b> One respondent asked where the off-street parking will be located.	All parking for the building is located off-street. There will be two levels of underground parking along with seventy-three parking stalls at grade in the core of the building. Parking will be accessed from the lane to the west. We are not requesting a parking variance; we are providing approximately 30% more parking stalls than the parking bylaw requires.
<b>Public Safety</b> One respondent expressed concern that the private landscaped area will promote loitering and congregating of non-building residents if no security measures are added.	We agree with you and we're currently working with City Staff to add increased security and access control measures to restrict access to the courtyard. The desire to add more security and access control features into the design was also mentioned by the Advisory Design Panel. Our resubmitted drawings to the planning department include gates at the east and west access points to the private outdoor space.

WAYNE  
STEPHEN  
BISSKY

# Public Comments Opportunity Summary Report

ARCHITECTURE URBAN DESIGN PLANNING INTERIOR DESIGN

HEAD OFFICE: 106 - 11968 227th STREET, MAPLE RIDGE BC PH 604-467-8300 FAX 604-467-8305

Item	Analysis and Response
<b>Unit Mix</b> One respondent asked about the unit mix in the development.	There are 36 studio units, 44 one-bedroom units, 135 two-bedroom units, and 40 three-bedroom units.
<b>View South from Existing Buildings</b> One respondent expressed concern that the development would impact his view south to the Fraser River and Mt. Baker	The development will likely impact the views of some of the neighbouring properties. This is an expected result of increasing density in an urban site. We note that there is an existing six-story building to the southeast of the proposed site, which is likely already impeding the view of the Fraser River and Mt. Baker for other buildings.





February 2, 2021

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9  
Attention: Rene Tardif

Dear Ms. Tardif:

Re: File: 2019-138-RZ  
Legal: Lots 17, 18, 19, 20, 21, 29, 30, 31, 32 District Lot 398 Group 1 New Westminster District Plan 6808 and Lot 61 District Lot 398 Group 1 New Westminster District Plan 25783  
Location: 22238, 22242, 22246, and 22286 Selkirk Avenue; 22245, 22251 and 22289 Lougheed Highway; PID 011-208-775, PID 011-208-848 and PID 011-208-856  
From: C-3 (Town Centre Commercial) and CS-1 (Service Commercial)  
To: CD-1-19 (Comprehensive Development)

The proposed application would affect the student population for the catchment areas currently served by Eric Langton Elementary and Maple Ridge Secondary School.

Eric Langton Elementary has an operating capacity of 402 students. For the 2020-21 school year the student enrolment at Eric Langton Elementary is 452 students (112% utilization) including 258 French Immersion students and 288 students from out of catchment.

Maple Ridge Secondary School has an operating capacity of 1300 students. For the 2020-21 school year the student enrolment at Maple Ridge Secondary School is 1165 students (90% utilization) including 280 French Immersion students and 467 students from out of catchment.

Sincerely,

Flavia Coughlan  
Secretary Treasurer  
The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Rick Delorme  
David Vandergugten

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
Official Community Plan Amending Bylaw No. 7888-2022  
Zone Amending Bylaw No. 7889-2022  
12834 232 Street

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2020-177-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property located at 12834 232 Street from RS-2 (One Family Suburban Residential) to CD-3-22 (Comprehensive Development), to permit the future construction of a three-storey, mixed-use building with approximately 14 residential units and commercial on the ground floor (daycare and office use). The applicant is proposing that four of the residential units will be rental, secured through a registered Housing Agreement. As well, the daycare use will be subject to a covenant to secure its use into the future.

Council granted first reading to Zone Amending Bylaw No. 7661-2020 and considered the early consultation requirements for the Official Community Plan (OCP) amendment on October 13, 2020. This application requires an amendment to the Official Community Plan (OCP) to redesignate the land use from *Estate Suburban Residential* to *Commercial*.

Zone Amending Bylaw No. 7661-2020 was brought forward under the former Zoning Bylaw No. 3510-1985, therefore, a more updated Zone Amending Bylaw No. 7889-2022 is now being introduced to rezone the site under the new Zoning Bylaw No. 7600-2019. This means that first reading of Zone Amending Bylaw No. 7561-2019 will need to be rescinded before first and second reading can be granted to the new Zone Amending Bylaw No. 7889-2022.

Pursuant to *Council Policy 6.31*, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$4,300.00 per apartment dwelling unit; for an estimated total amount of \$43,000.00, or such rate applicable at third reading of this application. As per the policy, the four rental units are exempt from Community Amenity Contribution fees.

**RECOMMENDATIONS:**

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7888-2022* on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7888-2022* be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;



3. That it be confirmed that *Official Community Plan Amending Bylaw No. 7888-2022* is consistent with the Capital Expenditure Plan and Waste Management Plan;
4. That *Official Community Plan Amending Bylaw No. 7888-2022* be given first and second reading and be forwarded to Public Hearing;
5. That *Zone Amending Bylaw No. 7661-2020* be rescinded;
6. That *Zone Amending Bylaw No. 7889-2022* be given first and second reading, and be forwarded to Public Hearing;
7. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Amendment to Official Community Plan Schedule "B";
  - iii) Road dedication on 232 Street as required;
  - iv) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
  - v) Registration of a Restrictive Covenant for Stormwater Management;
  - vi) Registration of a Restrictive Covenant for Tree Protection;
  - vii) Registration of a Restrictive Covenant for protection of the daycare space;
  - viii) Registration of a Housing Agreement in accordance with Section 483 of the *Local Government Act* and a Restrictive Covenant stating that four of the residential units will be restricted to residential rental units;
  - ix) Removal of existing building(s);
  - x) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
  - xi) That a voluntary contribution, in the amount of \$43,000.00 (\$4,300.00/unit), or such rate applicable at third reading of this application, be provided in keeping with the *Council Policy 6.31* with regard to Community Amenity Contributions.

## DISCUSSION:

### 1. Background Context:

Applicant:	Flat Architecture Ltd.
Legal Description:	Lot: 10, Block 5, Section 28, Township 12, Plan NWP19347
OCP:	
Existing:	Estate Suburban Residential
Proposed:	Commercial
Within Urban Area Boundary:	No
Area Plan:	N/A
OCP Major Corridor:	Yes
OCP:	
Existing:	RS-2 (One Family Suburban Residential)
Proposed:	H-1 (Heritage Commercial)
Surrounding Uses:	
North:	Use: Ridge Meadows Child Development Centre and Yennadon Elementary School Zone: P-1 (Park and School) Designation: Institutional
South:	Use: Commercial (Gas Station) and Residential Zone: CD-1-95 (Service Commercial and Accessory Residential Use) Designation: Commercial
East:	Use: Single Family Residential Zone: RS-2 (Single Detached Suburban Residential) Designation: Estate Suburban Residential
West:	Use: Single Family Residential Zone: RS-2 (Single Detached Suburban Residential) Designation: Estate Suburban Residential
Existing Use of Property:	Vacant
Proposed Use of Property:	Mixed-Use Commercial/Residential
Site Area:	0.21 HA. ha (052acres)
Access:	232 Street
Servicing Requirement:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes



## 2. Background:

The subject property is located one lot north-east of the intersection of 128 Avenue and 232 Street in the Yennadon *Historical Commercial Area* (see Appendices A and B). The site is flat with some trees located on the perimeter and toward the front of the site close to 232 Street. The subject property is currently vacant. To the north of the site is Yennadon Elementary School and to the south is an existing mixed-use commercial plaza with attached gas station.

## 3. Project Description:

The current application proposes to rezone the subject property from RS-2 (Single Detached Suburban Residential) to CD-3-22 (Comprehensive Development), in order to facilitate the future construction of a three-storey, mixed-use building. The proposed building will have a commercial use (childcare centre) on the bottom floor and feature two levels of residential apartments above. A total of 14 residential units are proposed, which will include four units of rental apartments. The applicant is proposing that four of the residential units will be rental, secured through a registered Housing Agreement. As well, the daycare use will be subject to a covenant to secure its use into the future. The daycare space will be located on the ground floor of the proposed building, with an outdoor play area on the western portion of the site.

The residential portion of the building includes all 14 units in two-bedroom configurations. The applicant is proposing surface parking and access from 232 Street. A concealed parking structure will be provided to house the residential parking for this development, while the commercial will feature surface parking with access off of 232 Street. As part of the proposal, the applicant is looking to retain one significant Douglas Fir tree located toward the west of the site closer to 232 Street.

## 4. Planning Analysis:

### i) Official Community Plan:

The development site is currently designated *Estate Suburban Residential* in the Official Community Plan (OCP). For the proposed development an OCP amendment will be required to re-designate the site to *Commercial* to allow the proposed CD-3-22 (Comprehensive Development) zone.

The following OCP policies apply to this project:

*3-31 Maple Ridge supports the provision of rental accommodation and encourages the construction of rental units that vary in size and number of bedrooms. Maple Ridge may also limit the demolition or strata conversion of existing rental units, unless District-wide vacancy rates are within a healthy range as defined by the Canadian Mortgage and Housing Corporation, and,*

*3-32 Maple Ridge supports the provision of affordable, rental and special needs housing throughout the District...*

This project will add four new purpose-built market rental housing units to the existing neighbourhood, which are in compliance with policies 3-31 and 3-32.

The subject property is located outside of the Urban Area Boundary identified on Schedule "B" of the OCP. The current commercial classification for this area is considered a 'Historic Commercial Centre', as identified in Appendix E, Figure 2 of the OCP. Historic Commercial centres are the commercial hearts of the historic communities that formed the City of Maple Ridge, with the size of these centres limited to compatibility with the surrounding land uses and compliance with the policies in the OCP.

The OCP outlines policies related to the Historic Commercial centres, including:

*6-42 Maple Ridge will support limited commercial development in Historic Commercial centres to provide for the commercial needs of the adjacent population. The historic centres generally reflect the historic commercial footprint of the area. Limited infill or expansion of a Historic Commercial centre may be supported if the development is sensitive to the historic character of the centre, and is compatible in use and form with the surrounding area.*

*6 -43 Historic Commercial centres located within the Urban Area Boundary may provide a range of residential and commercial uses. Historic Commercial centres located outside of the Urban Area Boundary are intended to provide small scale convenience shopping and a limited range of services to residents.*

Given the above policies, the current *Estate Suburban Residential* designation can be redesignated to *Commercial*, under the Historic Commercial category, as limited expansion of Historic Commercial centre is supported as the development is sensitive to the historic centre and is compatible with surrounding uses. The subject property is located in between a gas station to the south and a portion of the Yennadon Elementary school property to the north. Combined with the proximity of the surrounding residential uses and increased residential development in Silver Valley to the north, the re-designation to Commercial (to permit a daycare use) is supportable.

i) **Housing Action Plan**

The Housing Action Plan (HAP), which was endorsed by Council in September 2014, identifies rental housing as a priority. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September 2015.

ii) **Housing Agreement**

In exchange for the elimination of Community Amenity Contributions for four units in this project, the applicant is willing to enter into a registered Housing Agreement at final reading. The full details of this agreement will be provided to Council after third reading under a separate Housing Agreement report and bylaw.

The Housing Agreement will contain the following provisions:

- i. Set the total rental unit number at four;
- ii. All units shall be market rental units in perpetuity;
- iii. The fixed term of rental shall be only month to month or under a residential tenancy agreement of a fixed term NOT exceeding three years; and
- iv. The lands shall not be subdivided, except by means of a strata plan that included all of the residential units with a single strata lot.



The Housing Agreement shall be registered on Title of the land and a Section 219 covenant will bind all future owners.

As a market rental project, the four apartment rental units will be exempt from the payment of Community Amenity Contributions.

**iii) Zoning Bylaw:**

Zone Amending Bylaw No. 7661-2020 was brought forward under the older Zoning Bylaw No. 3510-1985, that proposed to rezone the subject site from RS-2 (Single Detached Suburban Residential) to CD-5-20 (Comprehensive Development).

In December of 2020, a new Zoning Bylaw No. 7600-2019 was introduced. As a result of the new Bylaw, Zone Amending Bylaw No. 7889-2022 is now being introduced to rezone the site under the new Zoning bylaw No. 7600-2019. This means that first reading of Zone Amending Bylaw No. 7561-2019 will need to be rescinded before first and second reading can be granted to Zone Amending Bylaw No. 7889-2022 (see Appendix D). The updated proposal is to rezone the site to CD-3-22 (Comprehensive Development).

**iv) Off-Street Parking and Loading Bylaw:**

An apartment residential use in the proposed CD Zone will require 1.0 concealed parking space per dwelling unit, plus 0.2 concealed parking spaces per dwelling unit designated for visitor parking. An assembly use, including group child care centres will require 1 space per 30m<sup>2</sup> of gross floor area.

The following parking is being provided:

- 10 parking spaces are required for the group child care centre and the proposal has provided all of the 10 spaces required.
- 17 parking spaces are required for the apartment residential use and the proposal has provided a total of 19 spaces.

**v) Development Permits:**

Pursuant to Section 8.5 of the OCP, a Commercial Development Permit application is required to address the current proposal's compatibility with adjacent development, and to enhance the unique character of the community.

**vi) Advisory Design Panel:**

The application was reviewed by the Advisory Design Panel at the April 13, 2022 meeting and their comments and the applicant's response can be seen in Appendix H.

A detailed description of the projects form and character will be included in a future Development Permit report to Council.

**vii) Development Information Meeting:**

A Development Information Meeting hosted by the applicant was held at Maple Ridge Leisure Centre on August 22, 2022, between 5pm and 7pm. The applicant has noted that no one attended the meeting. The notification requirements for the Development Information Meeting include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and information on the development.

A summary of the Development Information Meeting is attached to this report (see Appendix I).

**5. Interdepartmental Implications:**

**i) Engineering Department:**

The Engineering Department has indicated that the following servicing upgrades will be required through the Rezoning Servicing Agreement:

- Road dedication as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- Utility servicing as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- Frontage upgrades to the applicable road standard.

**6. School District No. 42 Comments:**

A referral has been sent to School District No. 42 and the City has requested a response by October 5, 2022. The response will be included in the correspondence with the future Public Hearing for this application should this application receive second reading.

**7. Intergovernmental Issues:**

**i) Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, to redesignate the site to Commercial, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.



## CONCLUSION:

It is recommended that first and second reading be given to *Official Community Plan Amending Bylaw No. 7888-2022*, and to *Zone Amending Bylaw No. 7889-2022*, and that application 2020-177-RZ be forwarded to Public Hearing.

"Original signed by Rene Tardif"

Prepared by: **Rene Tardif, BA, M.PL**  
**Planner 1**

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

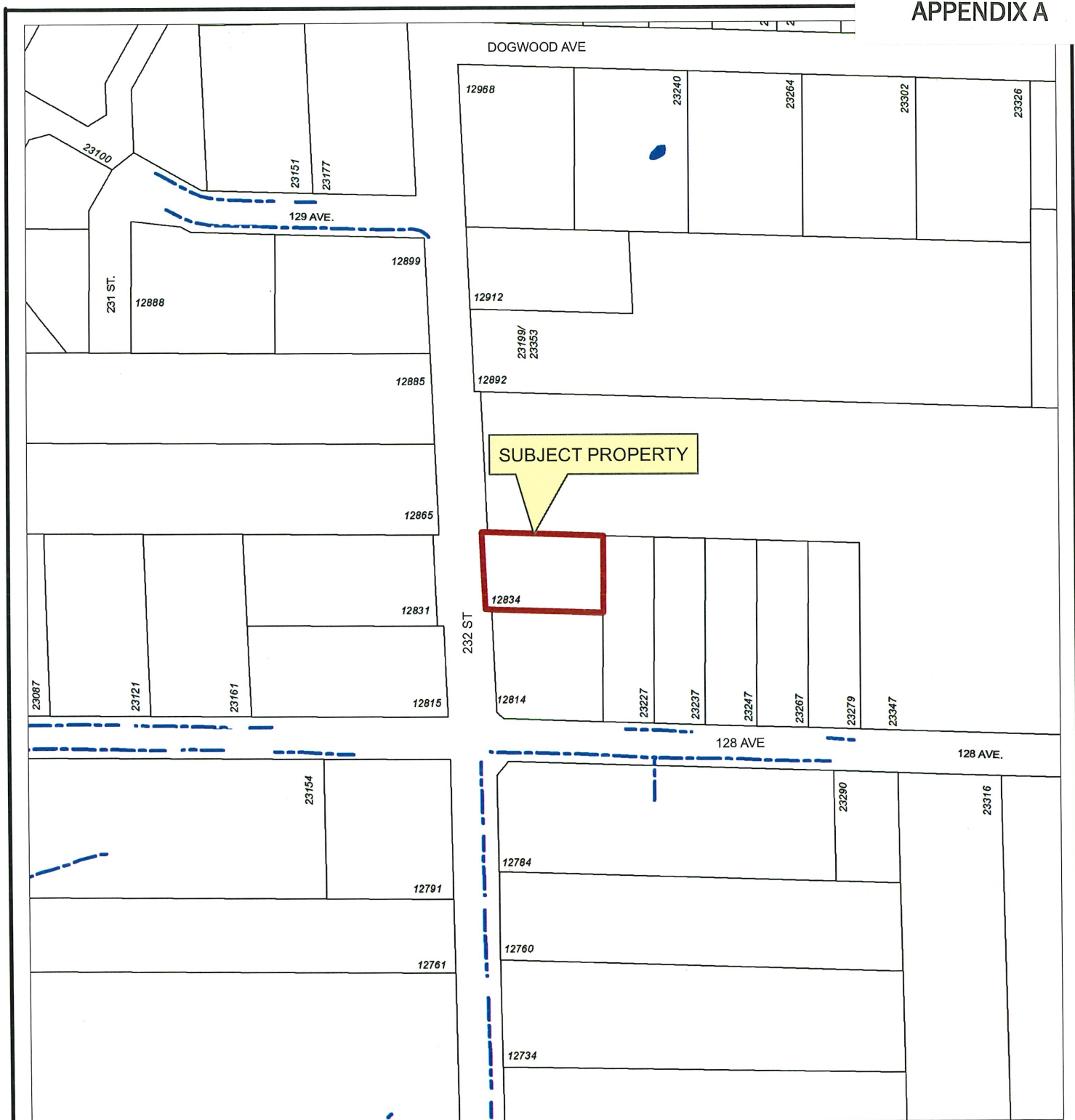
Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development**  
**Services**

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Official Community Plan Amending Bylaw No. 7888-2022
- Appendix D – Zone Amending Bylaw No. 7889-2022
- Appendix E – Site Plan
- Appendix F – Building Elevation Plans
- Appendix G – Landscape Plan
- Appendix H – ADP Design Comments
- Appendix I – Development Information Meeting Summary



SUBJECT PROPERTY

12834

232 ST

12814

128 AVE

128 AVE

12784

12760

12734

23290

23316



### Legend

- Ditch Centreline
- Lake or Reservoir

12834 232 STREET  
PID: 010-514-716

PLANNING DEPARTMENT



MAPLE RIDGE  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

Scale: 1:2,500

FILE: 2020-177-RZ  
DATE: Jun 10, 2020

BY: PC

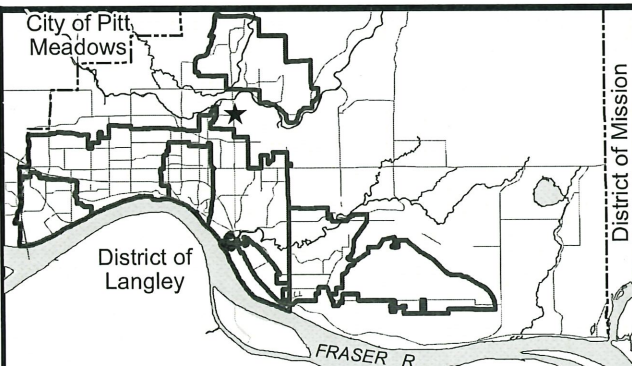




Aerial Imagery from the Spring of 2018



Scale: 1:2,500



12834 232 STREET  
PID: 010-514-716

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: 2020-177-RZ  
DATE: Jun 10, 2020

BY: PC



CORPORATE OFFICER



# MAPLE RIDGE OFFICIAL COMMUNITY AMENDING

Bylaw No. 7888-2022

Map No. 1067

From: Estate Suburban Residential

To: Commercial



SCALE 1:2,500



**CITY OF MAPLE RIDGE  
BYLAW NO. 7889-2022**

A Bylaw to amend the text and Schedule "A" Zoning Bylaw Map  
of Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7889-2022".
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended by inserting the following CD Zone immediately following the last section in Part 10 and numbering it in sequential order accordingly:
  - 10XX **Zone CD-3-22 MEDIUM DENSITY MIXED USE COMMERCIAL AND MARKET APARTMENT RESIDENTIAL**
  - 10XX.1 **PURPOSE**
    1. This zone provides for a Medium Density Mixed Use Commercial and Market Rental Apartment Residential use.
  - 10XX.2 **PRINCIPAL USES**
    1. The following Principal Uses shall be permitted in this Zone:
      - a. Apartment Residential, in conjunction with a minimum of 20% of the Gross Floor Area as a Commercial Use;
      - b. Assembly;
      - c. Business Services;
      - d. Civic;
      - e. Convenience Store;
      - f. Financial Services;
      - g. Indoor Commercial Recreation;
      - h. Licensee Retail Store;
      - i. Personal Repair Services;
      - j. Personal Services;
      - k. Professional Services;
      - l. Retail, excluding Highway Commercial; and
      - m. Tourist Accommodation.

### 10XX.3 ACCESSORY USES

1. The following shall be permitted as Accessory Uses to a permitted Principal Use this Zone:
  - a. Boarding;
  - b. Home Occupation;
  - c. one or two Dwelling Units, Accessory to a Principal Commercial Use; and
  - d. Outdoor Display or sales area.
2. Refer to Sections 401 and 402 of this Bylaw for additional information.

### 10XX.4 LOT AREA AND DIMENSIONS

1. Minimum Lot Area and dimensions shall be not less than:
  - a. in Lot Area 186.0 square metres
  - b. in Lot Width 6.0 metres
  - c. in Lot Depth 27.0 square metres.
2. Minimum Lot Area for Tourist Accommodation shall be not less than:
  - a. in Lot Area 1,390.0 square metres
3. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum Building Envelope dimensions.

### 10XX.5 DENSITY

1. The Residential Floor Space Ratio shall not exceed 0.8 times the Lot Area.
2. Additional Residential Density, up to a maximum of 1.0 times the Lot Area, may be obtained with the following provision:
  - a. an amount up to a maximum of 0.2 times the Lot Area calculated as a ratio of Concealed Parking to the total required Residential Off-Street Parking.
3. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

### 10XX.6 LOT COVERAGE

1. All Principal Buildings and Principal Structures and Accessory Buildings and Accessory Structures together shall not exceed a Lot Coverage of 90% for a Principal Commercial Use however the Lot Coverage may be increased to 100% where required Off-Street Parking is provided in accordance with the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
2. Not less than 20% of the Lot Area shall be developed for a Principal Commercial Use.
3. All Principal Buildings and Principal Structures and Accessory Buildings and Accessory Structures together shall not exceed 75% for a Civic or Assembly Use.
4. Off-Street Parking and Off-Street Loading shall not exceed 75% of the surface area of the Lot.



10XX.7 SETBACKS

1. Minimum Setbacks for Buildings and Structures shall be not less than:
  - a. from a Front Lot Line 0.0 metres
  - b. from a Rear Lot Line 1.4 metres
  - c. from an Interior Side Lot Line (North) 1.7 metres
  - d. from an Interior Side Lot Line (South) 1.4 metres.
2. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

10XX.8 HEIGHT

1. Building Height for a Building or Structure shall not exceed 11.0 metres.
2. Refer to Section 403 (Building Height) of this Bylaw.

10XX.9 LANDSCAPING AND SCREENING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw.

10XX.10 PARKING AND LOADING

1. Off-Street Parking and Off-Street Loading shall be provided in accordance with the H-1 Zone in the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
2. Off-Street Parking and Off-Street Loading for the Assembly (Group Child Care) Use shall be provided at 1 space per 30m<sup>2</sup> of gross floor area.

10XX.11 OTHER REQUIREMENTS

1. A Residential Use shall:
  - a. be limited exclusively to Storeys above the First Storey;
  - b. be the only Use in a Storey so Used;
  - c. be located within a Building above all Storeys which are used for a non-Residential Use;
  - d. be permitted only where all parking for such Use is Concealed Parking;
  - e. have a separate public entrance from the ground floor front elevation if located in a Building or Structure with other Uses, except that on a corner Lot access may be from the ground floor exterior side elevation;
  - f. provide Common Open Area(s) on the Lot for Residential Use at a minimum of 5.0% of the Lot Area and which may be provided as balconies, terraces, patios, Rear Yards, courtyards or roof decks; and
  - g. provide Private Outdoor Area(s) for each Dwelling Unit at a minimum of 5.0% of the Dwelling Unit area or 4.6 square metres, whichever is greater.
2. All Persons carrying out a permitted Civic Use, excluding stadiums, arenas and cemeteries, shall conduct the business or undertaking completely Enclosed within a Building.

3. That parcel or tract of land and premises known and described as:

Lot 10 Block 5 Section 28 Township 12 New Westminster District Plan 19347

and outlined in heavy black line on Map No. 1986 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to CD-3-22 (Comprehensive Development).

4. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map 'A' attached thereto are hereby amended accordingly.

