

WELCOME

To the City of Maple Ridge's Open House on the Updated Maple Ridge Zoning Bylaw.



At today's event you can:

- **Explore the material:** There are several boards here today and we encourage you to review them all to learn more about the updated Maple Ridge Zoning Bylaw.
- **Ask questions:** City staff are here to answer any questions you may have.
- **Provide comments:** Fill out a survey! Paper surveys are available today. They are also available online at www.mapleridge.ca/2283.



MAPLE RIDGE ZONING BYLAW UPDATE

WHY ARE WE HERE?

The City of Maple Ridge's Zoning Bylaw directly influences how our community develops and gives form to the vision outlined in our Official Community Plan.

The City of Maple Ridge is in the process of updating the Zoning Bylaw to better meet the future needs of our community.

The existing Zoning Bylaw was originally adopted in 1985 (Zoning Bylaw No. 3510-1985) and has been amended over the years to respond to changes and new community initiatives.

The goal of the Zoning Bylaw update is to:

- Better align with current policies and regulations including the City's Official Community Plan.
- Meet Provincial legislative requirements.
- Improve the layout, functionality and clarity to be more user-friendly and effective in regulating land use.
- Respond to emerging market trends and address the City's sustainability goals and vision.

WHAT DOES THE ZONING BYLAW COVER?

The City's Zoning Bylaw, by its very nature, is a very complicated document being both regulatory in nature, rich in detail and extensive in length and content. It is a living document; relevant and flexible enough to respond to new initiatives by Council, the community, and other interested parties.

The Zoning Bylaw applies to all lands in the City and consists of the following regulations:

- Definitions and Interpretations;
- Regulations for the Use of Lands, Buildings and Structures
- Regulations for Size, Shape and Siting of Buildings and Structures;
- Land Use Zones and Schedules
 - Agricultural;
 - Residential;
 - Commercial;
 - Industrial;
 - Institutional; and
 - Comprehensive Development (CD).



MAPLE RIDGE
BRITISH COLUMBIA



MAPLE RIDGE ZONING BYLAW UPDATE

WORK TO DATE

The scope of the update includes:

- Identification of issues and discrepancies;
- Reformatting for ease of use and language;
- Review of all zones (except CD Zones);
- Review of definitions for consistency and modernization;
- Introduction of graphics and illustrations to improve ease of use; and
- Introduction of new provisions that reflect the goals and objectives of Council and Official Community Plan.

As part of the process, consultation sessions were held with the developers representatives and Council.

On April 9, 2019, staff presented a report on the updated Zoning Bylaw at Council Workshop.

The draft Zoning Bylaw (No. 7600-2019) received first reading on April 23, 2019.

Today, we are looking for your comments on the updated Zoning Bylaw.

Access the Draft Zoning Bylaw online!



The April Staff Reports and draft Zoning Bylaw No. 7600-2019 are available online through the QR code above or at mapleridge.ca/2283.

WHAT HAPPENS NEXT

Comments received from our community consultation and stakeholder review will inform whether further work is needed on the draft Zoning Bylaw. Once the Bylaw is finalized, second reading will be considered by Council and a Public Hearing date will be set for further public input. Third reading and final adoption would follow.



Following final adoption, the new Zoning Bylaw (No. 7600-2019) will be used for all new rezoning applications.

Applications that have received first or second reading may be amended to reference the new Zoning Bylaw (No. 7600-2019) and proceed to Public Hearing.

Typically, a bylaw that has been given third reading under the existing Zoning Bylaw (No. 3510-1985) will proceed under the old bylaw.

Staff will monitor and evaluate each application on a case-by-case basis.

NEW LOOK

IMPROVED LAYOUT AND FUNCTIONALITY

The New Zoning Bylaw has been reformatted to improve ease of use. A Table of Contents has been added to improve searchability and ease of use and the online copy will include hyperlinks. To help with functionality and clarity, new and improved graphics have also been incorporated.