**READ** a first time the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

**READ** a second time the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

**PUBLIC HEARING** held the       day of       , 20

**READ** a third time the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

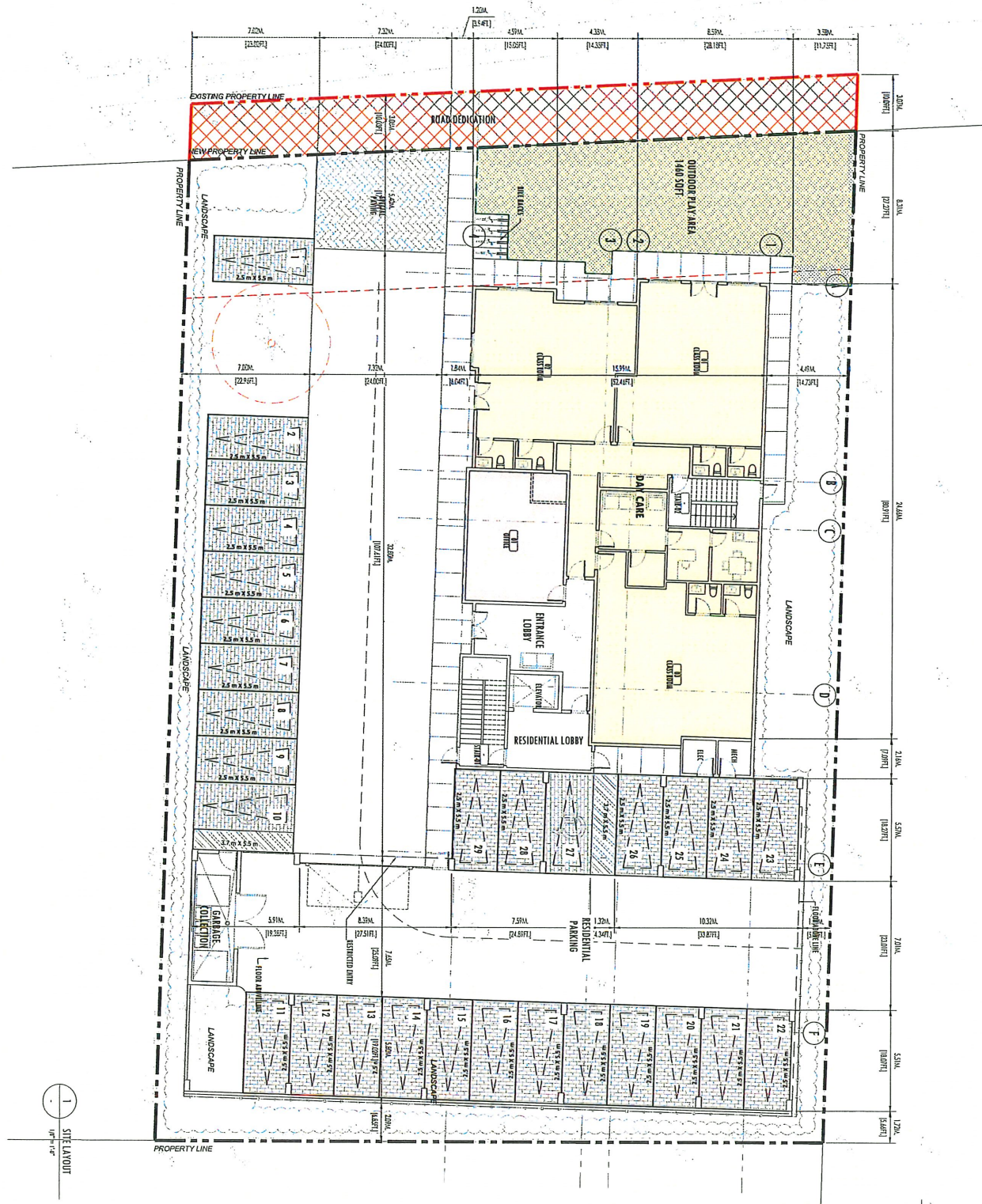
**ADOPTED** the            day of            , 20

**PRESIDING MEMBER**

CORPORATE OFFICER







THESE PLANS COMPLY WITH BCBC 2018

A.D.P.1.1

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SITE LAYOUT

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PROJECT INFO:  
MIXED USE DEVELOPMENT  
12834 232ND ST. MAPLE RIDGE, BC  
CLIENT :  
KULWANT BASSI

Unit 201, 1231 King George Blvd  
Vancouver, BC V6V 1K1  
www.flatarchitecture.ca  
info@flatarchitecture.ca  
PH: 604-507-4444







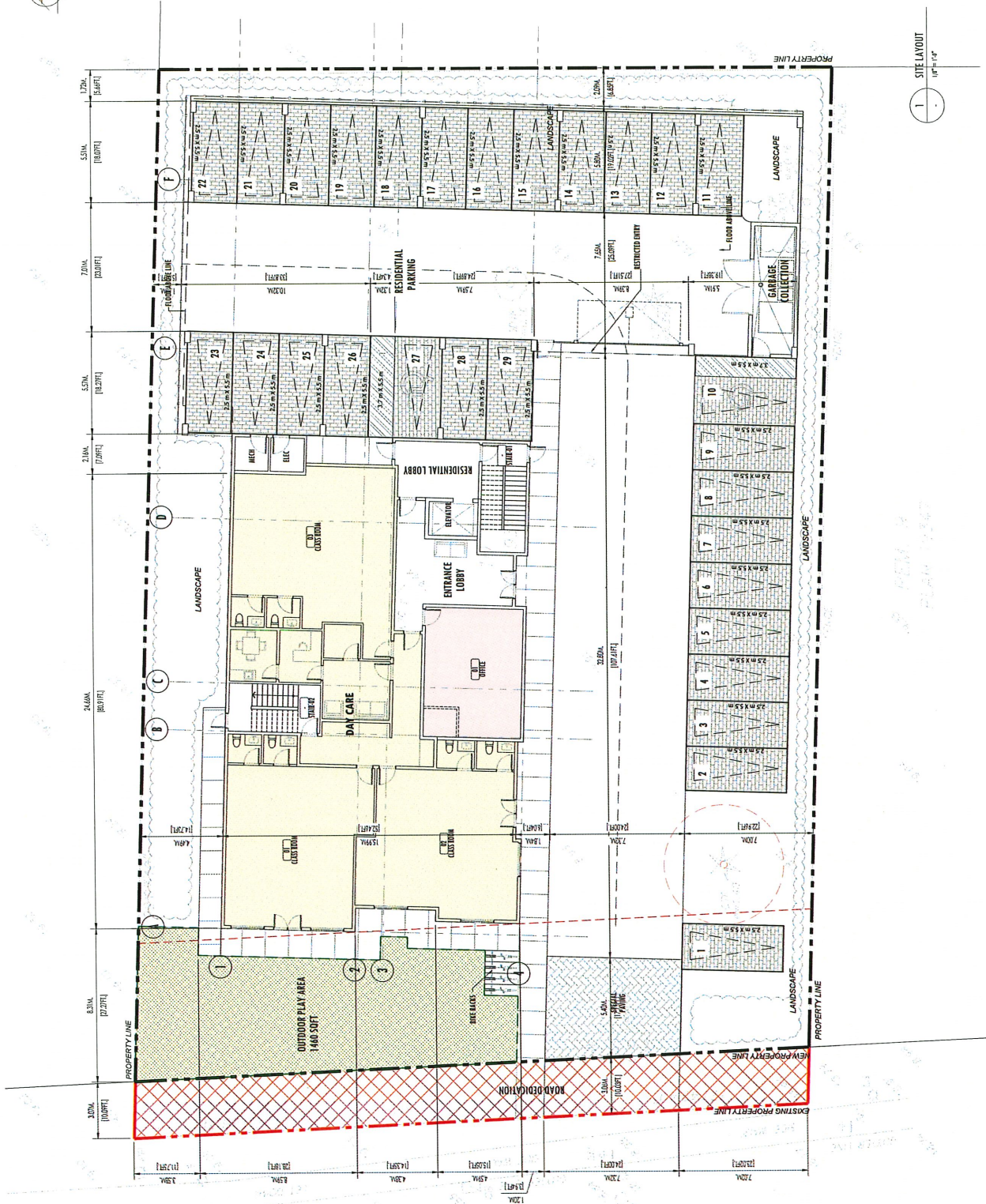
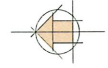
# MIXED USE DEVELOPMENT

12834 232ND STREET, MAPLE RIDGE B.C.



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PROJECT INFO:  
MIXED USE DEVELOPMENT  
12834 232ND ST. MAPLE RIDGE, BC  
CLIENT:  
KULWANT BASSI



PROPOSED MIXED USE DEVELOPMENT

at 12834 232 St., Maple-Ridge, BC

PROPOSED PROJECT

Three storey Mixed use Development  
GROUND LEVEL  
SECOND LEVEL  
THIRD LEVEL

PROJECT DATA

CIVIC ADDRESS 12834 232 St., Maple Ridge, BC  
LEGAL ADDRESS L110; BLK 5; SEC 28; TWP 12; NW10; PL NW193478  
SIZE 22,496.57 SFT. (REFER TO SURVEY)  
ZONING EXISTING RS-2  
ACTUAL USE --

REZONING

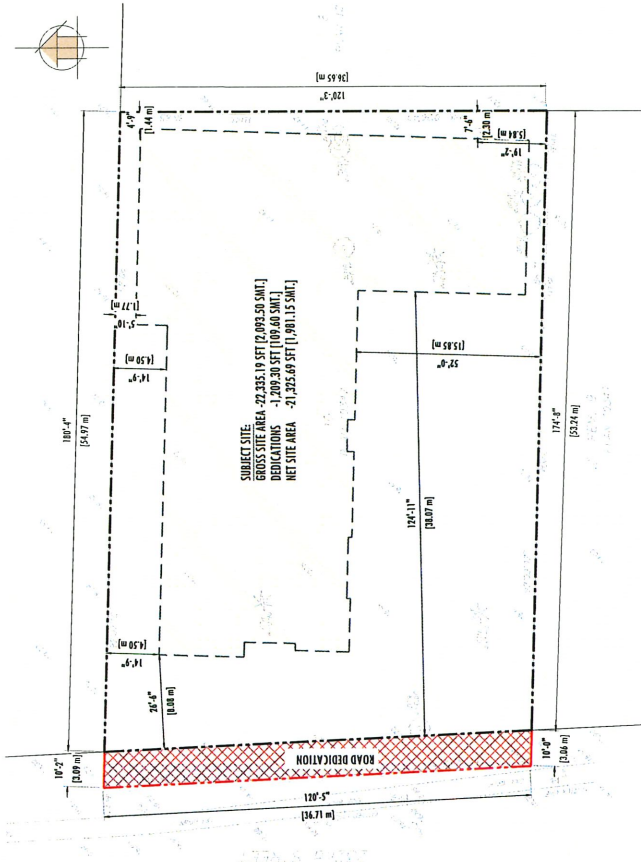
Rezoning Reference # 2020-177-AZ  
Comprehensive Development(CD)  
OCP-ESTIMES

APPLICANT

FLAT ARCHITECTURE Inc.

PROJECT RECONCILIATION:

CIVIC ADDRESS: 12834 232 STREET, MAPLE RIDGE, BC		ZONING INFORMATION:	
EXISTING:	RS-2	CD BASED ON H-1	
PROPOSER:		22,552.19 SFT (2,602.69 SQ.M.)	
LOT AREA:		1,200.30 SFT (112.24 SQ.M.)	
GROSS SITE AREA:		21,352.69 SFT (1,991.15 SQ.M.)	
DEDICATIONS:			
NET SITE AREA:			
LOT DENSITY:			
FLR:			
PROPOSED (NET):		18,462.19 SFT (1,725.57 SFT) = 0.86	
FIRST FLOOR AREA:			
DAY CARE:		3,120 SFT (290.40 SQ.M.) (40 CHILDREN APPROX.)	
NET AREA:			
PARKING REQUIRED (BASED ON NEIGHBOURHOOD DATA):		1 SPACE / TWO (100) RESIDENT EMPLOYEES	4.5 STALLS
		1 SPACE / 10 CHILDREN	4.5 STALLS
TOTAL REQUIRED (DAY CARE):			9.0 STALLS
PARKING REQUIRED BASED ON RESIDENT/COMMERCIAL OFFICE:		PARKING REQUIRED 1 / 40 SQ.M. (OFFICE)	1.0 STALL
TOTAL REQUIRED:			10.0 STALLS
SECOND FLOOR AREA:			
RESIDENTIAL: 14 UNITS		1.0 STALLS PER UNIT:	14.0 STALLS
PARKING REQUIRED			
TOTAL REQUIRED:		0.5 STALLS PER UNIT:	7.0 STALLS
REQUIRED PARKING STALLS:			21.0 STALLS
PROVIDED PARKING STALLS:			20 STALLS (4 ACCESSIBLE)
LOT COVERAGE:			
ALLOWED		90.8 %	
PROPOSED		9,720.2 SFT / 21,352.69 SFT = 45.54%	
BUILDING HEIGHT:			
ALLOWABLE		56' (17.100 M)	
PROPOSED		38' (11.580 M)	



DRAWING LIST (Architectural)

- A.D.P. 0.0 COVER SHEET
- A.D.P. 0.1 PROJECT DATA
- A.D.P. 0.2 CONTEXT PLAN
- A.D.P. 1.1 SITE LAYOUT
- A.D.P. 2.1 MAIN FLOOR PLAN
- A.D.P. 2.2 SECOND FLOOR PLAN
- A.D.P. 2.3 THIRD FLOOR PLAN
- U.P. 1.0. UNIT PLANS
- A.D.P. 3.1 ELEVATIONS
- A.D.P. 3.2 ELEVATIONS
- A.D.P. 3.3 MATERIAL SPECIFICATIONS
- A.D.P. 4.1 SECTIONS
- A.D.P. 4.2 STREETSCAPE VIEW
- A.D.P. 5.1 3D VIEWS
- A.D.P. 5.2 3D VIEWS



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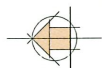
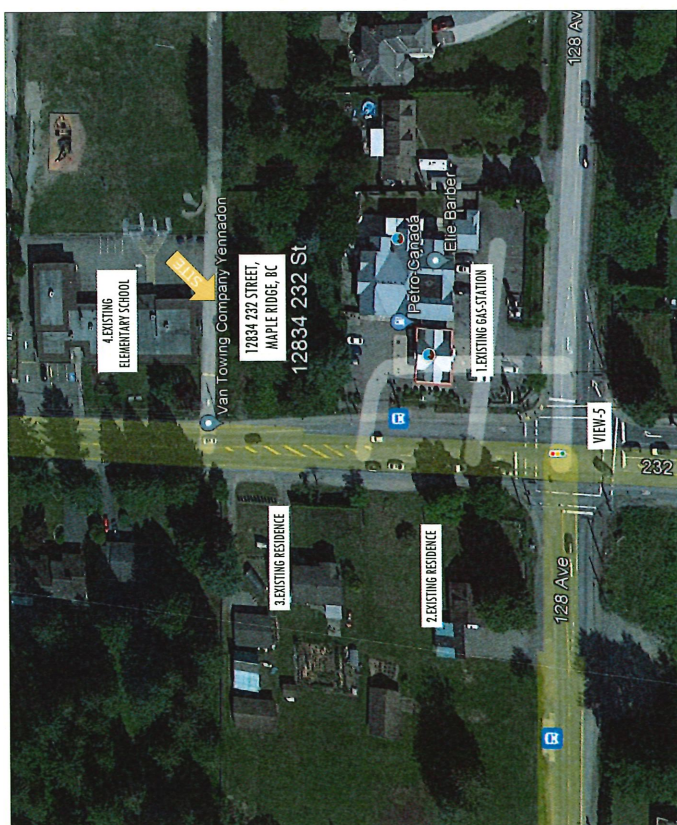
PROJECT INFO:  
MIXED USE DEVELOPMENT  
12834 232ND ST. N.  
CLIENT:  
KULWANT BASSI

PROJECT INFO:  
MIXED USE DEVELOPMENT  
12834 232ND ST. MAPLE RIDGE, BC

Unit 209-6321 King George Blvd  
Surrey BC, V3X 1G1  
www.flataarchitecture.ca  
contact@flataarchitecture.ca  
Ph: 604-503-4484

**FLAT**  
ARCHITECTURE

THESE PLANS COMPLY WITH BCBC 2018





## ELEVATIONS

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[illegible]

PROJECT INFO:  
 334 232ND ST. N.  
 TOWNSHIP: 334 232ND ST. N.  
 TOWNSHIP: 334 232ND ST. N.

RIDGE, BC

Unit 209-6321 King George Blvd  
Surrey BC, V3X 1G1  
www.flatchitecture.ca  
info@flatchitecture.ca  
604-503-4484



	NORTH ELEVATION
2	
-	$3/16" = 1'-0"$

1 WEST ELEVATION (Facing 232nd Street)  
2 1/8" = 1'-0"



## MATERIAL LEGEND

1. HARDIE PANEL - James Hardie "Arctic White"
2. HARDIE PANEL - James Hardie "Arctic White"
3. HORIZONTAL HARDIE SIDING - James Hardie "Arctic White"
4. HARDIE PANEL - James Hardie "Iron Gray"
5. HORIZONTAL HARDIE SIDING - James Hardie "Iron Gray"
6. HORIZONTAL HARDIE SIDING - James Hardie "Iron Gray"
7. Metal Panel - Endcoat Finish
8. THIN BRICKS - Endcoat - "Red Blend"
9. ALUM. HANDRAIL - BLACK
10. GLAZED BALCONY GUARD
11. CORRUGATED METAL PANEL
12. DOOR-PAINT - To Match Iron Gray
13. FACIA - To Match Arctic White (12" x 2")
14. SOFFIT



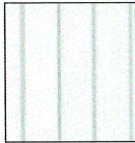








1 HARDIE PANEL  
James Hardie - Arctic White



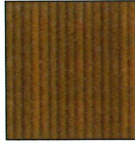
2 HARDIE HORIZONTAL SIDING  
James Hardie - Arctic White



3 HARDIE PANEL  
James Hardie - Iron Gray



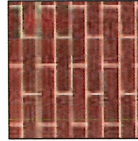
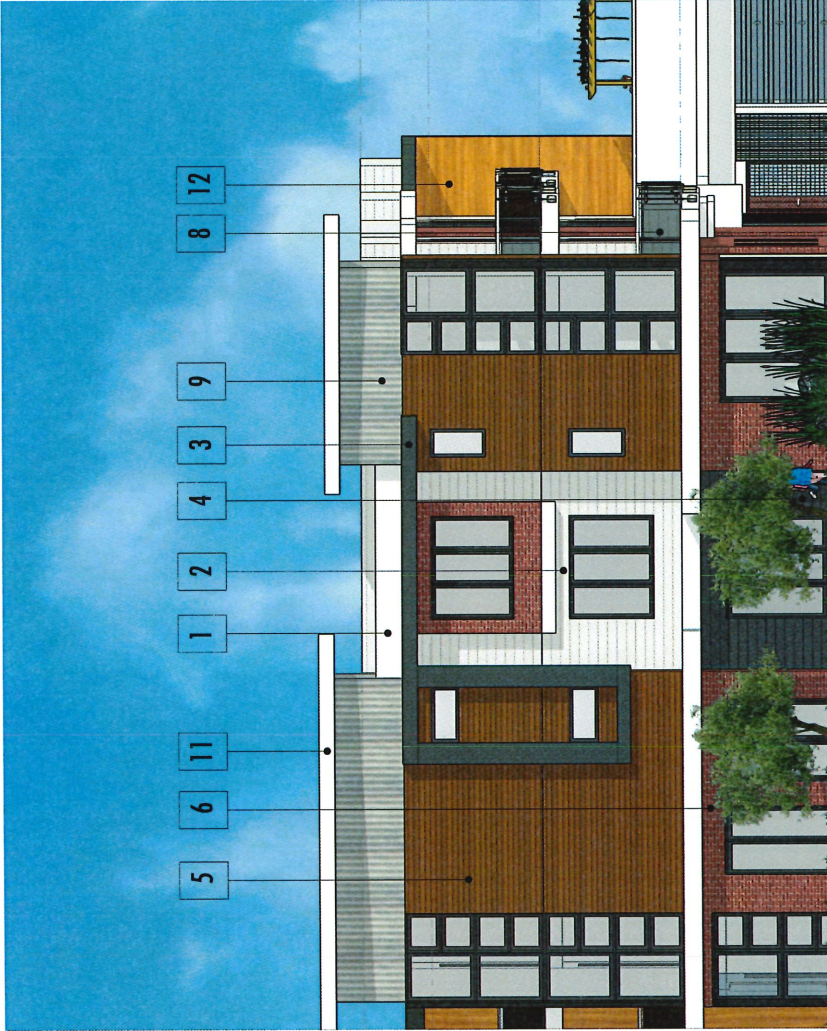
4 HARDIE HORIZONTAL SIDING  
James Hardie - Iron Gray



5 Metal Panel  
Cedar Finish



6 CORRUGATED METAL PANEL



8 THIN BRICKS - ENDICOTT - "RED BLEND"



7 SOFFIT

MATERIAL LEGEND

1. HARDIE PANEL - James Hardie "Arctic White"
2. HARDIE HORIZONTAL SIDING - James Hardie "Arctic White"
3. HARDIE PANEL - James Hardie "Iron Gray"
4. HARDIE HORIZONTAL SIDING - James Hardie "Iron Gray"
5. METAL PANEL - Cedar Finish
6. CORRUGATED METAL PANEL
7. SOFFIT - Cedar Finish
8. THIN BRICKS - Endicott - "Red Blend"
9. GLAZED BALCONY GUARD
10. CORRUGATED METAL PANEL
11. CORRUGATED METAL PANEL
12. SOFFIT

MATERIAL SCHEME

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NO.	DESCRIPTION	KEY
1		
2		
3		
4		
5		
6		
7		
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9		
10		
11		
12		









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PROJECT INFO:  
MIXED USE DEVELOPMENT  
12834 232ND ST. N.  
CLIENT:  
KULWANT BASSI

PROJECT INFO:  
MIXED USE DEVELOPMENT  
12834 232ND ST. MAPLE RIDGE, BC

Unit 209- 6321 King George Blvd  
Surrey BC, V3X 1G1  
www.flatarchitecture.ca  
contact@flatarchitecture.ca



THESE PLANS COMPLY WITH BCBC 2018



**View-4**



View-3

JUL/22	ADP COMMENTS	2
JAN/21	REVISED SITE PLAN	1
DATE	REMARKS	NO.

C. KAVOIJNAS &amp; ASSOCIATES INC.

BCSLA CSIA

2462 JONQUIL COURT  
ABOTSFORD, B.C.  
V1C 1E8

PHONE (604) 857-2376

200

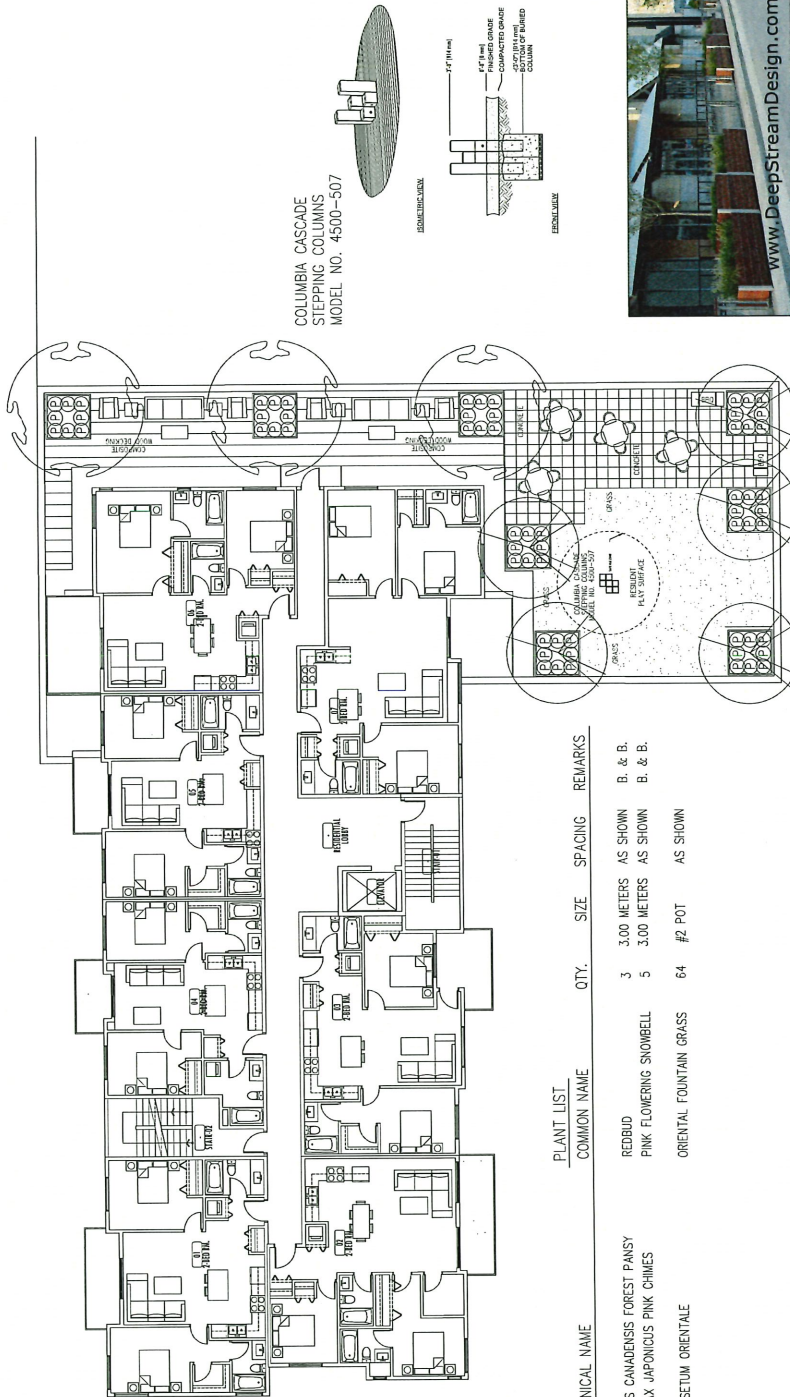
KULWANT BASSI  
c/o FLAT ARCHITECTURE  
SUITE #209  
3321 KING GEORGE BOULEVARD  
SURREY, B.C.  
V3X 1C1  
604-503-4484




PLAN VIEW

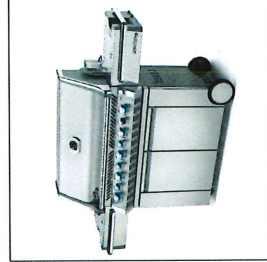
LANDSCAPE PLAN  
FLOOR AMENITY  
DO DEVELOPMENT  
12834 - 232 STREET  
MAPLE RIDGE, B.C.

SCALE	1:100	DATE	MAR/22
DRAWN		CHK'D	
FILED		CHK'D	
APPRO'D		AS BUILT	

PRINTED



KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	GEROS CANADENSIS FOREST PANSY	REDRIID	3	3.00 METERS	A5 SHOWN	B. & B.
	STRYAX JAPONICUS PINK CHIMES	PINK FLOWERING SNOWBELL	5	3.00 METERS	A5 SHOWN	B. & B.
	DEMISECTIM. ORIENTAL F	ORIENTAL FOUNTAIN GRASS	64	#2 POT	A5 SHOWN	



DISTANCES ARE IN METRES





REVISIONS	
DATE	DESCRIPTION
01/17/21	APP COMMENTS
01/17/21	REVISED SITE PLAN
01/17/21	REVISED SITE PLAN

C. KAVOLINIS & ASSOCIATES INC.  
ARCHITECTS  
2402 JONQUIL COURT  
ABINGDON, B.C.  
V9A 1A1  
PHONE (604) 881-2376

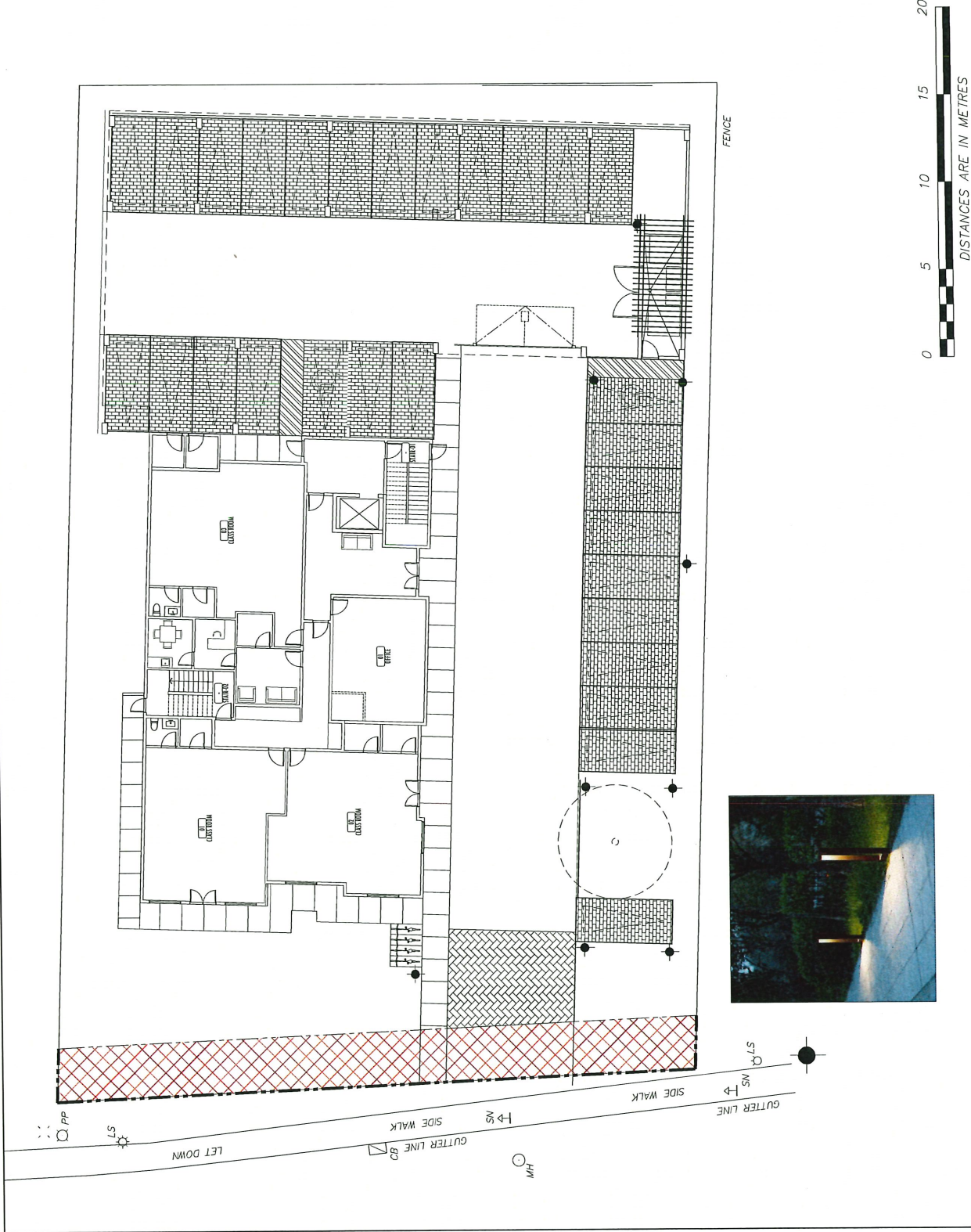
KULWINE BROS  
676 FLAT ARCHITECTURE  
1000 WEST 10TH AVE  
SUITE 100  
VANCOUVER, B.C.  
V6H 1A1  
604-521-4484

TITLE PLAN VIEW

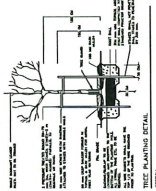
LIGHTING PLAN  
2nd FLOOR AMENITY  
CONDO DEVELOPMENT  
1000 WEST 10TH AVE  
VANCOUVER, B.C.

SCALE 1:100	DATE MAR/22
DRAWN	CHECKED
DATE	DATE
APP'D	AS BUILT

PROJECT	DATE
DATE	DATE
DATE	DATE
DATE	DATE

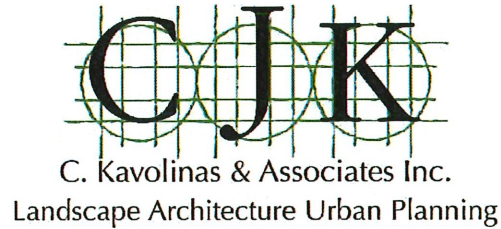


DISTANCES ARE IN METRES



REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL GRADING PLANS AND CROSS-SECTIONS.





## MEMORANDUM

**DATE:** July 27, 2022

**TO:** Rene Tardif, Planner  
City of Maple Ridge

**CC:** Jaswinder Gabri, Flat Architecture  
Kulwant Bassi, owner

**FROM:** Clark J. Kavolinas, C. Kavolinas & Associates Inc.

**RE:** 12834 232 Street, Maple Ridge File R/2021-043

---

As per your email comments, I offer you the following noted in red:

Landscape drawings

1. Consider addressing lack of access to small, grassed area in southeast corner **Southeast corner has now been landscaped**
2. Consider reconfiguration of planters around the perimeter of the play area to provide more usable space **Planting around the perimeter of the play area is meant to control the movement of the children such that they do not wander onto the street**
3. Ensure appropriate fencing around childcare outdoor play area **Picket fence added to prevent children from accessing the street.**

I trust this will meet with your approval.

Please feel free to contact me with any questions and/or concerns.

Regards,  
Clark

**ADP Resolution - 2020-177-DP/12834 232 Street**

**Architectural Comments:**

- Consider integrating structure of the parkade with the architectural language.  
**Updated. Please refer to the sheets ADP.3.1 & ADP.3.2 & ADP.5.1 & ADP.5.2.**
- Opportunity to incorporate garbage enclosure into the same structure, fully enclose it in the parkade.  
**Updated. Please refer sheet no. ADP.1.1. for updates.**
- Consider replacing residential garage door with standard commercial garage door.  
**Updated. Please refer to the sheets ADP.3.1 & ADP.5.1.**





Jaswinder Gabri Architect AIBC  
Principal  
Unit 209, 6321 King George Blvd  
Surrey BC V3X 1G1  
Ph: 778-891-0167  
[jaswinder@flatarchitecture.ca](mailto:jaswinder@flatarchitecture.ca)

August 30, 2022

Rene Tardif  
Maple Ridge Planning Department  
11995 Haney Place  
Maple Ridge, BC V2X 6A9  
Ph: 604-463-5221

**Civic Address:** 12834 232 Street Maple Ridge, BC

**File No.:** 2020-177-RZ

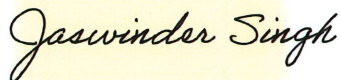
**Public Comments opportunity period:** 11 August till 26 August 2022.

**Number of respondents:** 0

**Comments sheets and correspondence:** No respondents submitted comment sheets nor we have received any emails about the above-said potential development.

**Summary of how issues and concerns identified to be addressed:** N/A

Sincerely,



Jaswinder Gabri Architect AIBC  
Principal



**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
Official Community Plan Amending Bylaw No. 7890-2022  
Second Reading  
Zone Amending Bylaw No. 7811-2021  
10869 and 10911 248 Street

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2021-393-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties, located at 10869 and 10911 248 Street. The first reading report for this application proposed to rezone the subject properties from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential), R-2 (Single Detached (Medium Density) Urban Residential), and R-3 (Single Detached (Intensive) Urban Residential).

This second reading report has amended *Zone Amending Bylaw No. 7811-2021* to rezone the subject properties from RS-3 (Single Detached Rural Residential) to RS-1b (Single Detached (Medium Density) Residential), utilizing the Albion Density Bonus provisions. The proposed RS-1b (Single Detached (Medium Density) Residential) zone utilizing the density bonus will allow the development of approximately 11 R-1 (Single Detached (Low Density) Urban Residential) zone sized lots, 12 R-2 (Single Detached (Medium Density) Urban Residential) zone sized lots, and 11 R-3 (Single Detached (Intensive) Urban Residential) zone sized lots, for a total of approximately 34 lots.

Council granted first reading to *Zone Amending Bylaw No. 7811-2021* and considered the early consultation requirements for the Official Community Plan (OCP) amendment on December 14, 2021.

The proposed development is consistent with the policies contained in the North East Albion Concept Plan that is proposed to be integrated into the Albion Area Plan through *Official Community Plan Amending Bylaw No. 7698-2021*. *Official Community Plan Amending Bylaw No. 7698-2021* received second reading on July 20, 2022 with the Public Hearing set for September 20, 2022, and adoption anticipated for September 27, 2022.

The proposed development is in compliance with the policies of the Albion Area Plan as proposed through *Official Community Plan Amending Bylaw No. 7698-2021*. Ground-truthing on the site has established the developable areas, and as a result, an OCP amendment is required to revise the boundaries of the land use designations to fit the site conditions.

A text amendment to Section 402.8 Density Bonus Albion Area of the Zoning Bylaw is proposed to incorporate the R-2 and R-3 zones as a density bonus option within the Density Bonus for Albion Area section at a rate of \$3,650 per lot. In addition, the R-3 zone Density Bonus requires the preservation of trees to achieve the density bonus.



In order to achieve the Density Bonus provision of R-1 (Single Detached (Low Density) Urban Residential zone sized lots, R-2 (Single Detached (Medium Density) Urban Residential) zoned lots and R-3 (Single Detached (Intensive) Urban Residential) zoned lots, a Density Bonus contribution of approximately \$118,050 will be required.

Pursuant to *Council Policy 6.31*, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$7,100 per single family lot, for an estimated total amount of \$241,400, or such rate applicable at third reading of this application.

#### RECOMMENDATIONS:

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7890-2022* on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7890-2022* be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
3. That it be confirmed that *Official Community Plan Amending Bylaw No. 7890-2022* is consistent with the Capital Expenditure Plan and Waste Management Plan;
4. That *Official Community Plan Amending Bylaw No. 7890-2022* be given first and second reading and be forwarded to Public Hearing;
5. That *Zone Amending Bylaw No. 7811-2021* be given second reading as amended, and forwarded to Public Hearing;
6. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Amendment to Official Community Plan Schedule "A", Chapter 10.2 Albion Area Plan, Schedule 1: Albion Area Plan, Figure 1: Northeast Albion and Schedule "C"
  - iii) Road dedication including, but not limited to 248 Street as required;
  - iv) Park dedication as required, including construction of trails/equestrian trails and removal of all debris and garbage in addition to habitat improvements within the park land;
  - v) Consolidation of the subject properties;
  - vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
  - vii) Registration of a Statutory Right-of-Way plan and agreement as required;

- viii) Registration of a Restrictive Covenant to protect future road alignment and subdivision design;
- ix) Registration of a Restrictive Covenant for Tree Protection;
- x) Registration of a Restrictive Covenant for Stormwater Management;
- xi) Removal of existing buildings;
- xii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;
- xiii) Payment of the Density Bonus provisions of the RS-1b Single Detached (Medium Density) Residential, in the amount of \$118,050 (\$3,100 x 11 lots and \$3,650 x 23 lots); and
- xiv) That a voluntary contribution, in the amount of \$241,400 (\$7,100 x 34 lots), or such rate applicable at third reading of this application, be provided in keeping with the *Council Policy 6.31* with regard to Community Amenity Contributions.

#### DISCUSSION:

##### 1. Background Context:

Applicant:	Aplin and Martin Consultants Ltd.	
Legal Description:	Lot A Section 10 Township 12 New Westminister Plan 21086; and Lot 14 Block E 1/2 Section 10 Township 12 New Westminister Plan 2450	
OCP:		
Existing:	Low Density Residential	
Proposed:	Single Family and Conservation	
Within Urban Area Boundary:	Yes	
Area Plan:	North East Albion Land Use Concept Plan	
OCP Major Corridor:	Yes	
Zoning:		
Existing:	RS-3 (Single Detached Rural Residential)	
Proposed:	RS-1b Single Detached (Medium Density) Residential	
Surrounding Uses:		
North:	Use:	Vacant
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low Density Residential
South:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low Density Residential and Conservation



East:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low/Medium Density Residential and Institutional
West:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low Density Residential and Conservation

Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	1.935 ha (4.78 acres)
Access:	248 Street
Servicing Requirement:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes

## 2. Project Description:

The applicant is proposing to rezone the subject properties from RS-3 (Single Detached Rural Residential) to permit a future subdivision of approximately 34 lots utilizing the density bonus for Albion Area (see Appendix A & B). The proposed density bonus is for 11 R-1 (Single Detached (Low Density) Urban Residential) sized lots; 12 R-2 (Single Detached (Medium Density) Urban Residential) sized lots; and 11 R-3 (Single Detached (Intensive) Urban Residential) sized lots ranging in size from 255m<sup>2</sup> to 371m<sup>2</sup>. The western portions of the subject properties are influenced by tributaries of Kanaka Creek and will form part of the lands that will be protected as dedicated conservation area.

## 3. Planning Analysis:

### i) Official Community Plan:

The North East Albion Area Concept Plan, endorsed by Council on October 1, 2019, has not yet been incorporated into the Official Community Plan, but is used as a guide to review applications on a case by case basis. This has been undertaken for this application. This application is in keeping with the proposed land used designations within the Servicing Concept Plan of the new Area Plan.

Council granted first reading to *Official Community Plan Amending Bylaw No. 7698-2021* on January 26, 2021 to amend the Albion Area Plan and incorporate the Concept Plan. On July 20, 2022 Council granted second reading to *Official Community Plan Amending Bylaw No. 7698-2021* and the Public Hearing is set for September 20, 2022 with the bylaw being anticipated to be adopted on September 27, 2022. The existing Albion Area Plan designates the subject properties as *Low Density Residential*; however, the subject properties fall within the Concept Plan which identifies the properties as *Single Family* and *Conservation*. As this application is proceeding in advance of the North East Albion *Official Community Plan Amending Bylaw No. 7698-2021*, the proposal of single-family residential with the protection of environmentally sensitive areas and significant trees is in keeping with the designations shown in the Concept Plan. Those portions of the land identified as environmentally sensitive areas will be designated as *Conservation* subject to refinement based on ground truthing that has resulted in an amendment to the *Conservation* boundaries.

The Concept Plan breaks up the North East Albion Area into neighbourhood precincts under proposed Policy 10-44. The subject properties are located within the West of 248 Street Precinct. Within this Precinct there are several topics that guide proposed development:

- **Tree Protection** – Clusters of significant trees have been identified. There may be opportunities for future development to cluster single-family homes along with opportunities for smaller forms or residential development, including duplex, triplex or fourplex homes in this area in exchange for the preservation of high-value tree stands .
- **Equestrian Trail** – A trail that connects riders from the existing Kanaka Crossing to Grant Hill. This also helps to create a buffer between much of the environmentally sensitive area and future development (Appendix E).
- **Wildlife Corridor** – Existing wildlife movement corridors will be preserved in support of wildlife conservation and resident safety (Appendix E).
- **Single Family** – Locating detached homes in the south respects and reflects the character of the existing homes nearby (Appendix E).

The *Single Family* designation for the North East Albion Area is intended for detached dwellings on rural to smaller urban lots, allowing for a range of homeownership opportunities. The following proposed policies support the proposed application.

- **Policy 10-48** *Rear-loaded forms of housing will be encouraged along collector and arterial roads.*

The proposed concept plan includes rear-loaded R-3 zoned lots along 248 Street which is an Arterial Road obtained through the density bonus provisions of the Albion Area plan from the RS-1b zone.

- **Policy 10-49** *A smooth transition between single-family homes and more intensive forms of housing development, along 112<sup>th</sup> Avenue, 110<sup>th</sup> Avenue and 248<sup>th</sup> Street, should be providing through a range of lot sizes.*

The proposed concept plan has R-3 sized lots (255m<sup>2</sup> min. size) along 248 Street with R-2 sized lots (315m<sup>2</sup> min. size) in the centre of the proposed development with more R-1 zoned lots (371m<sup>2</sup> min. size) in the western portion of the site achieved through the density bonus provisions of the Albion Area plan from the RS-1b zone. This mix of zones provides higher density along the arterial road with lower density larger lot sizes moving towards the west providing a smooth transition of density and varied lots sizes. It also provides for the protection of significant tree clusters and the protection of Environmentally Sensitive Areas.

## ii) **Zoning Bylaw:**

The current application proposes to rezone the properties located at 10869 and 10911 248 Street from RS-3 (Single Detached Rural Residential) to RS-1b Single Detached (Medium Density) Residential with a density bonus, to permit future subdivision of 34 lots (Appendix F) through the Density Bonus for Albion Area. The table below details the proposed lots.

<b>Proposed Density Bonus Zone Sized Lots</b>	<b>Minimum Lot Area</b>	<b>Estimated No. of Lots</b>
R-1 (Single Detached (Low Density) Urban Residential)	371m <sup>2</sup>	11
R-2 (Single Detached (Medium Density) Urban Residential)	315m <sup>2</sup>	12
R-3 (Single Detached (Intensive) Urban Residential)	255m <sup>2</sup>	11



iii) **Off-Street Parking and Loading Bylaw:**

Each of the residential zones requires two off-street parking stalls to be provided per lot. The R-1 Single Detached (Low Density) Urban Residential) lots permits a secondary suite as an accessory use; an additional parking stall would be required if a secondary suite was developed in those homes.

iv) **Development Permits:**

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments and building permits within 50 metres of the top of bank of all watercourses and wetlands. The purpose of the Watercourse Protection Development Permit is to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated *Conservation* on Schedule "B" or all areas within 50 metres of an area designated *Conservation* on Schedule "B",
- All lands with an average natural slope of greater than 15 percent; and
- All floodplain areas and forest lands identified on Schedule "C"

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

v) **Development Information Meeting:**

In lieu of a Development Information meeting, an interim process had been established to allow for a ten day Public Comment Opportunity. The notification requirements were the same as for the Development Information Meeting and included a mail-out, newspaper advertisements, and notice on the development signs that provided the contact information for the developer and the Public Comment Opportunity.

A summary of the main comments and discussions from six members of the public during the Public Comment Opportunity between July 27, 2022 – August 8, 2022 was provided by the applicant (see Appendix G) and include the following main points:

- *Will there be homes and road west of 248 Street? When will the construction start?*
- *Email to support the proposed rezoning to create new single-family homes. That bringing more homes into Maple Ridge is a key part in growing the local economy, especially in regards to locally owned businesses.*
- *The location of proposed lane and new road.*
- *The number of parking spaces per lot and will there be no public parking signs on the east side of 248 Street.*

The following were provided by the applicant in response to the issues raised by the public:

- *The development entails building a new road parallel to 248 Street with a lane in between. Houses would face 248 Street and the new road. Can not provide an exact date, but would positive if it commenced mid 2023.*
- *Acknowledge positive email.*
- *Provided details of the location of the proposed lane and new road.*
- *The proposed development will provide the required parking requirements of the City. If there is illegal parking the City would need to enforce any parking contraventions.*

vi) **Parkland Requirement:**

As there are more than two additional lots proposed to be created, the developer will be required to comply with the park dedication requirements of Section 510 of the *Local Government Act* prior to subdivision approval.

For this project, there is sufficient land that proposed to be dedicated as park on the subject properties as a condition of final reading. There will be approximately 1.02 ha (2.53 acres) of land being dedicated as park for conservation.

**4. Environmental Implications:**

The proposed site plan has been considered through an extensive review with the Environmental Section and the applicant's Environmental Professionals. The site plan reflects this collaborative approach in site design. The site design included the recommendations of the Environmental Impact Assessment, the Arborist Report and the Geotechnical Report.

**5. Interdepartmental Implications:**

i) **Engineering Department:**

The Engineering Department has indicated that the following servicing upgrades will be required through the Rezoning Servicing Agreement:

- Road dedication as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- Utility servicing as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- Construction of a sanitary lift station and forcemain.
- Frontage upgrades to the applicable urban road standard for 248 Street
- Installation of a temporary pedestrian facility on 248 Street from 108 Avenue to the development site.
- Acceptance of a water and sanitary analysis report. The development is proposing a sanitary solution that does not follow the sanitary master plan proposed in the current Northeast Albion Land Use and Servicing Concept Plan which may result in infrastructure upgrades, the cost of which is to be solely at the applicant's expense.
- Acceptance of a hydrogeological report and stormwater management plan. The stormwater management plan may impact the proposed lot and road layout.



ii) **Parks, Recreation and Culture Department:**

The following need to be addressed:

- Final location of trail to be outside of watercourse setbacks.
- Trail layout as shown on revised plans is generally acceptable. Trail to meet the standard City detail for longitudinal slopes and cross slopes and to field fit trail to City approval prior to construction.
- Trail to be constructed as part of the rezoning works for this site and not deferred construction.
- Vehicle barrier fence required between the strata road and the public trail to City's standard detail. One pedestrian opening should be included for access to and from the bareland strata.

**6. School District No. 42 Comments:**

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. The response from School District No. 42 is attached as Appendix H.

**7. Intergovernmental Issues:**

i) **Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, to *Conservation* boundaries, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

**8. Citizen/Customer Implications:**

The applicant has conducted Public Comment Opportunity which is a City requirement. The applicant advised that a total of six emails and phone calls had been received during the Public Comment Opportunity. There is a statutory public hearing required as part of the rezoning process for this application.

## CONCLUSION:

It is recommended that first and second reading be given to *Official Community Plan Amending Bylaw No. 7890-2022*, that second reading as amended be given to *Zone Amending Bylaw No. 7811-2021*, and that application 2021-393-RZ be forwarded to Public Hearing.

"Original signed by Wendy Cooper"

Prepared by: **Wendy Cooper, M.Sc., MCIP, RPP**  
**Planner**

"Original signed by Mark McMullen" for

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development**  
**Services**

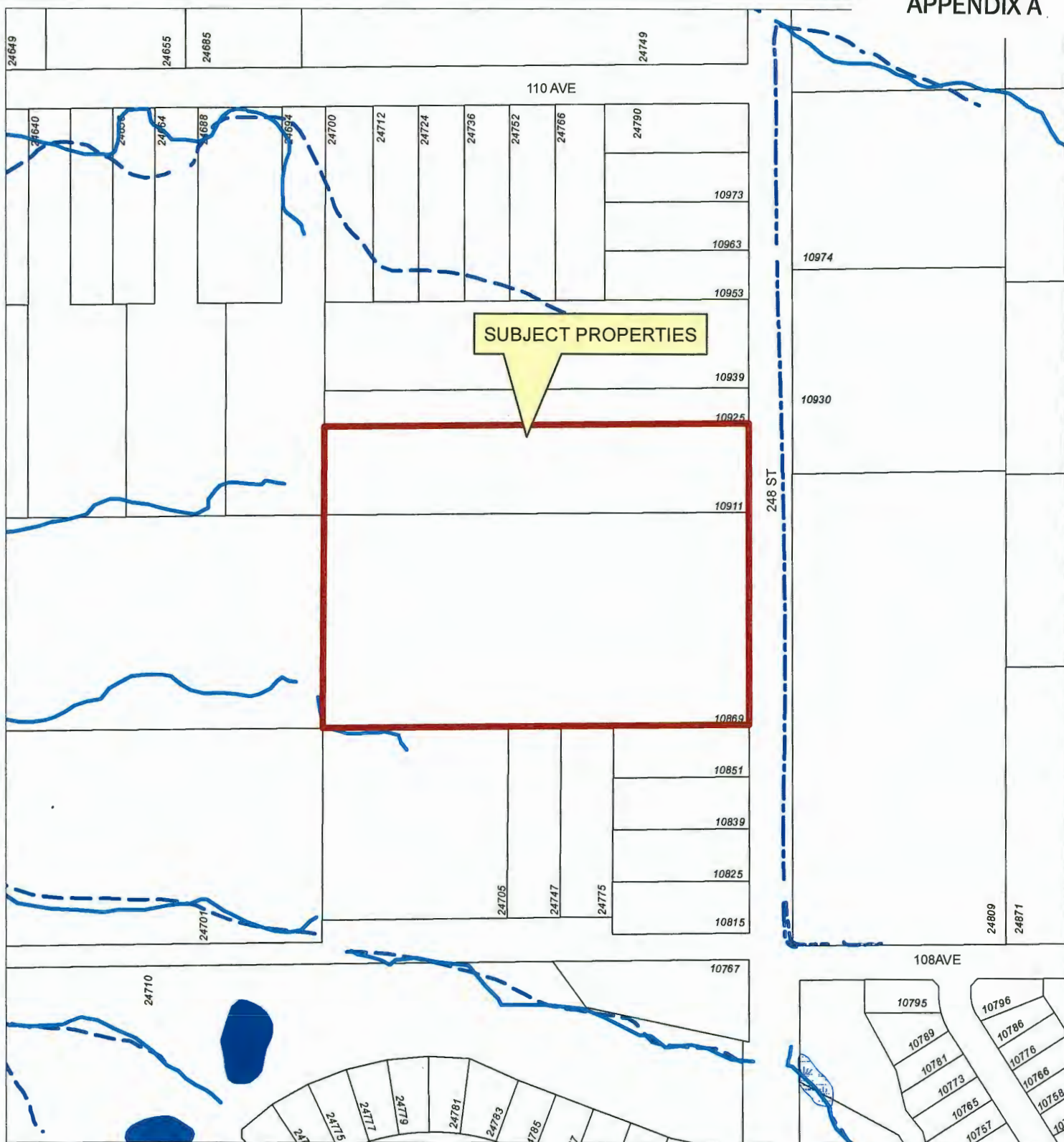
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7811-2021
- Appendix D – Official Community Plan Amending Bylaw No. 7890-2022
- Appendix E – Draft North East Albion Area Plan Schedule 2 2021-393-RZ.
- Appendix E – Draft North East Albion Figure 1 Watercourses and Mature Forests
- Appendix E – Draft North East Albion Figure 2 Proposed Neighbourhood Parks and Trails
- Appendix F – Concept Plan
- Appendix G – Public Comment
- Appendix H – School District No. 42 Referral Comments





SUBJECT PROPERTIES



Scale: 1:2,500

**Legend**

- Stream
- Ditch Centreline
- ..... Edge of Marsh
- - - - Indefinite Creek
- Lake or Reservoir
- ▨ Marsh

**10869 & 10911 248 STREET**  
**PID'S: 004-369-751 & 004-111-371**

PLANNING DEPARTMENT

**mapleridge.ca**





Scale: 1:2,500

10869 & 10911 248 STREET  
PID'S: 004-369-751 & 004-111-371

PLANNING DEPARTMENT



MAPLE RIDGE  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2021-393-RZ  
DATE: Jul 27, 2021

BY: PC



**CITY OF MAPLE RIDGE  
BYLAW NO. 7811-2021**

A Bylaw to amend Schedule 'A' Zoning Map forming part of  
Zoning Bylaw No. 7600-2019 as amended

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7811-2021."
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended as follows:
3. THAT PART 4 – GENERAL REGULATIONS, SECTION 402.8 DENSITY BONUS ALBION AREA, SUBSECTION 3 is amended as follows by adding:
  - d.) In the RS-1b Zone located within the North East Albion Area as identified on Figure 1 of the Albion Area Plan:
    - i) Zone requirements consistent with the R-2 (Single Detached (Medium Density) Urban Residential) shall apply and shall supercede the Zone requirements of the RS-1b Zone;
    - ii) an Amenity Contribution of \$3,650.00 shall be required for each lot in a subdivision with a minimum Lot Area of less than 557.0 square metres but not less than 315.00 square metres; and
    - iii) an Amenity Contribution shall be payable at the time of zoning.
  - e) in the RS-1b Zone located within the North East Albion Area as identified on Figure 1 of the Albion Area Plan:
    - i) Zone requirements consistent with the R-3 (Single Detached (Intensive) Urban Residential) shall apply and shall supercede the Zone requirements of the RS-1b Zone;
    - ii) an Amenity Contribution of \$3,650.00 shall be required for each lot in a subdivision with a minimum Lot Area of less than 557.0 square metres but not less than 255.00 square metres in addition to the preservation of high-value tree stands as provided in the Albion Area Plan as determined through the zoning process; and
    - iii) an Amenity Contribution shall be payable at the time of zoning.
4. Those parcels or tracts of land and premises known and described as:
 

Lot A Section 10 Township 12 New Westminster District Plan 21086; and  
Lot 14 Block E1/2 Section 10 Township 12 New Westminster District Plan 2450

and outlined in heavy black line on Map No. 1936 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-1b Single Detached (Medium Density) Residential.