New Zone Format

6 PART 6 – RESIDENTIAL ZONES

601 ZONE: R-1 SINGLE DETACHED (LOW DENSITY) URBAN RESIDENTIAL

601.1 PURPOSE

1. This zone provides for single detached residential uses within established residential neighborhoods with a minimum net lot area of 371.0 square metres.

601.2 PRINCIPAL USES

1. The following principal uses shall be permitted in this zone:

(a) single detached residential.

601.3 ACCESSORY USES

1. The following uses shall be permitted as accessory uses to one of the permitted principal uses in this zone:

(a) bed and breakfast;

(b) boarding;

(c) home occupation;

(d) secondary suite residential; and

(e) temporary residential.

2. Refer to Section 402 of this Bylaw for details of accessory uses.

601.4 LOT AREA and DIMENSIONS

1. Minimum net lot area and dimensions shall be not less than:

(a) in net lot area 371.0 sq m

(b) in lot width 12.0 met

(c) in lot width for a lot on a street corner 13.5 met

(d) in lot depth 24.0 met

2. Refer to Section 407 (Building Envelope) of this Bylaw for required envelope dimensions.

Maple Ridge Zoning Bylaw 7600-2019 Part 6 - Page 1

The Bylaw has been reformatted so that each zone is a stand-alone section. The headings are the same for each zone and the number sequencing is standardized.

The R-1 Zone, to the left, is an example.

Some zones have been renamed.

Some terms have been renamed or redefined.

New uses have been added and sorted alphabetically.

Defined terms are italicized.

Density provision added to Single Detached Residential.