CORPORATE OFFICER





**CITY OF MAPLE RIDGE  
BYLAW NO. 7890-2022**

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

---

**WHEREAS** Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

**AND WHEREAS** it is deemed expedient to amend Schedules "A" & "C" to the Official Community Plan;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7890-2022."
2. Schedule "A", Chapter 10.2 Albion Area Plan, Schedule 1: Albion Area Plan and "Figure 1: Northeast Albion" is/are hereby amended for that parcel or tract of land and premises known and described as:  
 Lot A Section 10 Township 12 New Westminster District Plan 21086; and  
 Lot 14 Block E1/2 Section 10 Township 12 New Westminster District Plan 2450  
  
 and outlined in heavy black line on Map No. 1068, a copy of which is attached hereto and forms part of this bylaw, are hereby designated as shown.
3. Schedule "C" is hereby amended for that parcel or tract of land and premises known and described as:  
 Lot A Section 10 Township 12 New Westminster District Plan 21086; and  
 Lot 14 Block E1/2 Section 10 Township 12 New Westminster District Plan 2450  
  
 and outlined in heavy black line on Map No. 1069, a copy of which is attached hereto and forms part of this Bylaw, is hereby amended by adding Conservation.
4. Maple Ridge Official Community Plan Bylaw No. 7060-2014 is hereby amended accordingly.

**READ** a first time the      day of                      , 20 .

**READ** a second time the      day of                      , 20 .

**PUBLIC HEARING** held the      day of                      , 20 .

**READ** a third time the      day of                      , 20 .

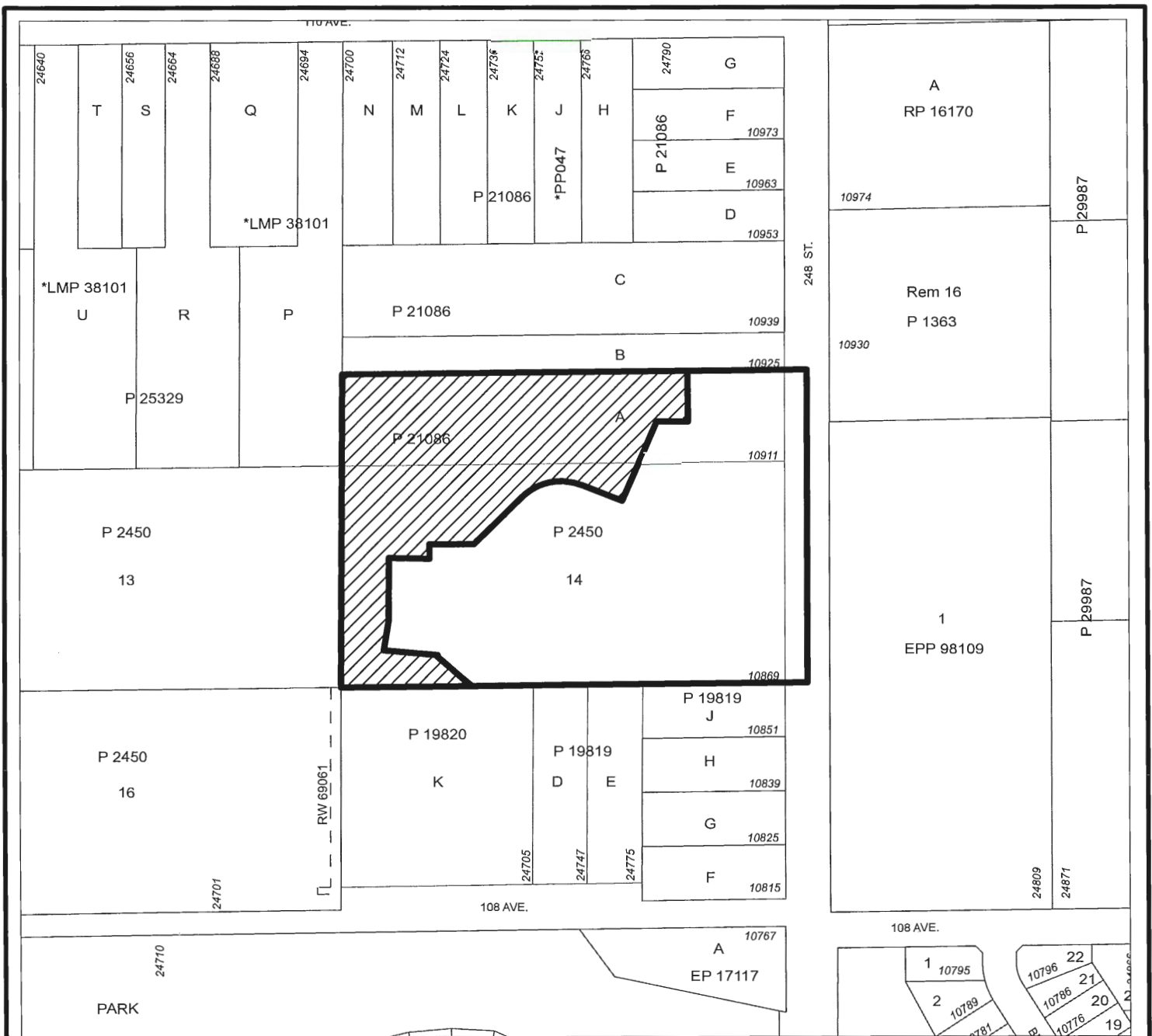
**ADOPTED** the      day of                      , 20 .

---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**



# MAPLE RIDGE OFFICIAL COMMUNITY AMENDING

Bylaw No. 7890-2022

Map No. 1068

Purpose: To Amend Albion Area Plan Schedule 1

From: Low Density Residential

To: ☐ Single Family

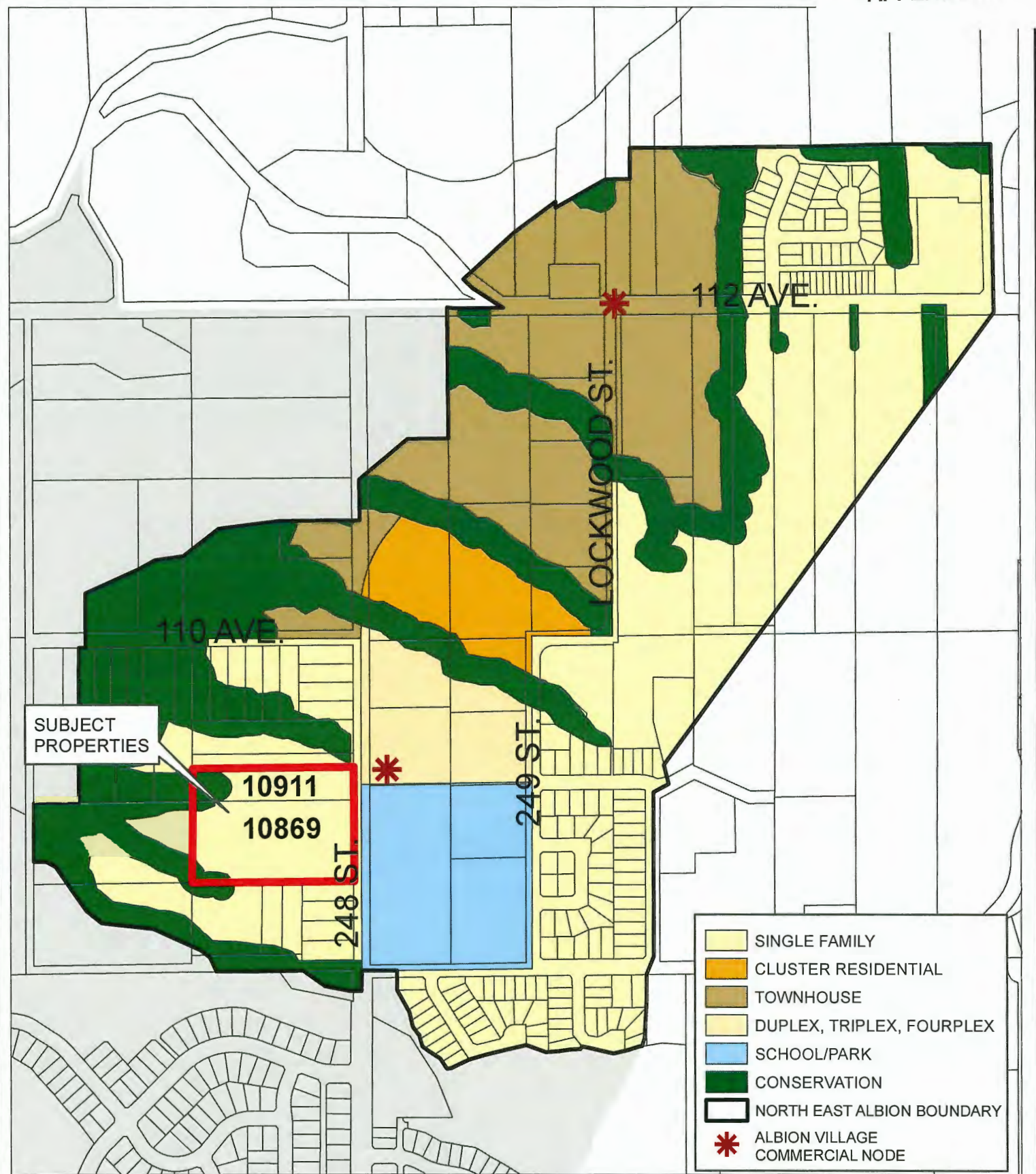
☒ Conservation



SCALE 1:2,500

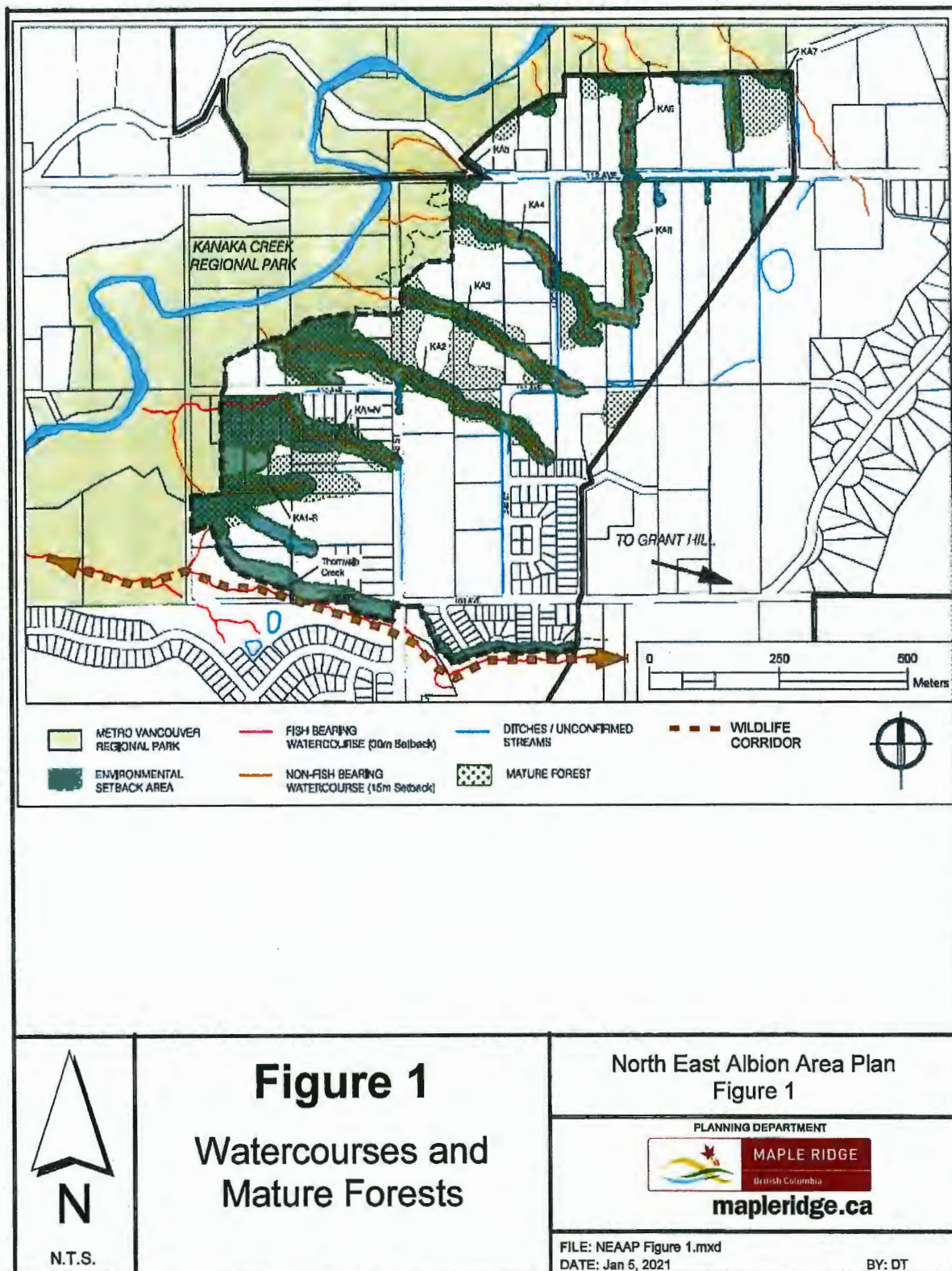




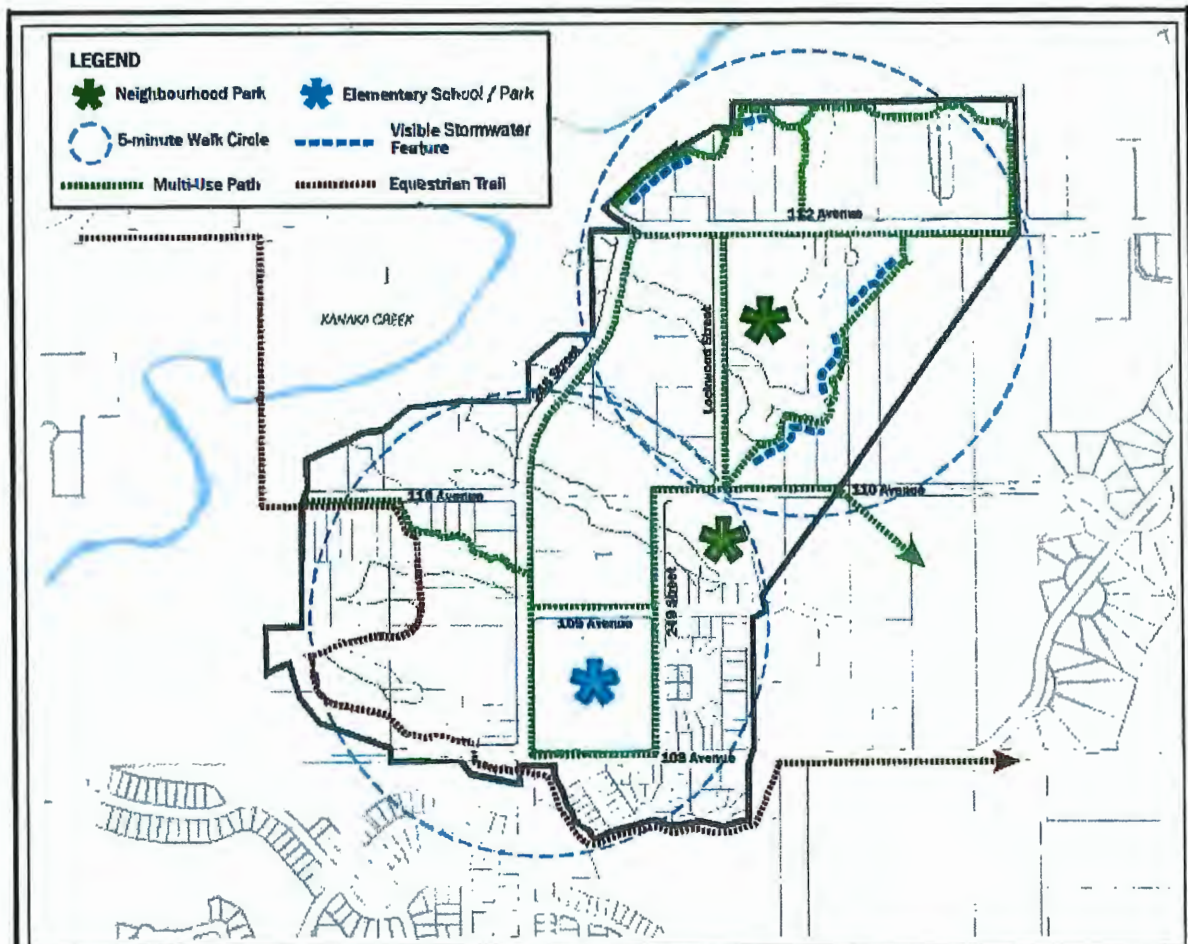


# NORTH EAST ALBION AREA PLAN "SCHEDULE 2"









N

N.T.S.

## Figure 2

### Proposed Neighbourhood Parks and Trails

North East Albion Area Plan  
Figure 2

PLANNING DEPARTMENT



MAPLE RIDGE

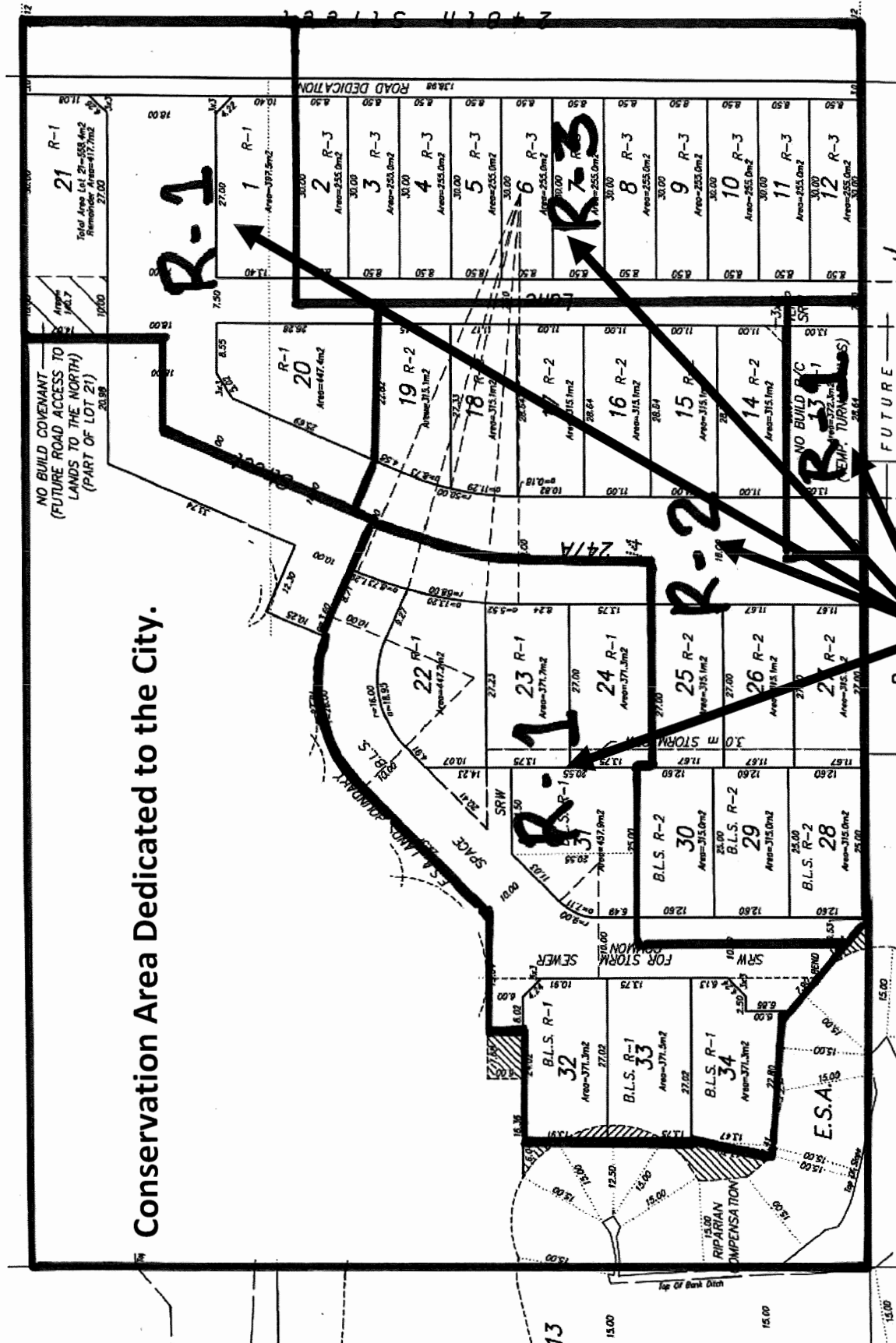
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: NEAAP Figure 2.mxd

DATE: Jan 5, 2021

BY: DT



Subject property will be zoned to RS-1B Single Detached (Medium Density) then the following Zones will be allocated under the Density Bonus provisions for the Albion Area as shown on the plan.



**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

August 15, 2022

Maple Ridge File No. 2021-393-RZ

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC, V2X 6A9

**Attention: Wendy Cooper**

Dear Wendy,

**Re: Summary of Public Comment Opportunity (PCO) - File No. 2021-393-RZ**

---

Aplin & Martin Consultants (Aplin Martin) as the agent on the file for 2021-393-RZ held a Public Comment Opportunity regarding Rezoning application for the properties located at 10869 and 10911 248 Street, Maple Ridge, BC. The following is a summary of the conversations and comments received during the comment period, and afterward up to the date of this letter.

Date Range: July 27<sup>th</sup>, 2022 ~ August 8<sup>th</sup>, 2022.

Consultant: David Laird, Aplin & Martin Consultants Ltd

## **NOTIFICATION**

### **Notification Decal**

Two Public Comment Opportunity (PCO) notification decals were posted on the site's development signs on the site on **July 8<sup>th</sup>, 2022**. The decal included the contact email and date range to submit comments.

A photo of the Decal has been included in this summary.

### **Newspaper Ad**

A Public Comment Opportunity advertisement was published in two consecutive issues of the local newspaper, The Maple Ridge Pitt Meadows News, as per Maple Ridge Council Policy No. 6.20. The first ad was located on page **A29 of the July 15<sup>th</sup>** issue and the second ad was located on page **A35 of the July 22<sup>nd</sup>** issue.

Copies of the Newspaper Ads are included in this summary.

### **PCO Notification Letter**

A list of 46 mailing labels was prepared for all property owners and residents within 100 meters of the development site by the City of Maple Ridge. Aplin Martin mailed all 46 notification letters on July 12<sup>th</sup>, over ten days in advance of the PCO date range, as per Maple Ridge Council Policy No. 6.20.

A copy of the Postcard Mailout is included in this summary.

As of August 10th, none (0) of the mailouts have been returned to Aplin Martin.



## PCO RESULTS & ANALYSIS

During the comment date range, Aplin Martin received emails and calls from various neighbors regarding the proposed development.

A copy of all the emails sent in during the Public Comment Opportunity date range and our reply to any inquiries are included in this summary.

Should you have any further questions, please contact the undersigned at 604-817-4695 or at [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com).

Yours truly,

**APLIN & MARTIN CONSULTANTS LTD**

David Laird, P. Eng  
Project Manager

SG: SA  
Enclosures  
20-268 PCO Summary for 10869 and 10911 248 Maple Ridge - 2021-393-RZ

# APPENDIX I:

---

Decal Signs Installed – July 8th

# DEVELOPMENT APPLICATION

2021-393-RZ\_10911  
& 10869 248 St  
NO. 2021-393-RZ

## PROPOSED REZONING

From R2-3 (One Family Rural Residential) to R1 (Residential Districts R1-2 (Urban Residential District) and R1-3 (Suburban Residential District)) to enable a future subdivision of approximately 34 lots (existing in June 2021 was 10, 528 sq ft).

Number of lots: 34

Lot Area: 2,078 sq ft

These numbers are approximate, only used for rough estimate of total acreage.