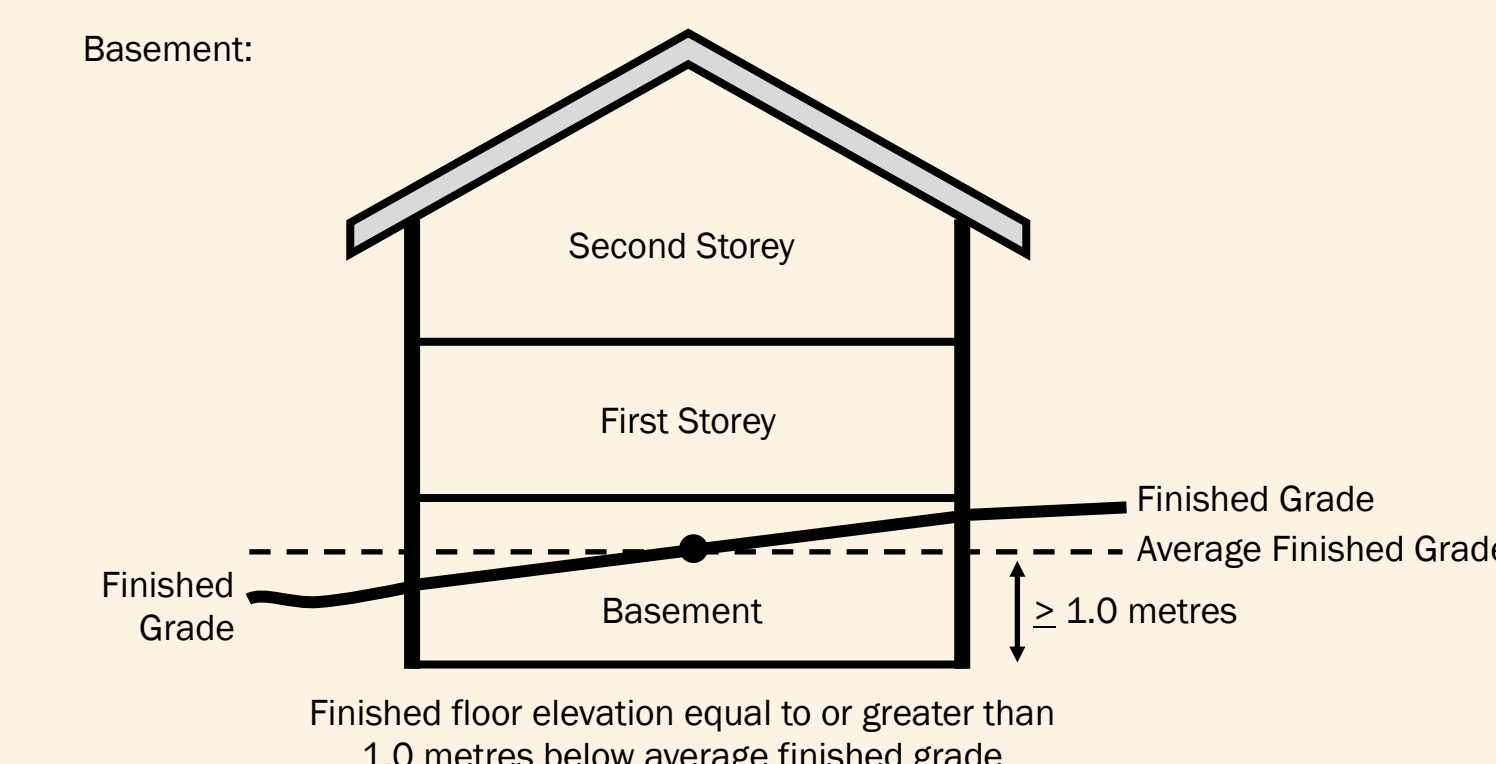
New building height calculation

All landscape and fence requirements reorganized in one section.

New RV parking requirements under the general regulations

New and Improved Graphics

BASEMENT means a portion of a building located below the first storey