## LOCATION



## PROPOSED DEVELOPMENT



## FOR MORE INFO

**APPLICANT:**  
Agri & Martin Consultants  
404.817.4695  
agmartin@agmartin.com  
www.agmartin.com

**PLANNING DEPARTMENT:**  
404.487.7341  
planning@mcclintockga.gov  
www.mcclintockga.gov  
LandDevelopmentView

## BE PART OF THE PROCESS

Please submit your comments to  
standards@mcclintockga.gov between Wednesday,  
July 27th and Monday, August 1st, 2022

July 8, 2022



## APPENDIX II:

---

Newspaper Ads – July 15<sup>th</sup> – July 22<sup>nd</sup>

Legal	Legal	Legal	Legal
Legal Notices	Legal Notices	Legal Notices	Legal Notices

### PUBLIC COMMENT OPPORTUNITY FOR PROPOSED DEVELOPMENT

10869 and 10911 248 Street, Maple Ridge, BC

You are invited to participate in a Public Comment Opportunity where representatives from Aplin Martin will be available by phone and email to provide details on the Reasoning Application 2021-293-R2. The purpose of the application is to develop 10869 and 10911 248 Street, Maple Ridge, BC into thirty four (34) single family lots zoned as R-1, R-2 and R-3. The intent of this Public Comment Opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise. Your comments and questions are important to us.

#### HOW TO SUBMIT COMMENTS:

P: 604-817-4695

E: [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

Submit your comments

between Wednesday,

July 27th - Monday,

August 1st, 2022

#### FOR MORE INFORMATION:

Aplin Martin

David Laird, Project Engineer

604-817-4695

[dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

City of Maple Ridge

Planning Department

604-467-7341

[planning@mapleridge.ca](mailto:planning@mapleridge.ca)



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- Troubleshooting & wiring repair
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604-844-4222

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OVER 30 YEARS OF WORK

Timber deck, fence and landscape tree

removal and repair.

For further details call Robert

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Mike 604-961-1280

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Call for a Quote: 604.803.5041

[benchmarkpainting.ca](http://benchmarkpainting.ca)

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## Legal Notices

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planning@mapleridge.ca

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604-467-7341  
planning@mapleridge.ca

---

planning@mapleridge.ca





# APPENDIX III:

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## Postcard Notification



## PUBLIC COMMENT OPPORTUNITY

**For the Proposed Development at 10869 and 10911  
248 Street, Maple Ridge, BC | File No. 2021-393-RZ.**

You are invited to participate in the Public Comment Opportunity to review and provide comments on the proposed development at 10869 and 10911 248 Street, Maple Ridge, BC. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

### PUBLIC COMMENT OPPORTUNITY DATE RANGE:

**Wednesday, July 27th - Monday, August 8th, 2022**

### EMAIL FOR INFO OR TO PROVIDE COMMENTS:

David Laird, Project Manager  
Aplin & Martin Consultants Ltd  
dlaird@aplinmartin.com | 604-817-4695



## PUBLIC COMMENT OPPORTUNITY

**For the Proposed Development at 10869 and 10911  
248 Street, Maple Ridge, BC | File No. 2021-393-RZ.**

You are invited to participate in the Public Comment Opportunity to review and provide comments on the proposed development at 10869 and 10911 248 Street, Maple Ridge, BC. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

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### EMAIL FOR INFO OR TO PROVIDE COMMENTS:

David Laird, Project Manager  
Aplin & Martin Consultants Ltd  
dlaird@aplinmartin.com | 604-817-4695

## PUBLIC COMMENT OPPORTUNITY | File No. 2021-393-RZ

10869 and 10911 248 Street, Maple Ridge, BC

### OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

Current: Low Density Residential  
Proposed: Low Density Residential

### ZONING

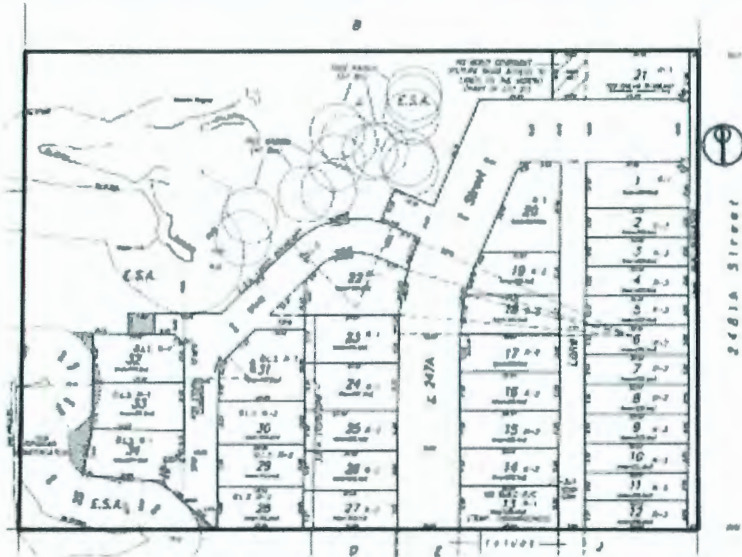
Current: RS-3  
Proposed: R-1, R-2, R-3

### # OF LOTS

Current: 2  
Proposed: 11 Lots zoned as R-3  
12 Lots zoned as R-2  
11 Lots zoned as R-1

### PROPOSED LOT SIZE RANGE

Current: 8030 sq. m - 19350 sq. m.  
Proposed: 255 sq. m - 588 sq. m



Your thoughts are important to us. If you require additional information and/or would like to provide your comments, please do not hesitate to contact David Laird at [dlaird@aplmmartin.com](mailto:dlaird@aplmmartin.com) or 604 817-4695 or the City of Maple Ridge Planning Department at 604-467-7341 or [planning@mapleridge.ca](mailto:planning@mapleridge.ca)

## PUBLIC COMMENT OPPORTUNITY | File No. 2021-393-RZ

10869 and 10911 248 Street, Maple Ridge, BC

### OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

Current: Low Density Residential  
Proposed: Low Density Residential

### ZONING

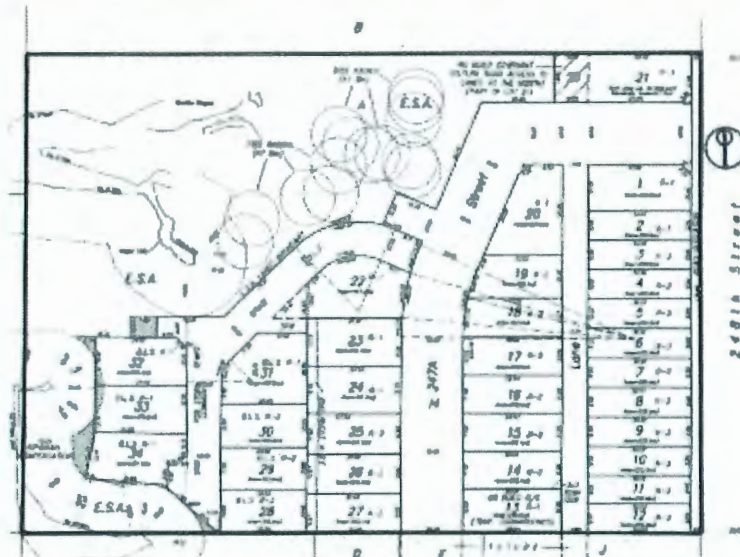
Current: RS-3  
Proposed: R-1, R-2, R-3

### # OF LOTS

Current: 2  
Proposed: 11 Lots zoned as R-3  
12 Lots zoned as R-2  
11 Lots zoned as R-1

### PROPOSED LOT SIZE RANGE

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Your thoughts are important to us. If you require additional information and/or would like to provide your comments, please do not hesitate to contact David Laird at [dlaird@aplmmartin.com](mailto:dlaird@aplmmartin.com) or 604 817-4695 or the City of Maple Ridge Planning Department at 604-467-7341 or [planning@mapleridge.ca](mailto:planning@mapleridge.ca)



# APPENDIX IV:

---

Emails Received

## David Laird

---

**From:** David Laird  
**Sent:** July-20-22 8:50 AM  
**To:** [REDACTED]  
**Subject:** RE: Request for info re: proposed development at 10869 and 10911

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

Hi [REDACTED]  
Yes the development entails building a new road parallel to 248 st with a lane in between.  
Houses would face 248 st and the new road.  
Hard to tell exact date to start construction but a good guess would be mid next year.  
OK?  
Please contact me any time if you have questions  
Thanks  
Dave

**David Laird, | Project Manager**  
Office: 604-678-9434 | Cell: 604-817-4695

**APLIN & MARTIN CONSULTANTS LTD. | [WWW.APLINMARTIN.COM](http://WWW.APLINMARTIN.COM)**  
1818-1177 West Hastings Street, Vancouver, BC, V6E 2K3



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*Confidentiality notice: This e-mail message is intended only for the use of the addressee(s) and may contain information that is privileged and confidential. If you are not the intended recipient, or have received this e-mail in error, please notify the sender immediately, delete this message and any attachments, and do not perform any further action on this e-mail. Thank you.*

**From:** [REDACTED]  
**Sent:** July-20-22 7:11 AM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** Request for info re: proposed development at 10869 and 10911

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

**CAUTION: External Mail. Do not click on links, reply with your personal information or open attachments you do not trust.**

Could you give me more intel on what this proposed development entails? Not against it. Is plan to build homes or another road behind 248 Street?

When would the a redevelopment start?

Thanks

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

## David Laird

---

**From:** David Laird  
**Sent:** July-22-22 8:51 AM  
**To:** [REDACTED]  
**Subject:** RE: PCO Rezoning Application 2021-393-RZ

Freedom of Information / Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

[REDACTED]  
Thank you for your support  
Dave

**David Laird, | Project Manager**  
Office: 604-678-9434 | Cell: 604-817-4695

**APLIN & MARTIN CONSULTANTS LTD. | [WWW.APLINMARTIN.COM](http://WWW.APLINMARTIN.COM)**  
1818-1177 West Hastings Street, Vancouver, BC, V6E 2K3



**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

*Confidentiality notice: This e-mail message is intended only for the use of the addressee(s) and may contain information that is privileged and confidential. If you are not the intended recipient, or have received this e-mail in error, please notify the sender immediately, delete this message and any attachments, and do not perform any further action on this e-mail. Thank you.*

**From:** [REDACTED]  
**Sent:** July-22-22 8:44 AM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** PCO Rezoning Application 2021-393-RZ

Freedom of Information / Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

**CAUTION: External Mail, Do not click on links, reply with your personal information or open attachments you do not trust.**

Hello,

Freedom of Information / Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

My name is [REDACTED] I'm emailing my support for the Proposed Rezoning of 10911 and 10869 248 Street in Maple Ridge for future development into single family homes. I believe that bringing more homes into Maple Ridge is a key part in growing the local economy, especially in regards to locally owned businesses.

Regards,  
[REDACTED]

Get [Outlook for iOS](#)



**David Laird**

---

**From:** [REDACTED]  
**Sent:** August-02-22 10:12 AM  
**To:** David Laird  
**Subject:** file 2021-393-RZ

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

**CAUTION: External Mail. Do not click on links, reply with your personal information or open attachments you do not trust.**

Good morning David,

I would appreciate receiving more info on the proposed development planned for 10869 and 10911 248 Street. Thank you

[REDACTED]

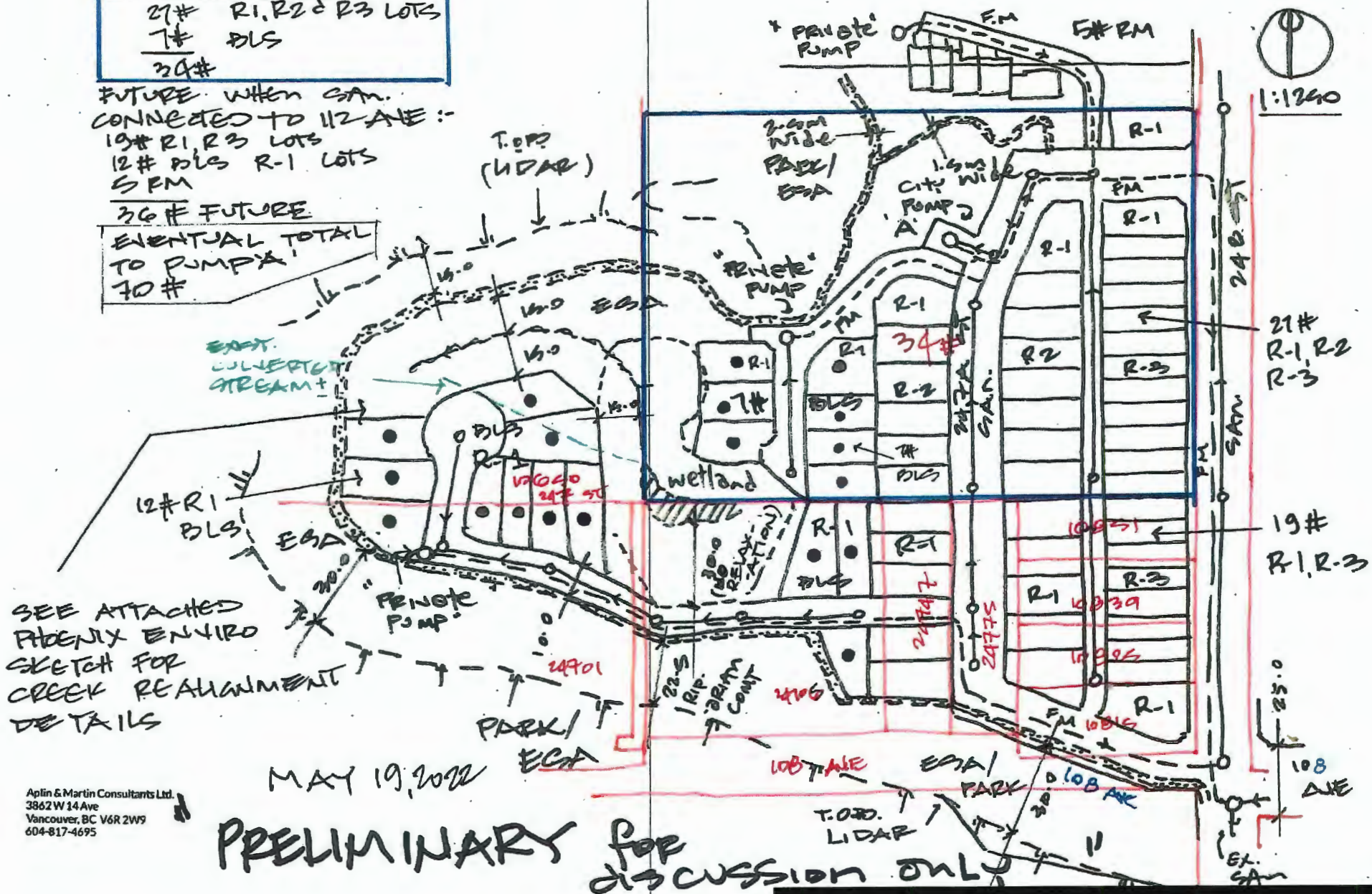
[REDACTED]

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

TO CITY PUMP A :-  
 27# R1, R2 & R3 LOTS  
 7# BLS  
 24#

FUTURE WITH SAN.  
 CONNECTED TO 112 AVE :-  
 19# R1, R2 & R3 LOTS  
 12# BLS R-1 LOTS  
 5 PM

36# FUTURE  
 EVENTUAL TOTAL  
 TO PUMP A 70#



SEE ATTACHED  
 PHOENIX ENVIRO  
 SKETCH FOR  
 CREEK REALIGNMENT  
 DETAILS

Aplin & Martin Consultants Ltd.  
 3862 W 14 Ave  
 Vancouver, BC V6R 2W9  
 604-817-4695

MAY 19, 2022

PRELIMINARY FOR  
 DISCUSSION ONLY

SENT TO

## David Laird

---

**From:** David Laird  
**Sent:** August-02-22 2:45 PM  
**To:** [REDACTED]  
**Subject:** 20-21-393 RZ 10830 248 st  
**Attachments:** Image.pdf

Hi [REDACTED]

As per your phone call please see the attached aerial photograph [REDACTED]

The new lane would [REDACTED]

The new road [247 A st] would [REDACTED]

Please review and call to discuss if you have questions

OK?

Thanks

Dave

604 817 4695

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

**David Laird, | Project Manager**

Office: 604-678-9434 | Cell: 604-817-4695

**APLIN & MARTIN CONSULTANTS LTD. | [WWW.APLINMARTIN.COM](http://WWW.APLINMARTIN.COM)**

**1818-1177 West Hastings Street, Vancouver, BC, V6E 2K3**

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**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

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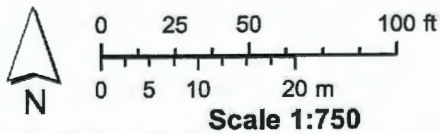
20-21-303

# Property Report (10851 248 ST)

20-21-303

Property ID: 21387  
 Address: 10851 248 ST  
 Folio: 84366-0600-0  
 Plan: NWP19819  
 Lot: J  
 Legal: LT J; SEC 10; TWP 12; NWP19819  
 PID: 010-588-884  
 LTO: N47713E  
 Zoning: RS-3  
 OCP Land Use: LRES  
 Closed to Backyard Burning: No  
 Recycling Pickup Day: Friday  
 Approx. Area: 0.152 ha.

- Street Label (large)
- Facility or Attraction
- Building Footprints
- Railway
- Major River or Lake Edge
- Major River or Lake
- Interior Lot Boundary
- School
- Park
- Property
- Municipal Boundary
- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3



The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.

City of Maple Ridge  
 RidgeView 2.0  
 Printed: August 2, 2022





## David Laird

---

**From:** David Laird  
**Sent:** August-02-22 6:03 PM  
**To:** [REDACTED]  
**Subject:** RE: PCO Rezoning Application 2021-393-RZ

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

Michelle,  
Thank you for your support.  
Dave Laird

**David Laird, | Project Manager**  
Office: 604-678-9434 | Cell: 604-817-4695

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1818-1177 West Hastings Street, Vancouver, BC, V6E 2K3



## APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

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**From:** [REDACTED]  
**Sent:** August-02-22 4:59 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** PCO Rezoning Application 2021-393-RZ

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

**CAUTION: External Mail. Do not click on links, reply with your personal information or open attachments you do not trust.**

To whom it may concern,

I wanted to send an e-mail in support of the proposed rezoning of 10911 and 10869 248 Street in Maple Ridge for future development into single family homes. Adding to the residential landscape of Maple Ridge is a key component in growing the communities local economy and infrastructure.

Regards,

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

**David Laird**

---

**From:** David Laird  
**Sent:** August-03-22 4:04 PM  
**To:** [REDACTED]  
**Subject:** RE: File. No. 2021-393-RZ

Hi [REDACTED]

Thank you for your e mail.

I agree parking is always an issue with new developments.

In this case the parking will meet or exceed the minimum required by the City. I would hope that the City would ensure that there would be no illegal parking on the roads.

It would appear that there will be [REDACTED]  
the development.

I'm sorry I don't recall talking to you about available water supply [REDACTED]

A new water main will be extended north along 248 st from 108 ave and then into our development.

There will be no new watermains close to [REDACTED] I only see this happening in the future if the lands [REDACTED] are developed.

Can you please call me in case I have given you misleading information over the phone when we talked.

OK?

Dave Laird

604 817 4695

Freedom of Information Protection of Privacy Act  
Section 22(1)  
(Severed portions are shaded)

-----Original Message-----

**From:** [REDACTED]  
**Sent:** August-02-22 6:28 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Cc:** planning@mapleridge.ca  
**Subject:** File. No. 2021-393-RZ

CAUTION: External Mail. Do not click on links, reply with your personal information or open attachments you do not trust.

Dear sirs

I am concerned about a couple of things regarding this development

First of all. The parking on 248. I realize the road will be widened but only at these 2 addresses. With the houses Being so small the residents will be parking on the road. I share been told they will had a double garage and parking for 2 cars in driveway. Due to the size of the of the houses the garage will only fit 2 small vehicles. Next the garage will be full of belongings so cars will park on the road. Will there be no parking signs on the opposite side of the road? It will be jam packed like other places off 102.

Secondly. David has told me that [REDACTED]

[REDACTED] There will be approximately 40 feet or so here that is classed as wet land.  
[REDACTED]

Thanks





April 3, 2022

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attention: Wendy Cooper

Dear Ms. Cooper:

Re: File #: 2021-323-RZ  
Legal: Lot: G, Section: 33, Township: 12, Plan: NWP16208  
Location: 23348 141 AVE  
From: RS-3 (Single Detached Rural Residential)  
To: R-1 (Single Detached (Low Density) Urban Residential), R-2 (Single Detached (Medium Density) Urban Residential)

The proposed application would affect the student population for the catchment areas currently served by Yennadon Elementary and Garibaldi Secondary School.

Yennadon Elementary has an operating capacity of 628 students. For the 2021-22 school year the student enrolment at Yennadon Elementary is 688 students (110% utilization) including 76 students from out of catchment.

Garibaldi Secondary School has an operating capacity of 1050 students. For the 2021-22 school year the student enrolment at Garibaldi Secondary School is 982 students (94% utilization) including 270 students from out of catchment.

Sincerely,

Flavia Coughlan  
Secretary Treasurer

The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Ihor Politylo  
David Vandergugten  
Derek Oppedisano



**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** Development Variance Permit  
11089 240 Street

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2020-409-VP  
**MEETING:** C o W

---

#### **EXECUTIVE SUMMARY:**

Development Variance Permit application (2020-409-DVP) has been received in conjunction with a rezoning and subdivision application, to reduce the front yard setback for an existing farmhouse. Due to the configuration of the subdivision, the new shortest lot line will now be fronting Harris Drive, which necessitates a variance for the front yard setback.

The requested variance is to:

1. Reduce the front yard setback from 7.5 metres to 3.26 metres.

Council considered rezoning application 2020-409-RZ and granted first reading for *Zone Amending Bylaw No. 7701-2021* on February 9, 2021 and second reading on September 28, 2021. This application was presented at Public Hearing on October 19, 2021, and Council granted third reading on October 26, 2021. Council will be considering final reading for rezoning application 2020-409-RZ on September 27, 2022.

#### **RECOMMENDATION:**

That the Corporate Officer be authorized to sign and seal 2020-409-DVP respecting property located at 11089 240 Street.

#### **DISCUSSION:**

##### **a) Background Context**

Applicant: Morningstar Communities Ltd.  
Legal Description: Lot 3 District Lot 404 Group 1 New Westminster District Plan BCP46902

OCP:  
Existing: Urban Residential  
Proposed: Urban Residential

Within Urban Area Boundary: Yes  
OCP Major Corridor: Yes

Zoning:  
Existing: RS-3 (Single Detached Rural Residential)  
Proposed: RS-3 (Single Detached Rural Residential)

Surrounding Uses:

North:	Use:	Single Family Residential and Street Townhouse Residential
	Zone:	R-2 (Single Detached (Medium Density) Urban Residential) and RST (Street Townhouse Residential)
	Designation:	Urban Residential and Conservation
South:	Use:	Agricultural
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Urban Residential
East:	Use:	Single-Family Residential and Townhouse Residential
	Zone:	R-3 (Single Detached (Intensive) Urban Residential), RM-1 (Low Density Townhouse Residential) and RS-3 (Single Detached Rural Residential)
	Designation:	Medium Density Residential, Low/Medium Density Residential and Conservation
West:	Use:	Single-Family Residential
	Zone:	R-1 (Single Detached (Low Density) Urban Residential) and R-2 (Single Detached (Medium Density) Urban Residential)
	Designation:	Urban Residential and Conservation

Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	4.3 ha (10.6 acres)
Access:	240 Street
Servicing requirement:	Urban Standard
Previous Applications:	2020-409-RZ/SD

**b) Project Description:**

The subject property is located at 11089 240 Street (see Appendix A and B). The lot is part of a larger rezoning and subdivision application running concurrently with this variance application under file number 2020-409-RZ/SD. This property located at 11089 240 Street will remain after the rezoning and subdivision as one larger RS-3 (Single Detached Rural Residential) lot. Due to the configuration of the subdivision, the new shortest lot line will now be fronting Harris Drive, which will now be considered as the front lot line (see Appendix C).

The application seeks to retain the existing farmhouse located on the larger remainder parcel located at 11089 240 Street. The retention of the farmhouse in combination with the configuration of the subdivision, necessitates a variance for the new front yard setback for the farmhouse. The new front lot line for the retained farmhouse will be off Harris Drive. As a result, a variance is required to reduce the setback from the front lot line from 7.5 metres down to 3.26 metres (see Appendix D).

**c) Variance Analysis:**

The Zoning Bylaw establishes general minimum and maximum regulations for single family development. A Development Variance Permit allows Council some flexibility in the approval process.

The requested variances and rationale for support are described below:

- 1. Maple Ridge Zoning Bylaw No 7600-2019, Part 6, Section 611, 611.7, 1. a):**  
To reduce the minimum setback for single detached residential from a front lot line from 7.5 metres to 3.26 metres.



The Planning Department is in support of this variance as it will allow for the retention of the existing farmhouse on the property until the large parcel is ready for future development.

**d) Citizen/Customer Implications:**

In accordance with the *Development Procedures Bylaw No. 5879-1999*, notice of Council consideration of a resolution to issue a Development Variance Permit was mailed to all owners or tenants in occupation of all parcels, any parts of which are adjacent to the property that is subject to the permit.

**CONCLUSION:**

The proposed variance is supported because it will allow for the retention of the existing farmhouse on the subject property.

It is therefore recommended that this application be favourably considered and the Corporate Officer be authorized to sign and seal Development Variance Permit 2020-409-DVP.

"Original signed by Rene Tardif"

---

Prepared by: **Rene Tardif, BA, M.PL  
Planner**

"Original signed by Charles Goddard"

---

Reviewed by: **Charles R. Goddard, BA, MA  
Director of Planning**

"Original signed by Charles Goddard" for

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Approved by: **Christine Carter, M.PL, MCIP, RPP  
GM Planning & Development Services**

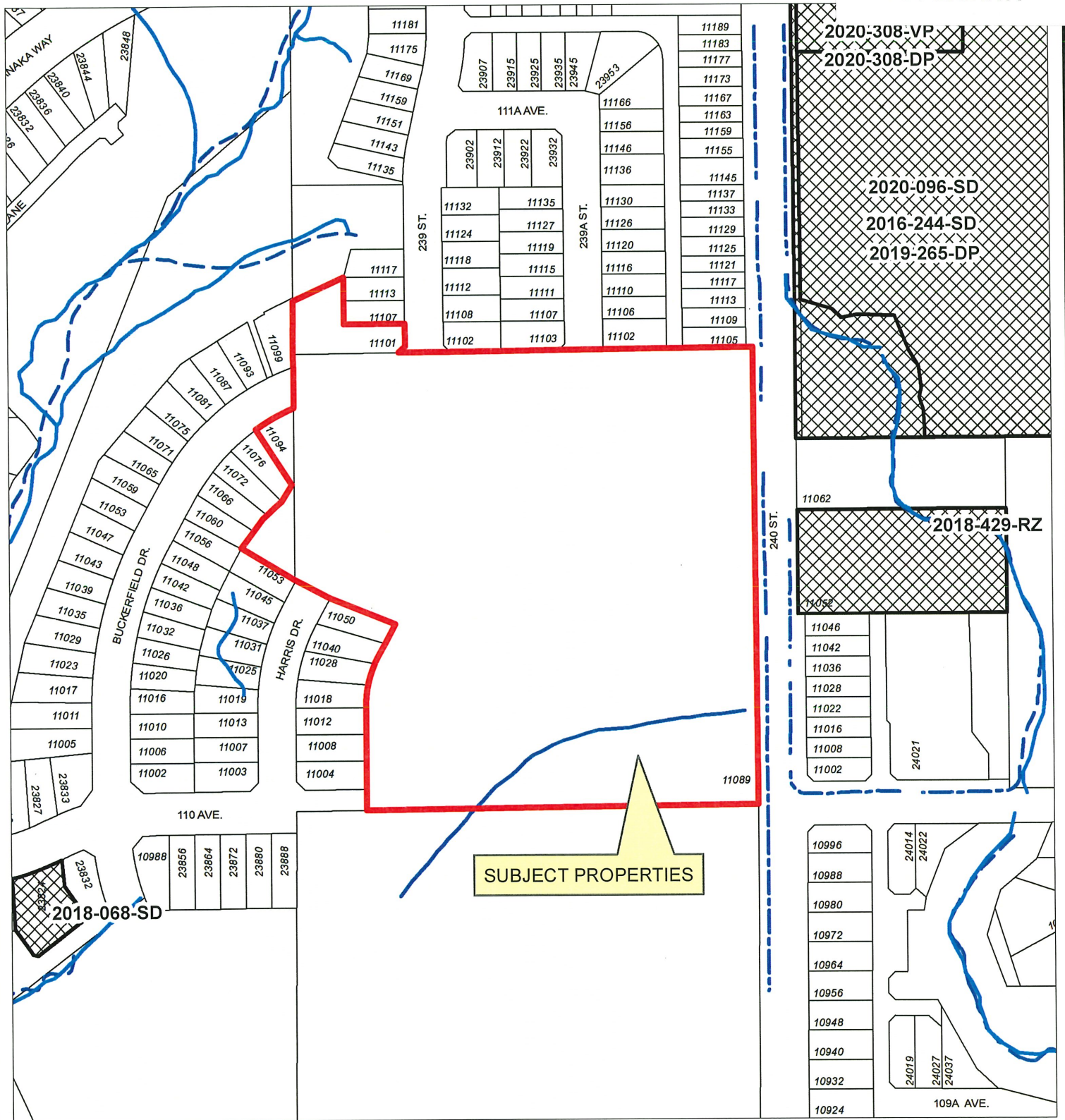
"Original signed by Scott Hartman"

---

Concurrence: **Scott Hartman  
Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – Subdivision Plan  
Appendix D – Site Plan Showing Variance



Scale: 1:2,500

### Legend

- Stream
- Ditch Centreline
- Indefinite Creek
- River Centreline (Topographic)
- X Active Applications (RZ/SD/DP/VP)

11089 240 ST, 11101 239 ST,  
11904 BUCKERFIELD DR



FILE: 2020-409-VP  
DATE: Sept 1, 2022

BY: DT





Aerial Imagery from the Spring of 2020



Scale: 1:2,500

### Legend

- Stream
- Ditch Centreline
- Indefinite Creek

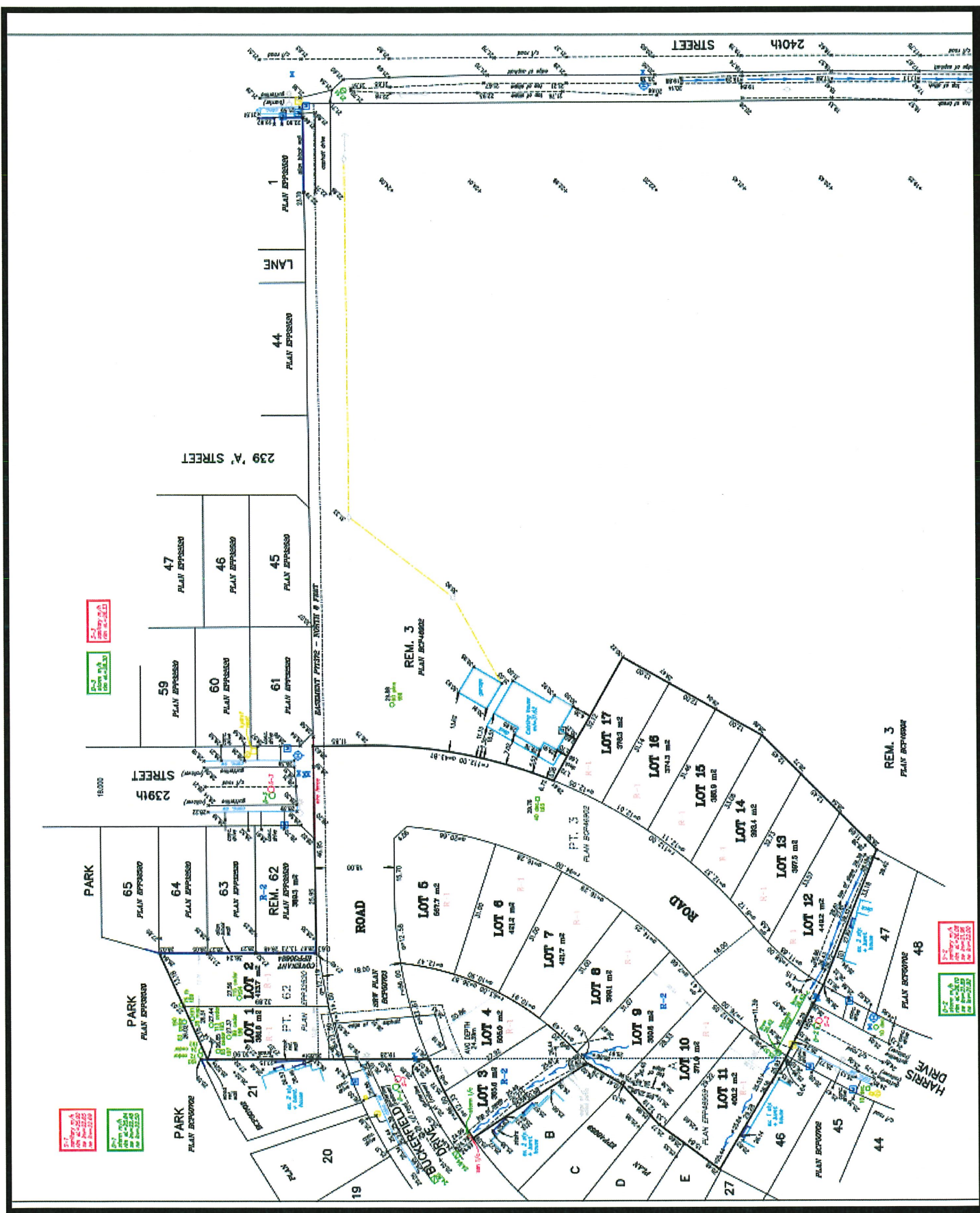
11089 240 ST, 11101 239 ST,  
11904 BUCKERFIELD DR

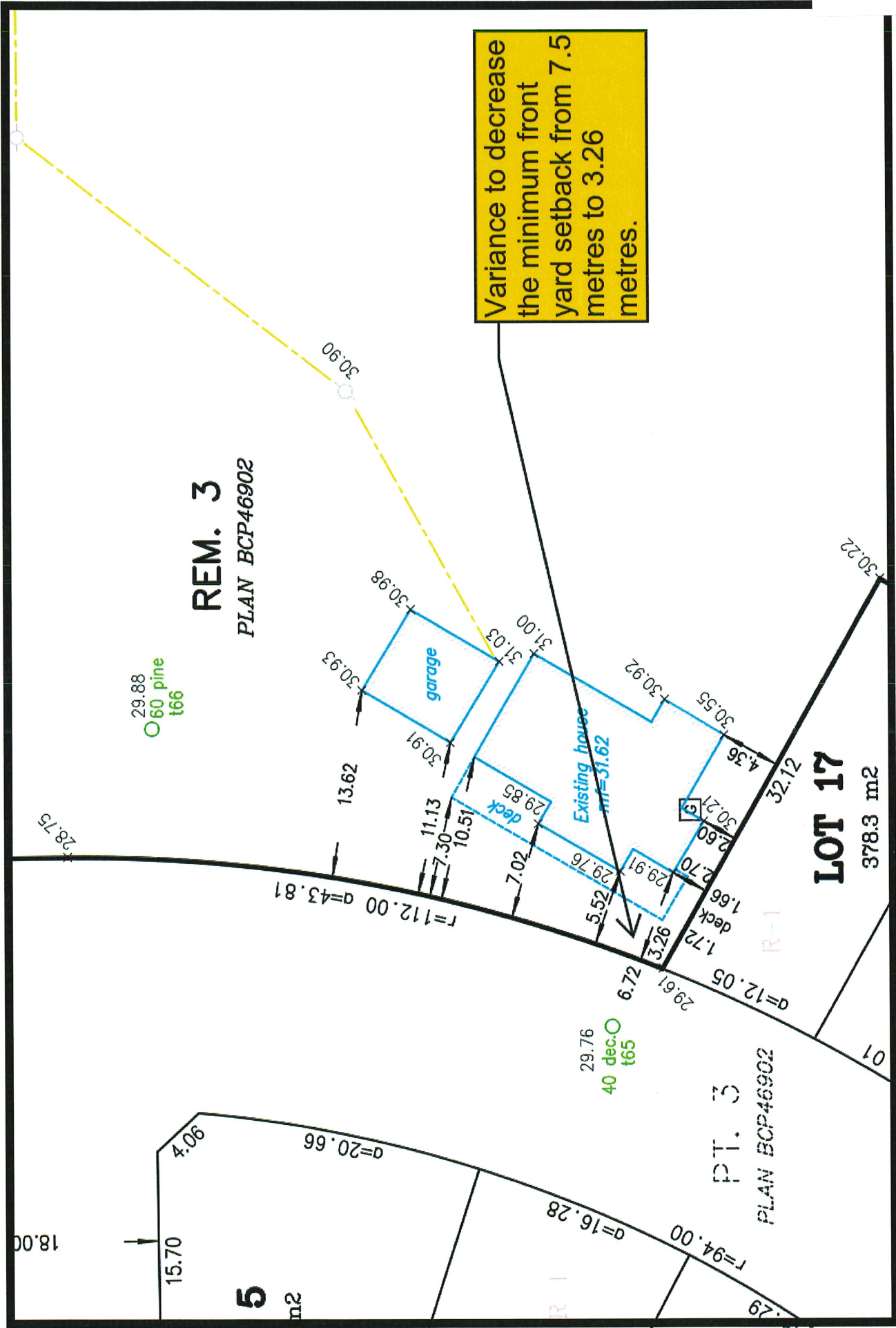


FILE: 2020-409-VP  
DATE: Sept 1, 2022

BY: DT









**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** Development Variance Permit  
23939 Fern Crescent

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2020-250-DVP  
**MEETING:** C o W

---

#### EXECUTIVE SUMMARY:

Development Variance Permit application (2020-250-DVP) has been received in conjunction with a rezoning and subdivision application, to reduce the lot width from 15.0 metres to 14.0 metres.

The requested variance is to:

1. Reduce the lot width from 15.0 metres to 14.0 metres on Lots 2, 3, and 4.

Council granted first reading for *Zone Amending Bylaw No. 7692-2020* on January 12, 2021. Council granted first and second reading for *Official Community Plan Amending Bylaw No. 7691-2020* and second reading for *Zone Amending Bylaw No. 7692-2020* on April 12, 2022 (see Appendices B and C). This application was presented at Public Hearing on May 17, 2022, and Council granted third reading on May 24, 2022. Council will be considering final reading for rezoning application 2020-250-RZ on September 27, 2022.

#### RECOMMENDATION:

That the Corporate Officer be authorized to sign and seal 2020-250-DVP respecting property located at 23939 Fern Crescent.

#### DISCUSSION:

**a) Background Context:**

Applicant:	Aplin & Martin Consultants Ltd.
Legal Description:	Lot 45 Section 28 Township 12 New Westminster District Plan 63118
OCP:	
Existing:	Low Density Urban and Conservation
Proposed:	Low Density Urban and Conservation
Within Urban Area Boundary:	Yes
Area Plan:	Silver Valley
OCP Major Corridor:	Yes

Zoning:  
Existing: RS-2 (Single Detached Suburban Residential)  
Proposed: RS-1b (Single Detached (Medium Density) Residential)

Surrounding Uses:

North:	Use:	Single-Family Residential
	Zone:	RS-2 (Single Detached Suburban Residential)
	Designation:	Low Density Urban, Conservation
South:	Use:	Single-Family Residential
	Zone:	RS-2 (Single Detached Suburban Residential)
	Designation:	Estate Suburban Residential
East:	Use:	Single-Family Residential
	Zone:	RS-2 (Single Detached Suburban Residential); RS-1b (Single Detached (Medium Density) Residential)
	Designation:	Low Density Urban, Medium Density Residential Conservation
West:	Use:	Single-Family Residential
	Zone:	RS-2 (Single Detached Suburban Residential)
	Designation:	Estate Suburban Residential

Existing Use of Property: Single-Family Residential  
Proposed Use of Property: Single-Family Residential  
Site Area: 0.4 ha (1.0 acre)  
Access: Sheldrake Court  
Servicing: Urban Standard  
Previous or Companion Applications: 2020-250-RZ/SD/DP

**b) Project Description:**

The current application is proposing to rezone the subject property, located at 23939 Fern Crescent (see Appendices A and B), from RS-2 (Single Detached Suburban Residential) to RS-1b (Single Detached (Medium Density) Residential) to permit the future subdivision into approximately five single-family residential lots with parkland dedication (see Appendix C). Proposed Lots 1-5 will be between approximately 602.0m<sup>2</sup> to 685.0m<sup>2</sup> in area, with 539.0m<sup>2</sup> of the subject property being dedicated as *Park* (see Appendix E). Furthermore, an application for a Development Variance Permit will be required as the proposed lot widths of 14.0m do not meet the RS-1b (Single Detached (Medium Density) Residential) zone's minimum width of 15.0m for proposed Lots 2 through 4 (see Appendix D).

**c) Variance Analysis:**

The requested variances and rationale for support are described below:

1. **Maple Ridge Zoning Bylaw No 7600-2019, Part 6, Section 607.4, 1. b):**  
To reduce the minimum lot width from 15.0 metres to 14.0 metres on Lots 2, 3, and 4.



Proposed Lots 2, 3 and 4 are 14.0m in width instead of 15.0m. This lot width reduction arises from the significant amount of land dedication being proposed (i.e. Hennipen Creek park dedication, and 6.9 m road dedication from Fern Crescent). These reductions are supportable, as the narrower width of the lots will not affect the constructability or livability of future houses. Furthermore, across Sheldrake Court, Council approved Development Application No. 2017-140-RZ/VP which was requesting the same lot width variance due to the same aforementioned site constraints.

**d) Citizen/Customer Implications:**

In accordance with the *Development Procedures Bylaw No. 5879-1999*, notice of Council consideration of a resolution to issue a Development Variance Permit was mailed to all owners or tenants in occupation of all parcels, any parts of which are adjacent to the property that is subject to the permit.

**CONCLUSION:**

The proposed variances are supported because of aforementioned on-site environmental constraints and development requirements.

It is therefore recommended that this application be favourably considered and the Corporate Officer be authorized to sign and seal Development Variance Permit 2020-250-DVP.

\_\_\_\_\_  
"Original signed by Tyson Baker"

**Prepared by: Tyson Baker, B.Pl.**  
**Planning Technician**

\_\_\_\_\_  
"Original signed by Mark McMullen" for

**Reviewed by: Charles R. Goddard, BA, MA**  
**Director of Planning**

\_\_\_\_\_  
"Original signed by Christine Carter"

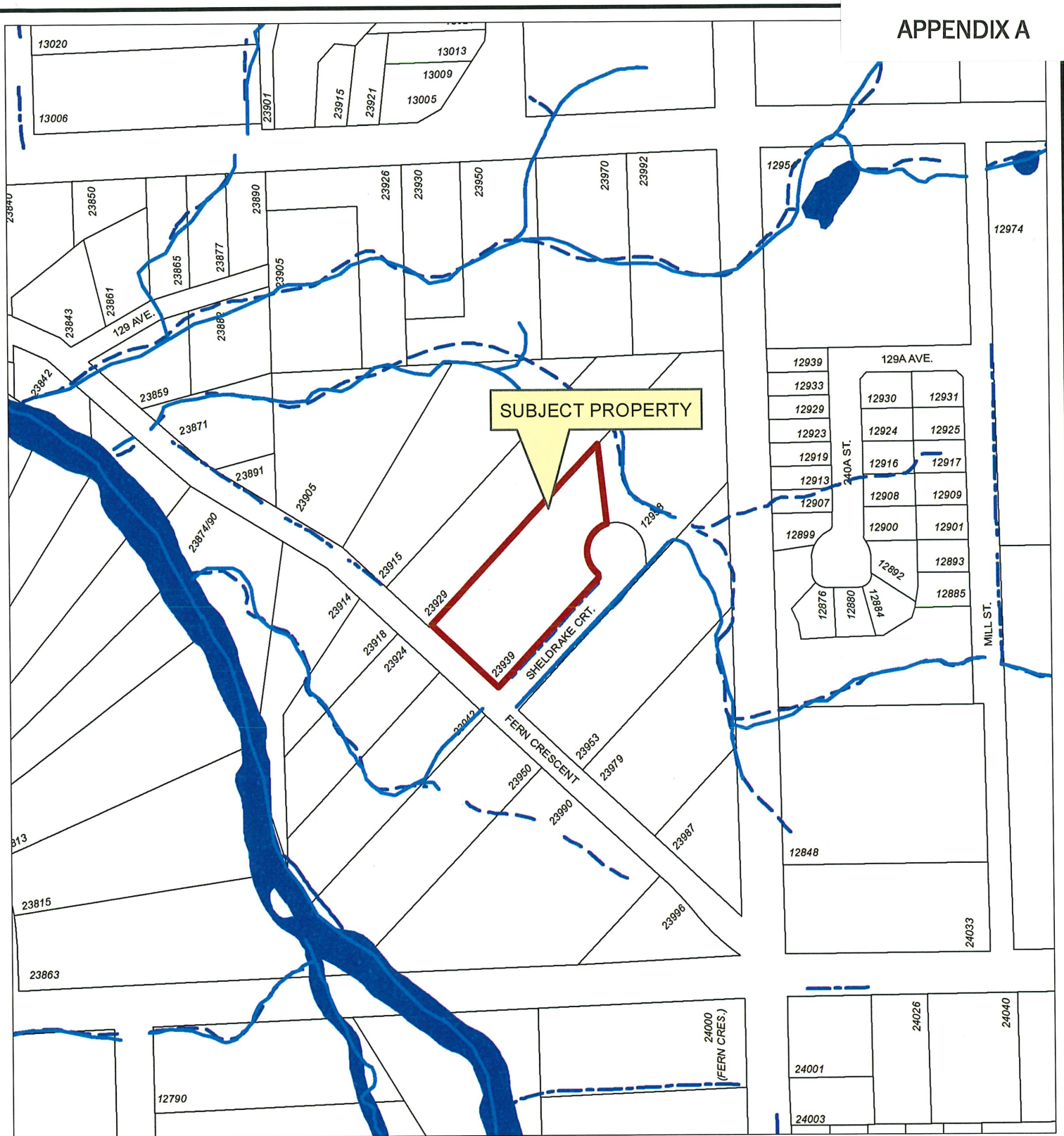
**Approved by: Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development**  
**Services**

\_\_\_\_\_  
"Original signed by Scott Hartman"

**Concurrence: Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map  
Appendix B – Ortho Map  
Appendix C – Subdivision Plan  
Appendix D – Proposed Variance



Scale: 1:2,500

**Legend**

- Stream
- Ditch Centreline
- Edge of River
- Indefinite Creek
- River Centreline
- Lake or Reservoir
- River

**23939 FERN CRESCENT**  
PID: 002-196-425

PLANNING DEPARTMENT



**MAPLE RIDGE**  
British Columbia

**mapleridge.ca**

FILE: 2020-250-RZ  
DATE: Aug 14, 2020

BY: PC





A map of the study area, showing a river and surrounding land parcels. A black dot indicates the location of the sampling station. The map includes a scale bar (0 to 1000 meters) and a north arrow.

PLANNING DEPARTMENT



**MAPLE RIDGE**  
British Columbia

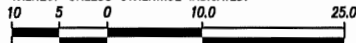
FILE: 2020-250-RZ/SD/DP  
DATE: Mar 21, 2022

BY: PC



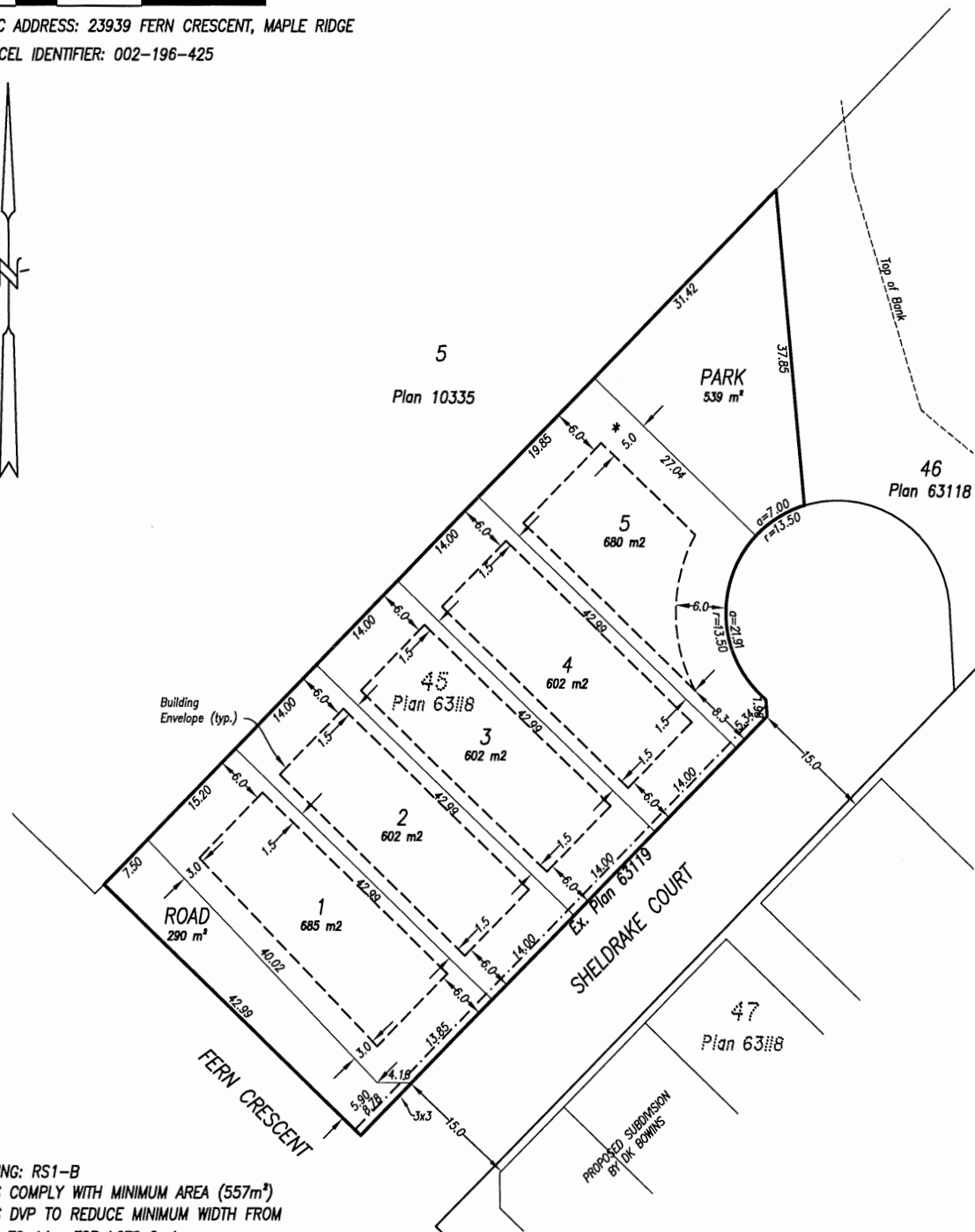
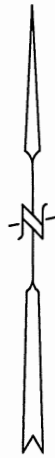
# PROPOSED SUBDIVISION PLAN OF LOT 45 SECTION 28 TOWNSHIP 12 NEW WESTMINSTER DISTRICT PLAN 63118

SCALE 1 : 500

ALL DISTANCES ARE IN METRES AND DECIMALS  
THEREOF UNLESS OTHERWISE INDICATED.