in which the finished floor system is equal to or greater than 1.0 metre below the average finished grade.



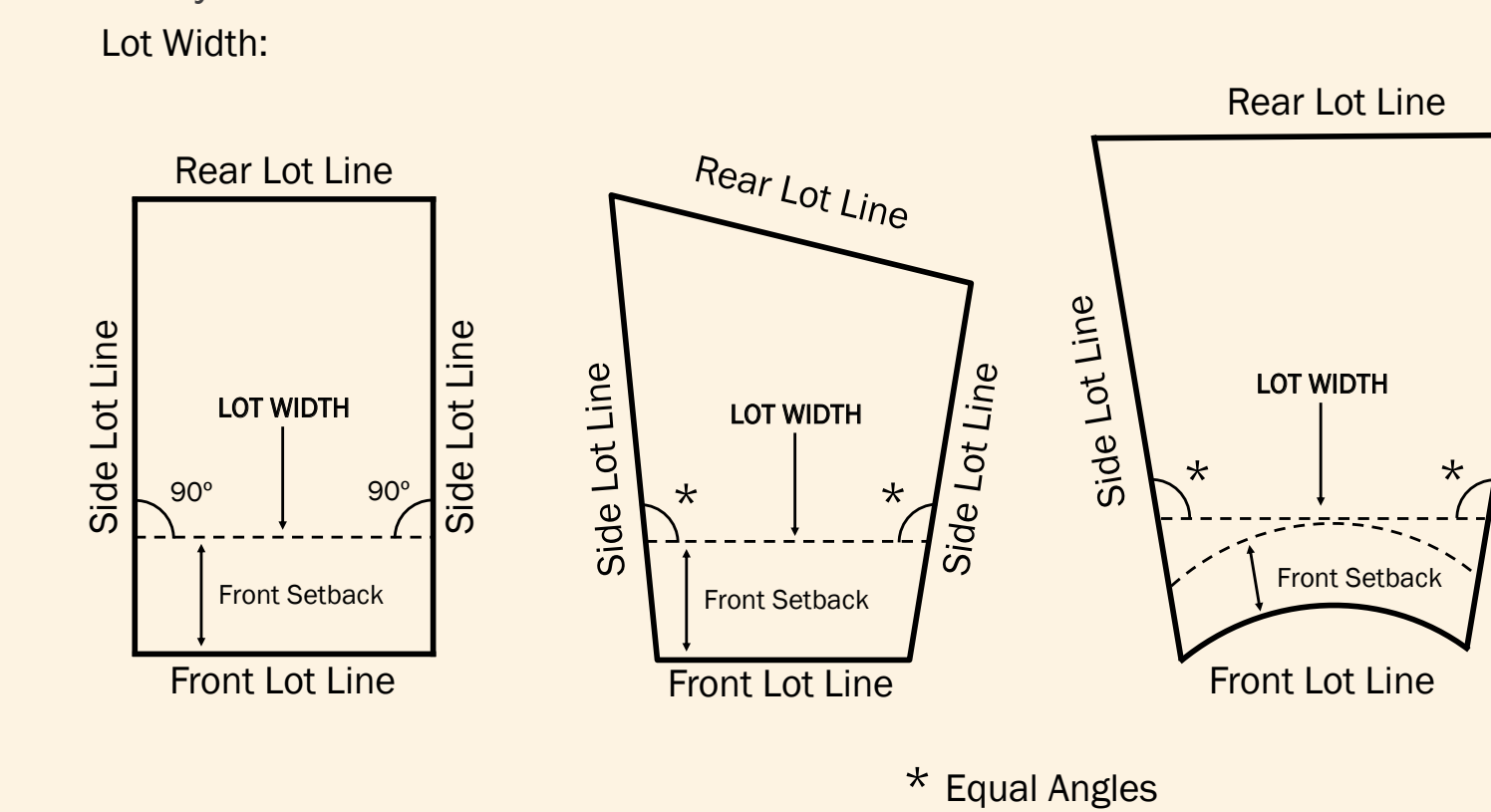
SETBACK means the horizontal distance from a designated lot boundary or other feature to a building, structure or other feature on the lot.