CMC ADDRESS: 23939 FERN CRESCENT, MAPLE RIDGE

PARCEL IDENTIFIER: 002-196-425



ZONING: RS1-B

LOTS COMPLY WITH MINIMUM AREA (557m²)  
LOTS DVP TO REDUCE MINIMUM WIDTH FROM  
15m TO 14m FOR LOTS 2-4(\*) A COVENANT WILL BE REQUIRED ON LOT 5  
FOR A 5m (min.) BUILDING SETBACK FROM  
THE NORTH EAST PROPERTY LINELOT DIMENSIONS DERIVED FROM  
PLAN 63118CHARGE(S) ON TITLE WITHOUT REFERENCE TO  
SURVEY PLANS THAT MAY AFFECT IMPROVEMENTS:

T103096 STATUTORY RIGHT OF WAY

WADE & ASSOCIATES LAND SURVEYING LTD.  
BC LAND SURVEYORS  
MISSION & MAPLE RIDGE  
PHONE: (604) 826-9561 OR 463-4753  
FILE: H3080-01-R1

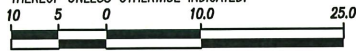
PREPARED FOR: WEST COAST DREAM HOMES

S.P. WADE, BCLS

DATE OF DRAWING: NOVEMBER 8, 2021

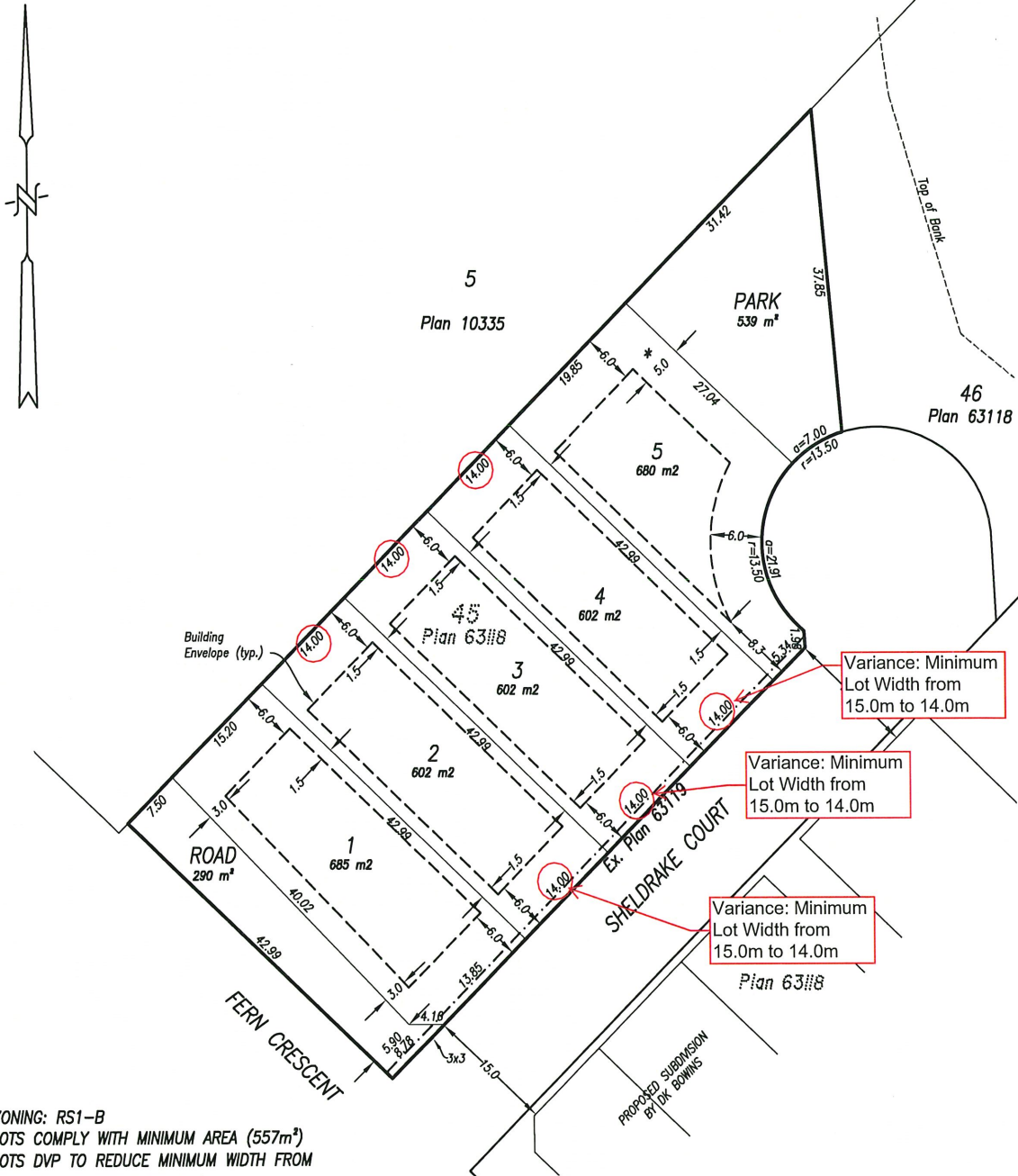
# PROPOSED SUBDIVISION PLAN OF LOT 45 SECTION 28 TOWNSHIP 12 NEW WESTMINSTER DISTRICT PLAN 63118

SCALE 1 : 500

ALL DISTANCES ARE IN METRES AND DECIMALS  
THEREOF UNLESS OTHERWISE INDICATED.

CIVIC ADDRESS: 23939 FERN CRESCENT, MAPLE RIDGE

PARCEL IDENTIFIER: 002-196-425



ZONING: RS1-B

LOTS COMPLY WITH MINIMUM AREA (557m²)

LOTS DVP TO REDUCE MINIMUM WIDTH FROM  
15m TO 14m FOR LOTS 2-4(\*) A COVENANT WILL BE REQUIRED ON LOT 5  
FOR A 5m (min.) BUILDING SETBACK FROM  
THE NORTH EAST PROPERTY LINELOT DIMENSIONS DERIVED FROM  
PLAN 63118CHARGE(S) ON TITLE WITHOUT REFERENCE TO  
SURVEY PLANS THAT MAY AFFECT IMPROVEMENTS:

T103096 STATUTORY RIGHT OF WAY

WADE & ASSOCIATES LAND SURVEYING LTD.  
BC LAND SURVEYORS  
MISSION & MAPLE RIDGE  
PHONE: (604) 826-9561 OR 463-4753  
FILE: H3080-01-R1

PREPARED FOR: WEST COAST DREAM HOMES

S.P. WADE, BCLS

DATE OF DRAWING: NOVEMBER 8, 2021





**mapleridge.ca**

## City of Maple Ridge

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** 5% Payment in Lieu of Parkland Dedication  
11040 Cameron Court

**MEETING DATE:** September 20, 2022  
**FILE NO:** 2018-182-RZ  
**MEETING:** C o W

---

### EXECUTIVE SUMMARY:

The above noted subdivision is subject to the provisions of the Local Government Act regarding parkland dedication or payment in lieu of dedication. It is recommended that Council require payment in lieu of parkland dedication for 6 lot subdivision of the property located at 11040 Cameron Court (see Appendices A and B).

### RECOMMENDATION:

That pursuant to *Local Government Act*, Section 510, regarding Parkland Payment in Lieu, be it resolved that the owner of land proposed for subdivision at 11040 Cameron Court, under application 2018-182-RZ, shall pay to the City of Maple Ridge an amount that is not less than \$105,250.00.

### DISCUSSION:

Section 510 of the *Local Government Act* requires the provision of parkland, without compensation, as a condition of subdivision, subject to some exceptions. The land, not to exceed 5% of the area proposed for subdivision, may be acquired in a location acceptable to the City, or a payment equal to 5% of the market value of the area proposed for subdivision is required.

Where there is either no watercourse protection areas, or no suitable lands are identified for park dedication, then 5% of the market value of the land is paid to the City. These funds are placed into a special Parkland Acquisition Reserve Fund, for the purpose of acquiring parkland, and is typically used where the ability to achieve parkland through development is limited, such as the Blaney Bog.

In this particular instance there is no watercourse protection area or identified park site is present. Therefore, it is recommended that money in lieu of parkland dedication be provided.

In keeping with past practice, the City has requested that an appraisal be provided for the 5% market value of the development site. This appraisal is based on zoned but not serviced land.

A report from a qualified real estate appraiser has determined that the market value of the land is \$2,105,000.00, which indicates that the 5% value of this property is \$105,250.00.

## CONCLUSION:

As there are no watercourse protection areas and no suitable lands on the property for parkland dedication, it is recommended that Council require payment in lieu of parkland dedication as prescribed in the appraisal.

"Original signed by Wendy Cooper"

---

*Prepared by:* **Wendy Cooper, M.Sc., MCIP, RPP  
Planner**

"Original signed by Mark McMullen" for

---

*Reviewed by:* **Charles R. Goddard, BA, MA  
Director of Planning**

"Original signed by Christine Carter"

---

*Approved by:* **Christine Carter, M.PL, MCIP, RPP  
GM Planning & Development Services**

"Original signed by Scott Hartman"

---

*Concurrence:* **Scott Hartman  
Chief Administrative Officer**

The following appendices are attached hereto:

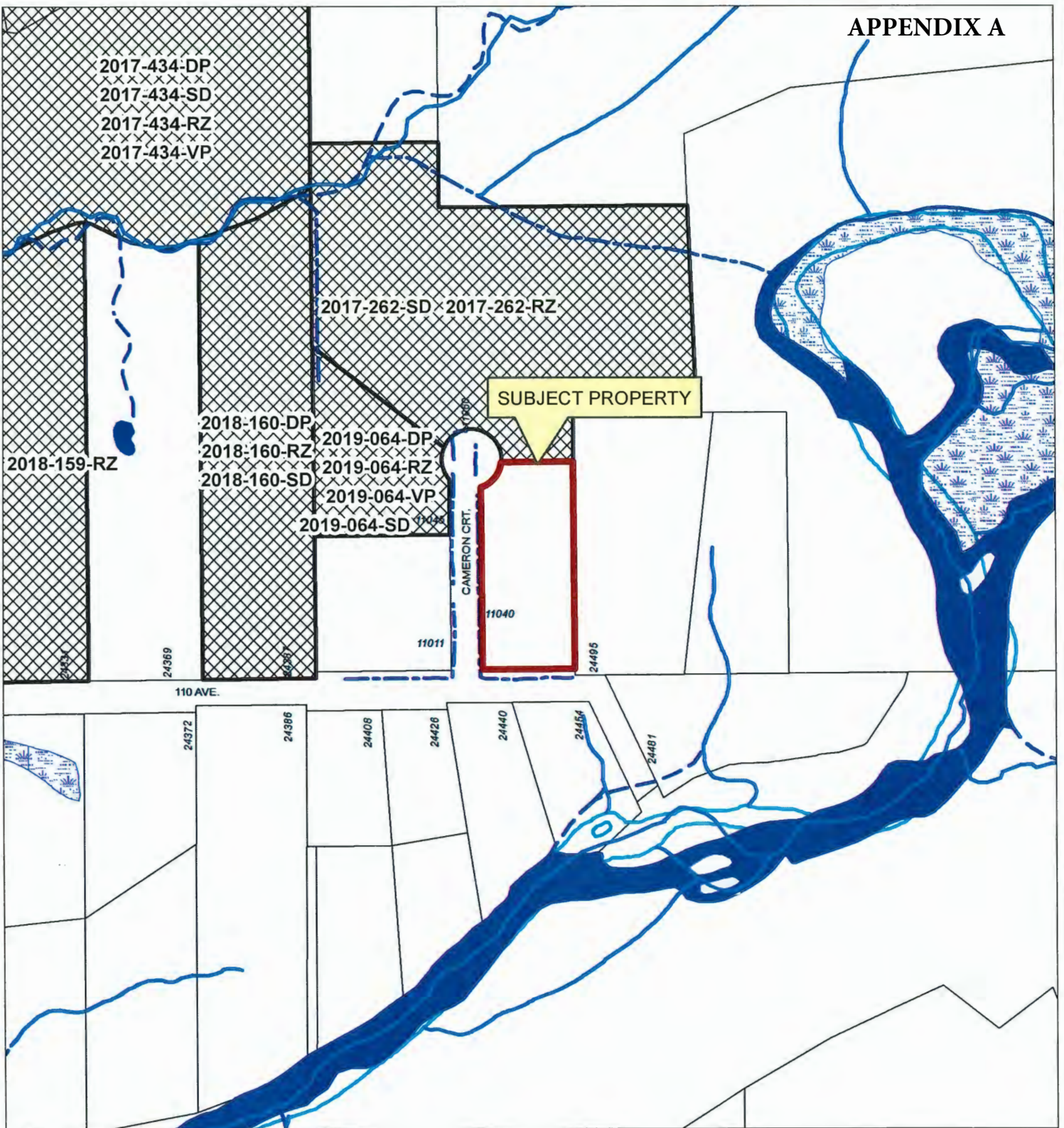
Appendix A – Subject Property Map

Appendix B – Ortho Map

Appendix C – Proposed Subdivision Plan



# APPENDIX A



Scale: 1:2,500

## Legend

- Stream
- Ditch Centreline
- Edge of River
- Edge of Marsh
- Indefinite Creek
- River Centreline
- Lake or Reservoir
- Marsh
- River
- Active Applications (RZ/SD/DP/VP)

11040 CAMERON COURT  
PID: 002-140-896

PLANNING DEPARTMENT



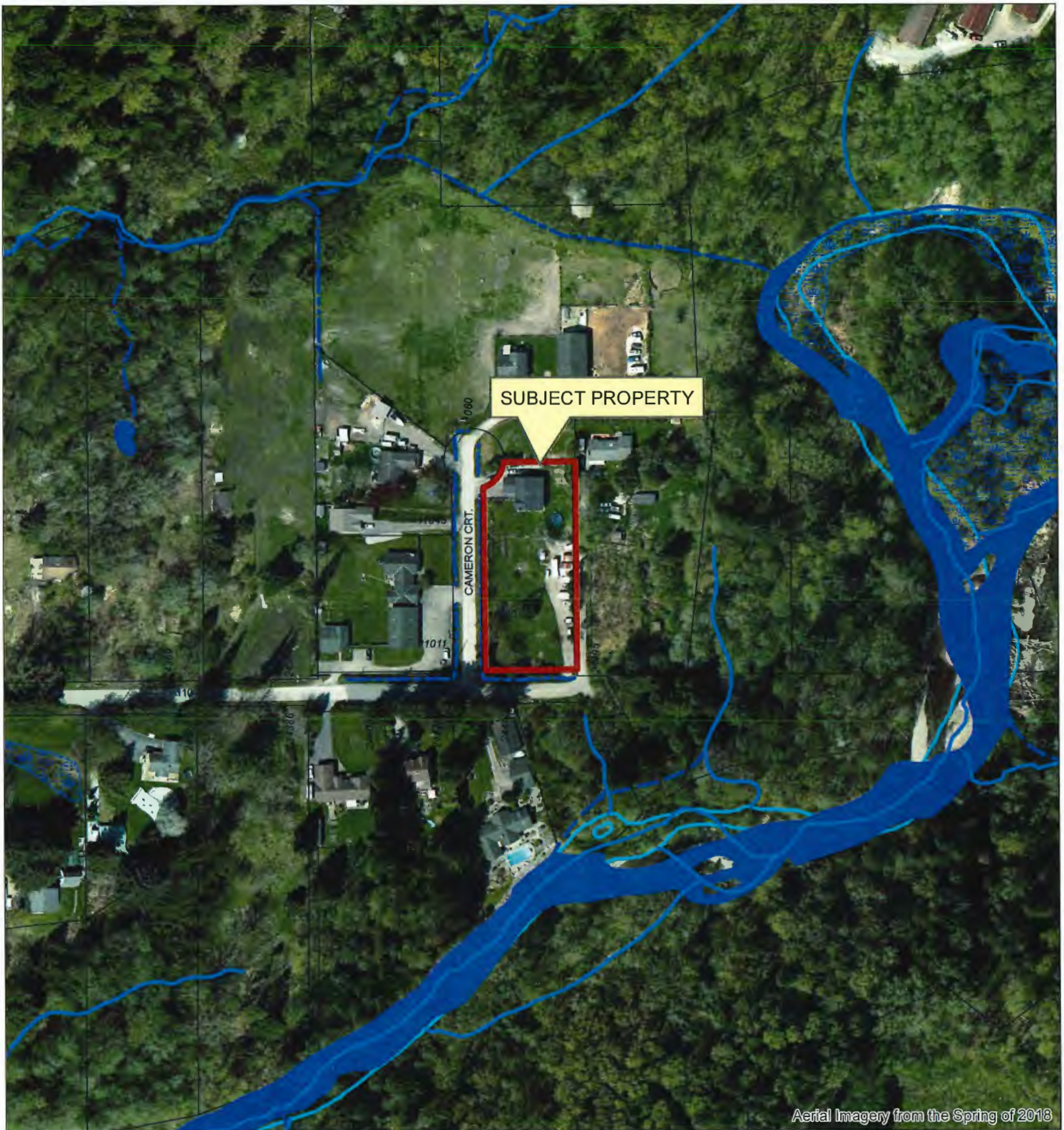
**MAPLE RIDGE**  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

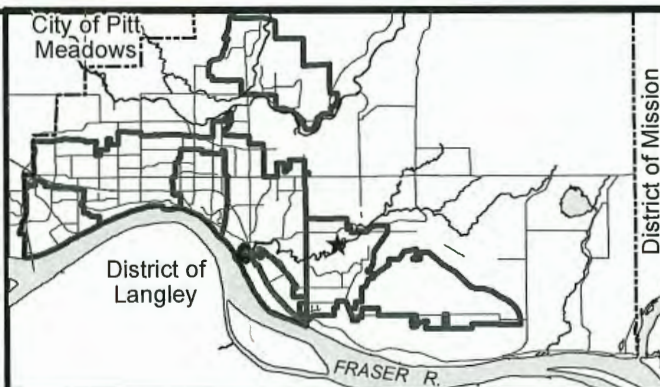
FILE: 2018-182-RZ  
DATE: Jul 30, 2020

BY: PC





Scale: 1:2,500



11040 CAMERON COURT  
PID: 002-140-896

PLANNING DEPARTMENT

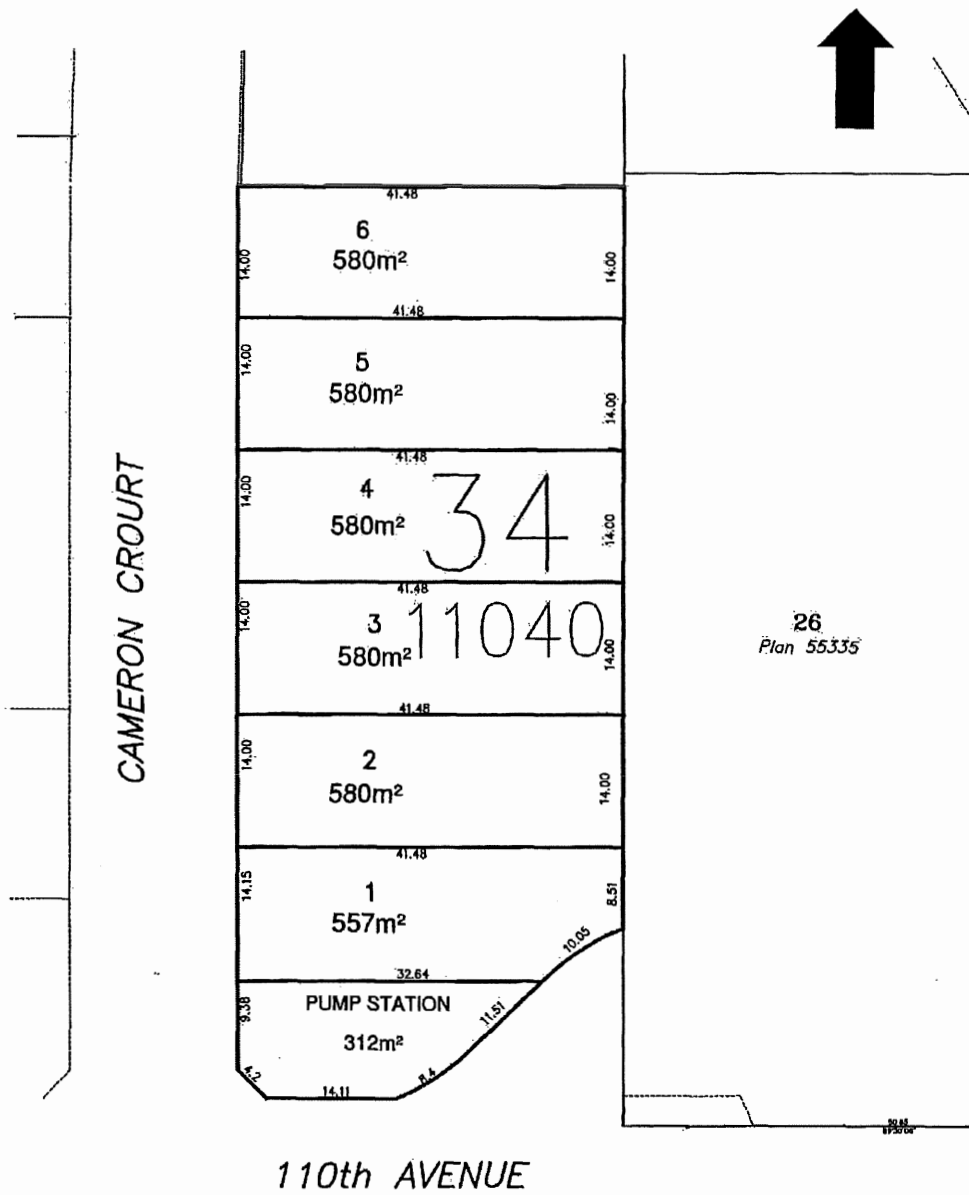


MAPLE RIDGE  
British Columbia

[mapleridge.ca](http://mapleridge.ca)

FILE: 2018-182-RZ  
DATE: Jul 30, 2020

BY: PC





## City of Maple Ridge

**TO:** His Worship Mayor Michael Morden  
and Members of Council

**MEETING DATE:** September 20, 2022

**FILE NO:** 09-3900-03

**FROM:** Chief Administrative Officer

**MEETING:** CoW

**SUBJECT: Maple Ridge Water Service Amending Bylaw No. 7868-2022**

---

### EXECUTIVE SUMMARY:

The City of Maple Ridge currently meters water services for new multi-family (MF), industrial, commercial and institutional (ICI) properties. Similar to the majority of municipalities within Metro Vancouver, Maple Ridge has minimal requirements for single-family residential.

In 2013, Council received a report introducing the factors for consideration for implementing universal water metering requirements. At that time, it was recommended that the City continue to monitor Regional trends and report back to Council on the benefits and challenges of universal metering when additional information was available.

In the summer of 2019, the Metro Vancouver Regional District (MVRD) released a Best Practices Guide for Water Metering in Metro Vancouver. As part of the rollout of the best practice guide, Metro Vancouver retained a consultant to develop a triple-bottom-line assessment tool for municipalities to analyze their specific situation and determine a metering approach that best fits their community.

In December 2020, staff introduced Metro Vancouver's newly developed water metering assessment tool to Council and proposed four scenarios for evaluation through the tool and report back to Council. This report established the single-family water metering scenarios for consideration.

The City retained Urban Systems Ltd. to run the triple-bottom-line assessment tool. Overall, the triple-bottom-line assessment tool provided a holistic financial assessment of metering programs by combining financial aspects, both at a Regional (water supply) level and a local (water distribution) level, as well as non-financial considerations such as environmental and social considerations.

The triple-bottom-line assessment was presented to Council at the July 12, 2022 Workshop. Upon consideration, Council directed staff to proceed with requiring that water meters be installed when all new single-family homes are constructed or redeveloped and when service connections are replaced. The amending bylaw proposed in this report accomplishes these requirements.

At the July 12, 2022 Workshop, Council also directed staff to review the water rate and structure and bring forward the financial consideration of installing water meters at all existing meter-ready connections. Work on these elements is ongoing and is anticipated to be brought forward during business planning.

## RECOMMENDATION:

That Maple Ridge Water Service Amending Bylaw No. 7868-2022 be given first, second and third readings.

## DISCUSSION:

### a) Background Context:

The City retained Urban Systems Ltd. to run the triple-bottom-line assessment tool. Overall, the triple-bottom-line assessment tool provided a holistic financial assessment of metering programs by combining financial aspects, both at a Regional (water supply) level and a local (water distribution) level, as well as non-financial considerations such as environmental and social considerations.

The triple-bottom-line assessment was presented to Council at the July 12, 2022 Workshop. Upon consideration, Council adopted the following resolutions:

#### R/2022-WS-039

*That water meter installations be required when new single-family homes are constructed or redeveloped, and when service connections are replaced; and*

*That the water rate and structure be reviewed and updated and brought forward at a future meeting.*

#### R/2022-WS-040

*That staff undertake public consultation and that the water rate and structure and costs to implement Scenario 2 as set out in the staff report dated July 12, 2022 (which includes meter install at existing meter-ready connections in addition for all newly constructed homes and at time of service line replacement), be reviewed and updated and brought forward to a future meeting; and*

*That Scenario 2 as set out in the staff report dated July 12, 2022 be brought forward to the next business planning session in 2023 for discussion.*

To enact the first item in Council resolution R/2022-WS-039 above, the Maple Ridge Water Service Bylaw No. 6002 – 2001 must be amended. The attached amending bylaw includes the required language to implement Council's direction. These changes are summarized below:

#### Section 17(b)

Section 17(b) of the existing bylaw requires metering of all water service connections 25 mm in diameter and larger. Section 17(b) was adopted at a time when single family water service connections were typically 19 mm in diameter. It is understood the bylaw was written with the intention of metering all residential services except for single-family residential.

Section 17(b) will be revised to require water meters be installed at all new residential construction. Protection will be granted to all instream applications at the time of bylaw adoption.

#### Section 17(e)

Section 17(e) will be added to require water meters at all single family residential properties where the service connection has been replaced. Protection will be granted to all instream applications at the time of bylaw adoption.



**b) Desired Outcome:**

To amend Maple Ridge Water Service Bylaw No. 6002 - 2001 to align with Council's approved residential water metering strategy.

**c) Strategic Alignment:**

Increased residential water metering aligns with Council's Growth and Environment Strategic Priorities.

**d) Citizen/Customer Implications:**

Initial upfront investments of ratepayers for water meters for new construction will be partially offset by benefits of a user pays system and increased leak detection potential. These implications were analyzed in previous staff reports.

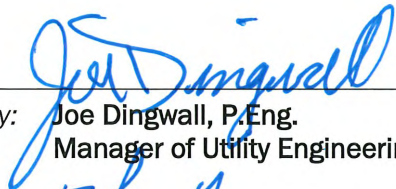
**e) Interdepartmental Implications:**

Increased metering will have implications to the Engineering Operations Department to maintain the additional infrastructure as well as the Finance Department to revise the billing procedure for additional meter connections. Staffing levels will be monitored annually and incremental requests brought forward as required.


**CONCLUSION:**

Upon Metro Vancouver's development of a triple-bottom-line water metering assessment tool, the City retained Urban Systems Ltd. to run the assessment tool for Maple Ridge. This analysis was presented to Council at the July 12, 2022 Workshop. Upon consideration, Council directed staff to proceed with requiring water meters when all new single-family homes are constructed or redeveloped and when single-family service connections are replaced. The attached amending bylaw includes the required language to implement Council's direction.


Prepared by:

  
Joe Dingwall, P.Eng.  
Manager of Utility Engineering

Reviewed by:

  
Forrest Smith, P.Eng.  
Director of Engineering

Approved by:

  
David Pollock, P.Eng.  
General Manager Engineering Services

Concurrence:

  
Scott Hartman  
Chief Administrative Officer

**Attachments:**

(A) Maple Ridge Water Service Amending Bylaw No. 7868-2022

**CITY OF MAPLE RIDGE  
BYLAW NO. 7868-2022**

**A Bylaw to amend Maple Ridge Water Service Bylaw No. 6002 - 2001**

**WHEREAS** it is deemed expedient to amend Maple Ridge Water Service Bylaw No. 6002 - 2001;

**NOW THEREFORE** the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as " Maple Ridge Water Service Amending Bylaw No. 7868-2022".
2. Maple Ridge Water Service Bylaw No. 6002 – 2001 be amended as follows:
  - a) Replacing 17(b) in its entirety with “all residential properties with existing meters, plus all newly constructed residential dwellings.”
  - b) Adding the following subsection to Section 17:
    - (e) all single family residential properties where the service connection has been replaced.
3. That Maple Water Service Bylaw No. 6002-2001 is amended accordingly.