SETBACK, FRONT means the distance as designated elsewhere in this Bylaw between the front lot line and a parallel line which intersects the side lot lines.

SETBACK, REAR means the distance as designated elsewhere in this Bylaw between the rear lot line and a parallel line which intersects the side lot lines.

SETBACK, SIDE means the distance as designated elsewhere in this Bylaw between an exterior or interior side lot line and a parallel line which intersects the front and rear lot lines.

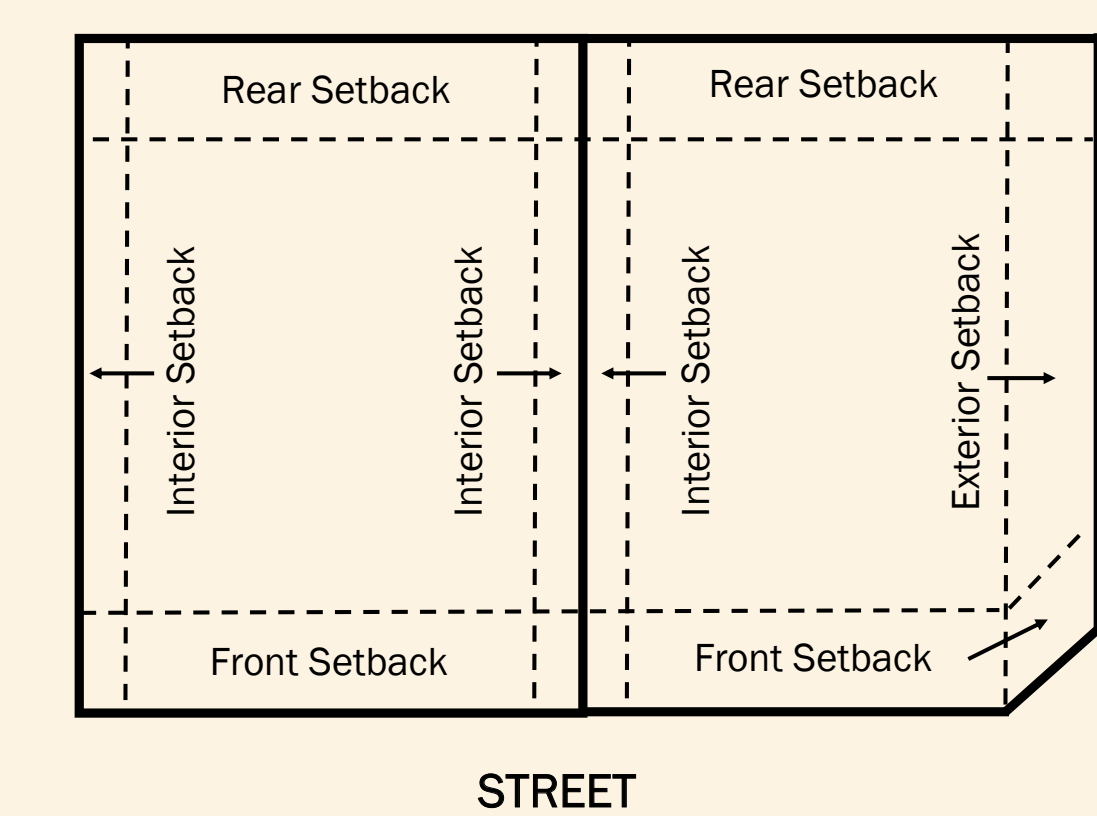
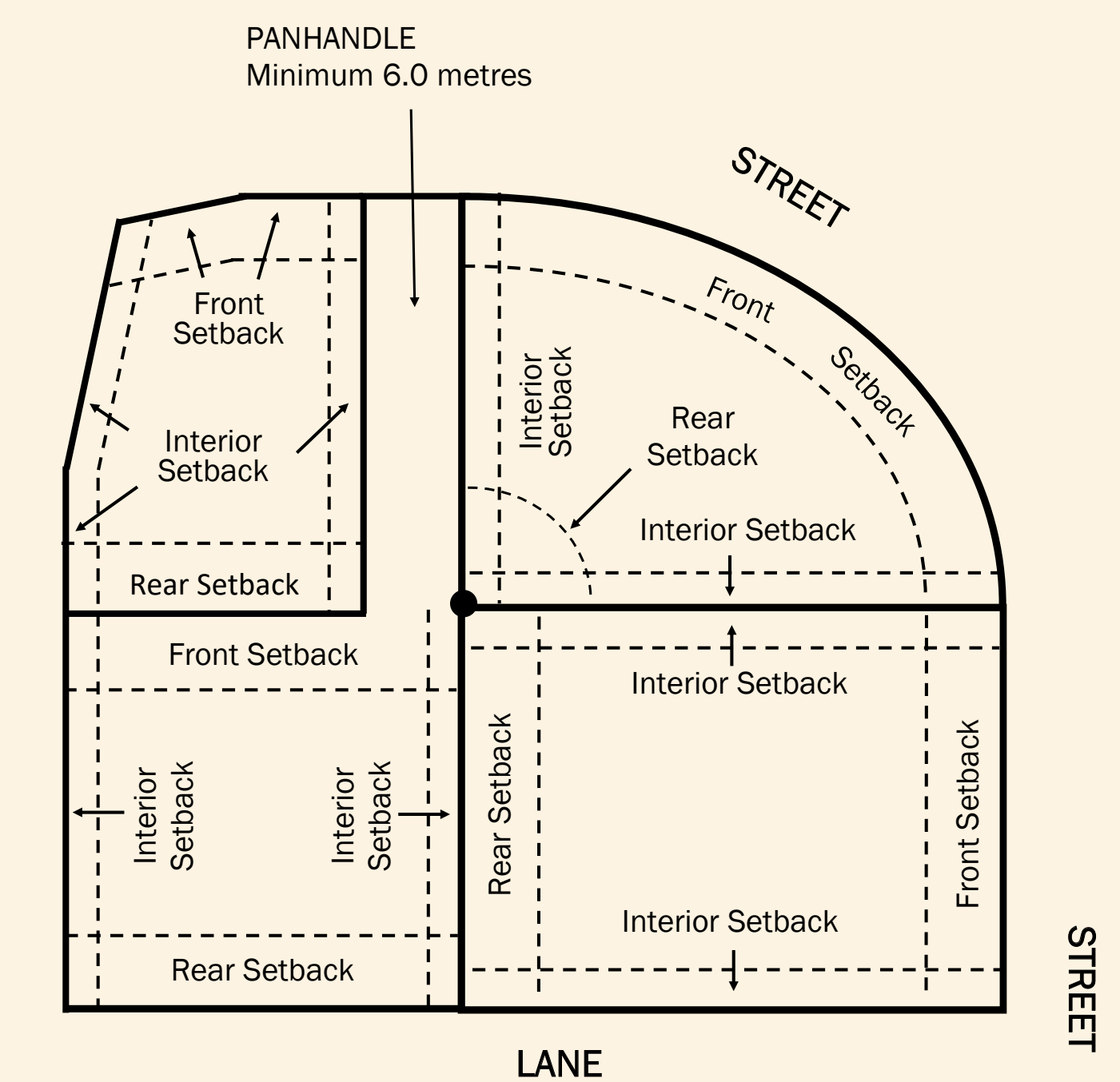
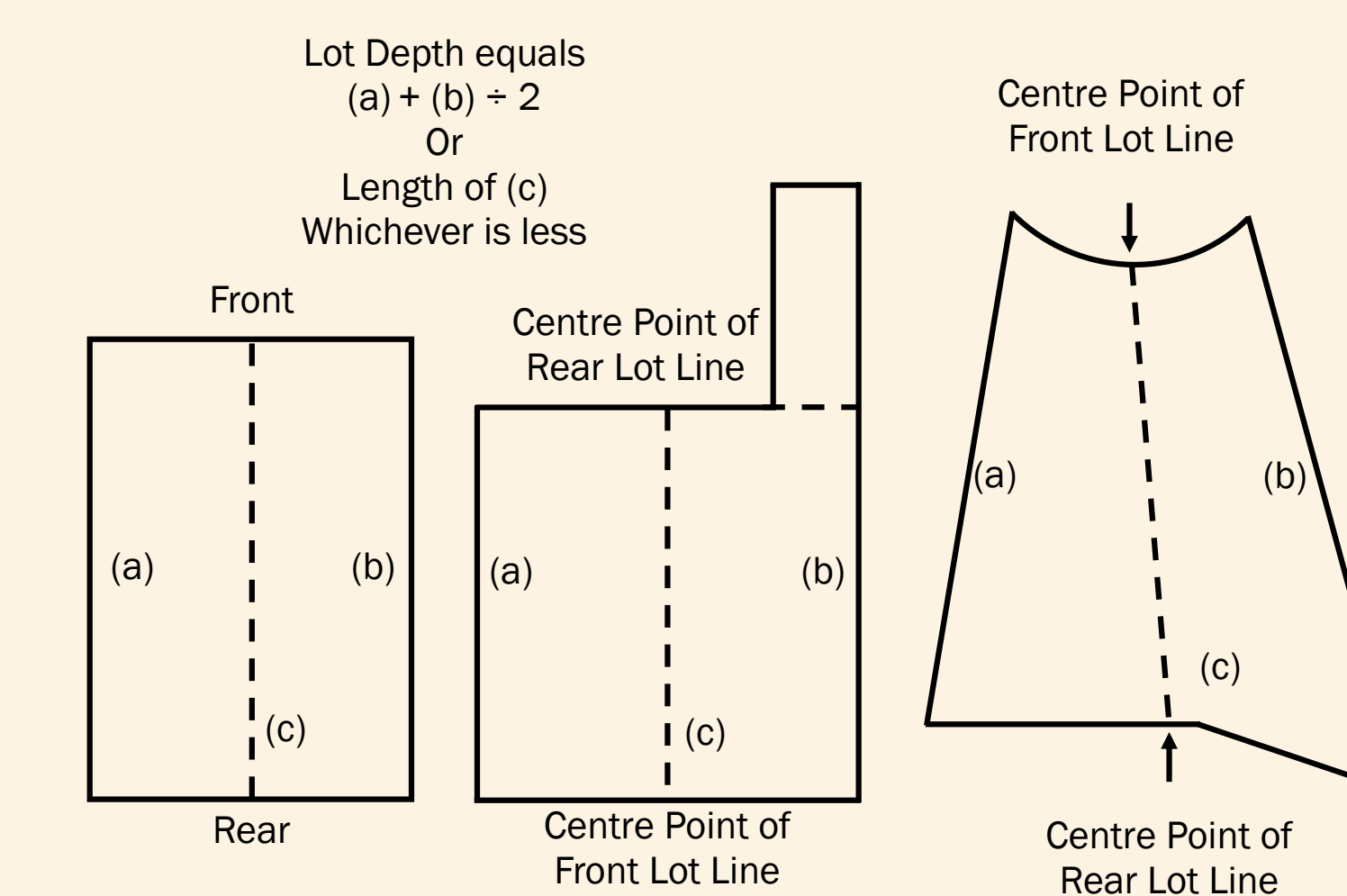
LOT WIDTH means the width of a lot measured as a straight line which intersects the side lot lines at equal angles and the minimum distance required for the front setback for a principal building on a lot under this Bylaw.