**READ** a first time the                      day of                      , 2022

**READ** a second time the                      day of                      , 2022

**READ** a third time the                      day of                      , 2022

**ADOPTED** the                      day of                      , 2022

\_\_\_\_\_  
**PRESIDING MEMBER**

\_\_\_\_\_  
**CORPORATE OFFICER**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer

**MEETING DATE:** Sep 20, 2022  
**FILE NO:** 2020-168-RZ  
**MEETING:** C o W

**SUBJECT: ALTERNATIVE APPROVAL PROCESS TO PERMIT A CITY SEWER LINE  
IN DEDICATED PARK LAND**

---

**EXECUTIVE SUMMARY:**

Following the July 26, 2022 Council Meeting where Council approved a process to obtain electoral approval to permit a City sewer line in Dedicated Park Land (the "Sewer Under Parkland"), Staff published a notice of the Alternative Approval Process on July 29 and August 5, 2022. The process for electoral opposition concluded on September 6, 2022, at which time the responses were tallied. Opposition for the Sewer Under Parkland fell short of the 10% threshold, and, therefore, electoral approval was attained. Council can now to continue with the process of adopting the Sewer Under Parkland bylaw.

**RECOMMENDATION:**

**AND WHEREAS** Council resolved at its May 10, 2022 meeting that approval of the electors shall be sought through the alternative approval process in relation to City Sewer Line in Dedicated Park Land Bylaw No. 7867-2022;

**AND WHEREAS** at conclusion of the electoral opposition process to City Sewer Line in Dedicated Park Land Bylaw No. 7867-2022 on September 6, 2022, the opposition fell short of the 10% threshold, and, therefore, electoral approval was attained;

**NOW THEREFORE** be it resolved as follows:

1. That City Sewer Line in Dedicated Park Land Bylaw No. 7867-2022 receive second and third reading.

**DISCUSSION:**

**a) Approval of the Electors**

Council identified the Alternative Approval Process as the preferred method of obtaining electoral approval on May 10, 2022. On July 26, 2022, Council approved an outline of the proposed process. The public opportunity to oppose City Sewer Line in Dedicated Park Land Bylaw No. 7867-2022 was advertised in the newspaper twice in the two weeks, and elector response forms were made available at city hall for thirty days. Certified results of the Alternative Approval Process are attached hereto as Appendix 1.



**CONCLUSION:**

Electoral approval for the Sewer Under Parkland bylaw has been attained. Council can now continue with the process of adopting the Sewer Under Parkland bylaw.



---

*Prepared by:* **Patrick Hlavac-Winsor**  
**General Counsel and ED, Legislative Service**



---

*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

**Attachments:**

Appendix 1 - ALTERNATIVE APPROVAL PROCESS NOTICE – CERTIFIED RESULTS

Appendix 2 - CITY SEWER LINE IN DEDICATED PARK LAND BYLAW NO. 7867-2022

**City of Maple Ridge**

I, the undersigned Corporate Officer, as the person assigned responsibility for corporate administration under section 148 of the *Community Charter*, certify the results of the alternative approval process that was conducted to obtain the approval of the electors for the City Sewer Line in Dedicated Park Land Bylaw No. 7867-2022, dated July 26, 2022, as follows:

65,231 Estimated number of eligible electors

1 Number of elector response forms submitted by the deadline

0 Number of electors response forms rejected

1 Number of elector response forms accepted

0.001 Percentage of estimated electors who validly submitted elector response forms

and in accordance with Section 86 of the *Community Charter*, the approval of the electors was obtained.

DATED this 7 day of September, 2022.

A handwritten signature in blue ink, appearing to read "R. Smith - Niska", is written over a horizontal line.

Corporate Officer

**CITY OF MAPLE RIDGE  
BYLAW NO. 7867-2022**

A Bylaw to Permit a Sanitary Storm Line in Dedicated Park  
Dedicated Park Land Bylaw No. 7867-2022

---

**WHEREAS**, it is deemed expedient to permit a Sanitary Storm Line in Dedicated Park;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as Dedicated Park Land Bylaw No. 7867-2022."
2. That parcel or tract of land and premise known and described as:

Dedicated Park Section 22 Township 12 Section 33 Township 12 New Westminster District  
Plan BCP46658

and outlined in heavy black line on Map No. 1974 a copy of which is attached hereto and forms part of this Bylaw, are hereby permitted to contain a Sanitary Storm Line.

**READ** a first time the       day of       , 20

**READ** a second time the       day of       , 20

**READ** a third time the       day of       , 20

Received the **APPROVAL OF THE ELECTORS** of the City of Maple Ridge this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**ADOPTED** the       day of       , 20

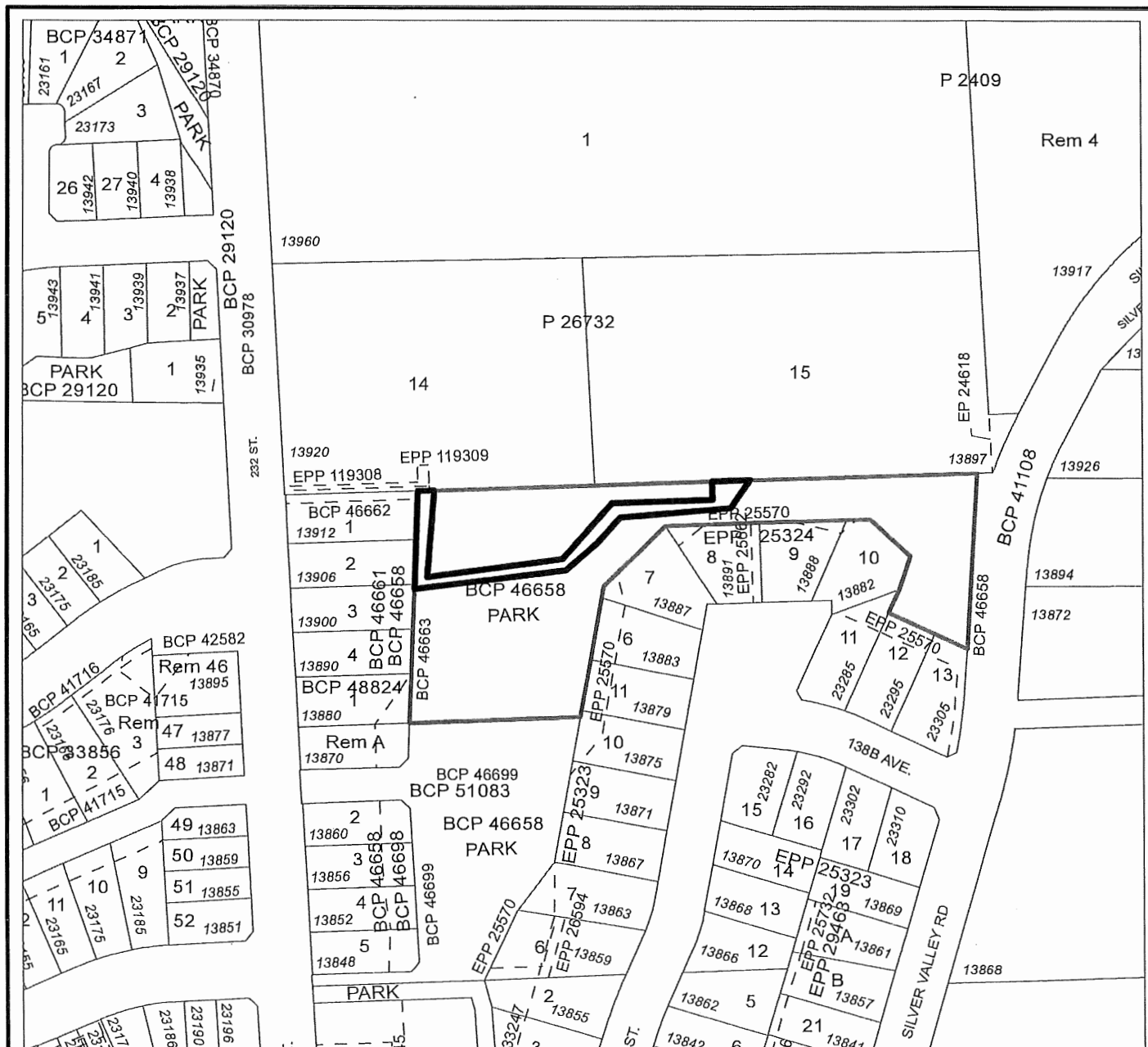
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**PRESIDING MEMBER**

---

**CORPORATE OFFICER**





# MAPLE RIDGE SANITARY STORM BYLAW

Bylaw No. 7867-2022

Map No. 1974

Purpose: ☐ To Permit a Sanitary Storm Line in Dedicated Park



**TO:** His Worship Mayor Michael Morden  
and Members of Council

**MEETING DATE:** Sep 20, 2022  
**FILE NO:** 11-5245-20-B512  
& 01-0400-60

**FROM:** Chief Administrative Officer

**MEETING:** C o W

**SUBJECT: ALTERNATIVE APPROVAL PROCESS TO PERMIT AN SRW FOR METRO VANCOUVER  
FORCEMAIN IN DEDICATED PARK LAND BYLAW**

---

**EXECUTIVE SUMMARY:**

Following the July 26, 2022 Council Meeting where Council approved a process to obtain electoral approval to permit an SRW for Metro Vancouver Forcemain in Dedicated Park Land (the "Metro Vancouver SRW"), Staff published a notice of the Alternative Approval Process on July 29 and August 5, 2022. The process for electoral opposition concluded on September 6, 2022, at which time the responses were tallied. Opposition for the Metro Vancouver SRW fell short of the 10% threshold, and, therefore, electoral approval was attained. Council can now continue with the process of adopting the Metro Vancouver SRW bylaw.

**RECOMMENDATION:**

**AND WHEREAS** Council resolved at its June 28, 2022 meeting that approval of the electors shall be sought through the alternative approval process in relation to SRW for Metro Vancouver Forcemain in Dedicated Park Land;

**AND WHEREAS** at conclusion of the electoral opposition process to SRW for Metro Vancouver Forcemain in Dedicated Park Land on September 6, 2022, the opposition fell short of the 10% threshold, and, therefore, electoral approval was attained;

**NOW THEREFORE** be it resolved as follows:

1. That Bylaw No. 7841-2022 - Statutory Right of Way Over Dedicated Park and Dedicated Road for Metro Vancouver's Forcemain Project receive second and third reading;

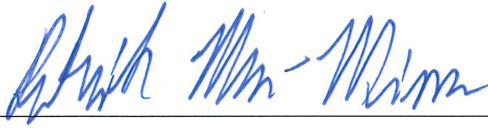
**DISCUSSION:**

**a) Approval of the Electors**

Council identified the Alternative Approval Process as the preferred method of obtaining electoral approval on June 28, 2022. On July 26, 2022, Council approved an outline of the proposed process. The public opportunity to oppose Bylaw No. 7841-2022 - Statutory Right of Way Over Dedicated Park and Dedicated Road for Metro Vancouver's Forcemain Project was advertised in the newspaper twice in the two weeks, and elector response forms were made available at city hall for thirty days. Certified results of the Alternative Approval Process are attached hereto as Appendix 1.

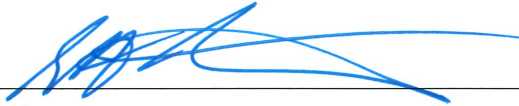
**CONCLUSION:**

Electoral approval for the Metro Vancouver SRW bylaw has been attained. Council can now continue with the process of adopting the Metro Vancouver SRW bylaw.



---

*Prepared by:* **Patrick Hlavac-Winsor**  
**General Counsel and ED, Legislative Service**



---

*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

**Attachments:**

Appendix 1 - ALTERNATIVE APPROVAL PROCESS – CERTIFIED RESULTS

Appendix 2 - BYLAW NO. 7841-2022 - STATUTORY RIGHT OF WAY OVER DEDICATED PARK AND DEDICATED ROAD FOR METRO VANCOUVER'S FORCEMAIN PROJECT





**City of Maple Ridge**

I, the undersigned Corporate Officer, as the person assigned responsibility for corporate administration under section 148 of the *Community Charter*, certify the results of the alternative approval process that was conducted to obtain the approval of the electors for the Bylaw No. 7841-2022 - Statutory Right of Way Over Dedicated Park and Dedicated Road for Metro Vancouver's Forcemain Project dated July 26, 2022, as follows:

65,231 Estimated number of eligible electors

1 Number of elector response forms submitted by the deadline

0 Number of electors response forms rejected

1 Number of elector response forms accepted

0.001 Percentage of estimated electors who validly submitted elector response forms

and in accordance with Section 86 of the *Community Charter*, the approval of the electors was obtained.

DATED this 7 day of September, 2022.

A handwritten signature in blue ink, appearing to read 'Derek Mun - Mun', written over a horizontal line.

Corporate Officer

**CITY OF MAPLE RIDGE  
BYLAW NO. 7841-2022**

A bylaw to authorize a Statutory Right of Way Over Dedicated Park and Dedicated Road for  
Metro Vancouver's Forcemain Project

**WHEREAS** it is deemed desirable and expedient to construct new sewer forcemain servicing the City of Maple Ridge in a Dedicated Park and Dedicated Road;

**NOW THEREFORE**, the Council of the City of Maple Ridge, in open meeting assembled, enacts as follows:

1. This Bylaw may be cited as the "*Statutory Right of Way Over Dedicated Park and Dedicated Road Bylaw No. 7841-2022.*"
2. The City through its Chief Administrative Officer or their designate is hereby empowered and authorized to undertake and carry out or cause to be carried out the construction and routing to permit a Metro Vancouver sanitary forcemain generally in accordance with general plans on file at the municipal office and to do all things necessary in connection therewith and without limiting the generality of the foregoing:
  - (a) To acquire and dispose of all such real property, easements, rights-of-way, licenses, rights or authorities as may be requisite or desirable for or in connection with the construction and routing of said Metro Vancouver sanitary forcemain.
  - (b) To route the sanitary forcemain in Dedicated Park Land near 113B Avenue (District Lot 280, Group 1, New Westminster District, Plan 63221) as outlined in heavy black line in the attached Explanatory Plan.

Read a first time by the Municipal Council this \_\_\_\_ day of \_\_\_\_\_, 2022.

Read a second time by the Municipal Council this \_\_\_\_ day of \_\_\_\_\_, 2022.

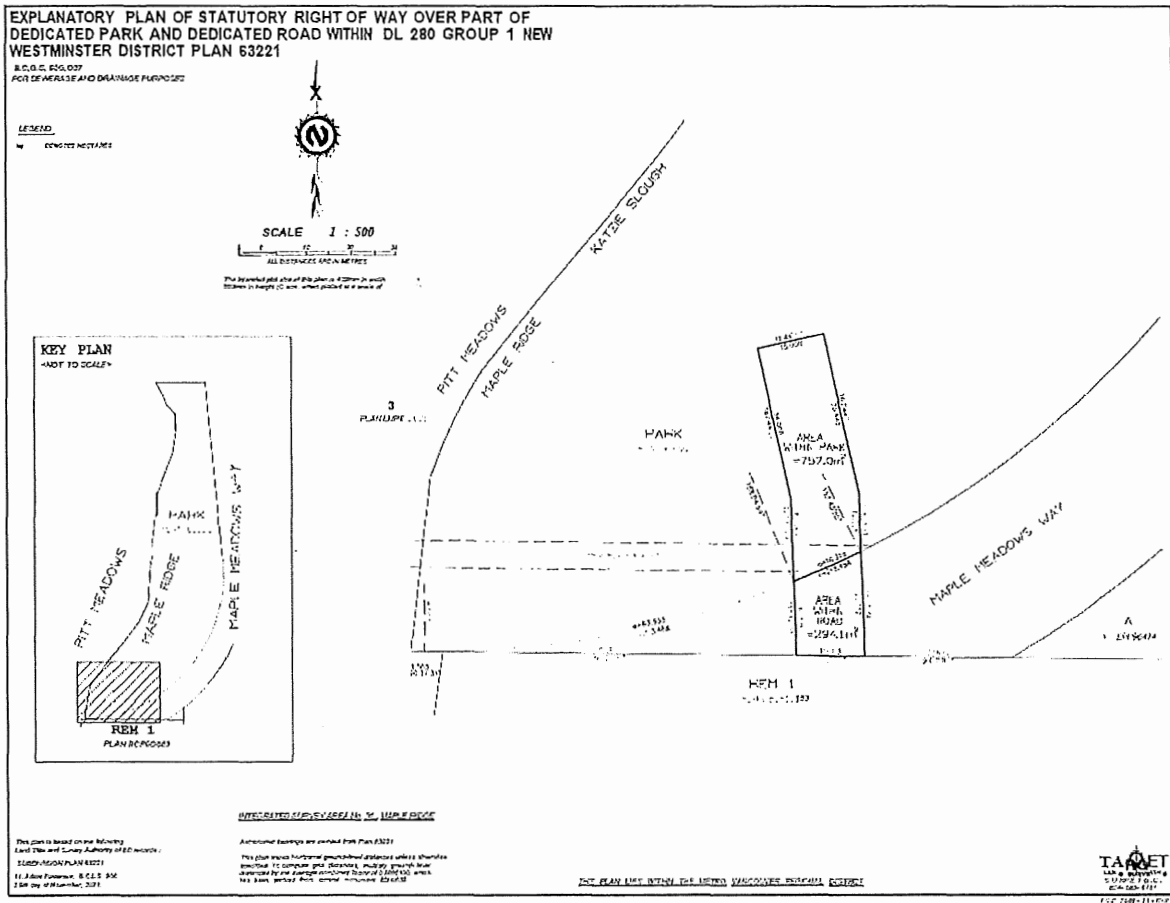
Read a third time by the Municipal Council this \_\_\_\_ day of \_\_\_\_\_, 2022.

Received the **APPROVAL OF THE ELECTORS** of the City of Maple Ridge this \_\_\_\_ day of \_\_\_\_\_, 2022.

Adopted by the Municipal Council this \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
MIKE MORDEN  
MAYOR

\_\_\_\_\_  
PATRICK HLAVAC-WINSOR  
ACTING CORPORATE OFFICER





**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**MEETING DATE:** September 20, 2022  
**FILE NO:** 05-1970-04  
**FROM:** Chief Administrative Officer  
**MEETING:** COW  
**SUBJECT:** 2020 - 2023 Property Tax Exemption Amendment

---

**EXECUTIVE SUMMARY:**

In 2019, Council adopted a permissive tax exemption bylaw for the years 2020 – 2023. This allowed the bylaw to remain in effect for Council's term in office. Any changes required to the bylaw during that time are addressed through an amending bylaw. For the upcoming tax year, we have been advised that Foursquare Gospel Church of Canada has sold their property and no longer operating a church in the community. Webster's Corner United Church has changed their name and a housekeeping change is needed to reflect the new name. Amending Bylaw No. 7869-2022 is attached to this report to reflect these changes. This bylaw will remain in effect through the 2023 tax year.

**RECOMMENDATION:**

That Maple Ridge Property Tax Exemption Amending Bylaw No. 7869-2022 be given first, second and third readings.

**DISCUSSION:**

a) **Background Context:**

In 2019, Council adopted Property Tax Exemption Bylaw No. 7568-2019 establishing permissive property tax exemptions for qualifying applicants for the years 2020 - 2023. The adoption of a multi-year bylaw provided an opportunity to streamline a process with the recognition that any changes to properties identified in the bylaw could be addressed through an amending bylaw in a subsequent year.

In late 2021, the property owned by Foursquare Gospel Church of Canada at 28304 96 Avenue was sold and they are no longer operating in Maple Ridge. Additionally, we received notification that Webster's Corner United Church's name has been updated to Webster's Whonnock United Church. Consequently, Bylaw No. 7568-2019 needs to be amended to remove Foursquare Gospel Church of Canada from Schedule "E" of the bylaw and reflect the new name of Webster's Whonnock United Church. Property Tax Exemption Amending Bylaw No. 7869-2022 is attached to address these changes.

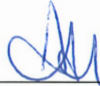
In accordance with legislation, this bylaw must be adopted prior to October 31, 2022 in order for the changes to be reflected in the 2023 tax roll.

**b) Business Plan/Financial Implications:**

The attached amendment will result in an increase to annual property tax revenues of approximately \$6,000 as the property located at 28304 96 Avenue is now fully taxable.

**CONCLUSION:**

The attached amendment updates the City's Permissive Tax Exemption Bylaw to address required changes. It includes the removal of Foursquare Gospel Church of Canada listed under Community Charter Section 224(2)(f); buildings for public worship; as the property has been sold and is no longer operating as a place of public worship. It also updates the name of Webster's Whonnock United Church.

  
\_\_\_\_\_  
*Prepared by:* **Ashley Hilleren**  
**Accounting Clerk II**

  
\_\_\_\_\_  
*Reviewed by:* **Catherine Nolan, CPA, CGA**  
**Deputy Director of Finance**

  
\_\_\_\_\_  
*Approved by:* **Trevor Thompson**  
**Director of Finance**

  
\_\_\_\_\_  
*Approved by:* **Christina Crabtree**  
**General Manager Corporate Services**

  
\_\_\_\_\_  
*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

**Attachments:**

(A) Maple Ridge Property Tax Exemption Amending Bylaw No. 7869-2022

**City of Maple Ridge  
Bylaw No. 7869-2022**

A Bylaw to Amend Maple Ridge Property Tax Exemption Bylaw No. 7568-2019

---

**WHEREAS**, pursuant to provisions of the Community Charter, S.B.C., 2003, Chapter 26, a Municipal Council may exempt certain land and improvements from property taxation, where, in the opinion of the Municipal Council, the use of the land and improvements qualifies for an exemption;

**AND WHEREAS**, the Municipal Council deems it expedient to exempt certain land and improvements for the years 2020-2023;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge in open meeting assembled, enacts as follows;

1. This Bylaw shall be cited for all purposes as Maple Ridge Property Tax Exemption Amending Bylaw No. 7869-2022.
2. Maple Ridge Property Tax Exemption Bylaw No. 7568-2019 is hereby amended accordingly:
  - (a) Schedule E attached hereto is amended by removing Foursquare Gospel Church of Canada from this schedule and changing the name for Trustees of Webster's Corner United Church to Webster's Whonnock United Church.
3. The exemptions granted by this bylaw are without prejudice to any claim for entitlement to exemption based on any other provisions of the Community Charter or any other legislation.

READ a FIRST TIME \_\_\_\_\_ day of \_\_\_\_\_, 2022.

READ a SECOND TIME \_\_\_\_\_ day of \_\_\_\_\_, 2022.

READ a THIRD TIME \_\_\_\_\_ day of \_\_\_\_\_, 2022.

RECONSIDERED AND ADOPTED the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
PRESIDING MEMBER

\_\_\_\_\_  
CORPORATE OFFICER



**City of Maple Ridge  
Bylaw No. 7869-2022**

**A Bylaw to Amend Maple Ridge Property Tax Exemption Bylaw No. 7568-2019**

**"SCHEDULE E"**

That in accordance with Section 224(2)(f) of the Community Charter, in relation to property that is exempt under section 220(1)(h) [buildings for public worship], the following land and improvements, that have been deemed as necessary to the building set apart for public worship and not including any portion of the property used for a commercial purpose, be exempt from property taxation:

Owner/Lessee Name	Civic Address	Folio Number	Legal Description	Primary PID
Wildwood Fellowship Church	10810 272 Street	05071-0100-5	Lot 1, Sec 8, TWP 15, NWD, PL NWP15658	010-090-797
Ridge Meadows Open Door Church	11391 Dartford St	10622-0100-0	Lot 695, DL 278, NWD, PL NWP114	011-525-606
B.C. Conference of Mennonite Brethren Churches Inc.	20450 Dewdney Trunk Road	20762-0305-0	Lot 1, DL 222, NWD, PL LMP40767	024-380-253
Christian & Missionary Alliance (Canadian Pacific District)	20399 Dewdney Trunk Road	20804-0401-1	Lot 1, DL 241, NWD, PL NWP83237	015-254-399
St. Pauls Evangelical Lutheran Church of Haney B.C.	12145 Laity Street	20861-0100-4	DL 242, NWD	012-842-320
St. John the Divine Anglican Church	21299 River Road	20920-0100-1	Lot 331, DL 248, NWD, PL NWP65523	003-630-421
Roman Catholic Archbishop of Vancouver Church	20285 Dewdney Trunk Road	21140-0400-1	Lot 1, DL 263, NWD, PL NWP75684	008-434-271
Maple Ridge Christian Reformed Church	20245 Dewdney Trunk Road	21142-3300-3	Lot 33, DL 263, NWD, PL NWP71910	004-613-333
Burnett Fellowship Baptist Church	20639 123 Avenue	21190-0001-0	Lot 1, DL 276, NWD, PL LMP42697	024-551-741
Church of Jesus Christ of Latter Day Saints in Canada	11750 207 Street	21255-0201-X	Lot 369, DL 277, NWD, PL NWP54899	005-333-504
Trustees of the Kanaka Creek Congregation of Jehovah's Witnesses	11770 West Street	21335-2200-2	Lot 22, DL 280, NWD, PL NWP67774	000-556-505
Church of the Nazarene	21467 Dewdney Trunk Road	41990-0000-8	Lot B, DL 245, NWD, PL NWP9007	011-402-911
High Way Church	21746 Lougheed Highway	42162-0000-X	Lot 3, DL 247, NWD, PL NWP6664	011-228-393
Congregation of the Haney Presbyterian Church	11858 216 Street	42176-0000-8	Lot 324, DL 247, NWD, PL NWP64655	003-471-951
Trustees of the Congregation of the Golden Ears United Church	22165 Dewdney Trunk Road	42249-0100-6	Lot C, DL 396, NWD, PL NWP14898	006-588-697
Maple Ridge Baptist Church	22155 Lougheed Highway	42331-0100-1	Lot A, DL 397, NWD, PL NWP67821	000-580-376
Governing Council of the Salvation Army in Canada	22188 Lougheed Highway	42345-0200-0	Lot A, DL 397, NWD, PL NWP68759	000-933-295
Roman Catholic Archbishop of Vancouver	22561 121 Avenue	52788-0000-8	Lot 24, Sec 20, TWP 12, NWD, PL NWP1161	012-020-389