LOT DEPTH means the lesser of:

(a) the average of the lengths of the side lot lines, excluding the panhandle portion of a lot; or

(b) the length of a line running through the center point of the front lot line to the center point of the rear lot line.



Some examples of graphic additions.

ACCESSORY BUILDINGS, STRUCTURES & USES

An Accessory Building or Structure is defined in the updated Zoning Bylaw as:

ACCESSORY BUILDING AND/OR STRUCTURE means any permanent or temporary building and/or structure customarily associated with, incidental, subordinate and exclusively devoted to a principal building and/or structure located on the same lot.

Examples of Accessory Building and Structures in a residential zone include: garden or storage sheds, kennels, and soft sided portable storage shelters.

Summary of the New Regulations:

In residential zones, the updated Zoning Bylaw will require:

- A limit of two Accessory Building and Structures per residential lot.
- Not more than one Accessory Building may be a Portable Storage Shelters.
- Buildings for an additional residential use such as a Detached Garden Suite or an Agricultural Employee Residential use are not included in the limit of two.
- Solar energy devices, wind energy devices, geothermal devices and heat pumps are not limited in number.

	Updated Bylaw Section 401.4	Existing Bylaw Section 601C (5)
Lot Coverage for Accessory Buildings	15% or 279.0 square metres gross floor area, whichever is the lesser	15% or 279.0 square metres, whichever is the lesser
Number of Accessory Buildings	Not more than two (2) per lot regardless of size, of which not more than one shall be a portable storage shelter.	Limited by total allowable lot coverage permitted in the zone for all buildings and structures combined
Number of Portable Storage Shelters	One (1)	Not specified
Total Lot Coverage for all buildings and structures together for most Single Detached Residential zones	40% - 50%	40% - 50%

NEW TERM!

PORTABLE STORAGE SHELTER refers to a soft sided temporary structure (“tent”) intended to provide weather protection for stored vehicles and other materials.



In the updated Zoning Bylaw, new regulations have been introduced for Portable Storage Shelters:

- be sited in compliance with the setbacks for accessory buildings and structures for the zone on which it is located; but shall not be located within the front yard;
- be included in the calculation of lot coverage for principal and accessory buildings and structures, or where expressly identified for accessory buildings and structures, for the lot on which it is located;
- not exceed dimensions of:
 - (i) in width 3.0 metres
 - (ii) in depth 4.5 metres
 - (iii) in height 2.4 metres.
- be restricted to not more than one (1) per lot.



ALTERNATIVE ENERGY SYSTEMS

For residents and developers looking to reduce greenhouse gas emissions, the following requirements have been included in the updated Zoning Bylaw. These devices are not required, but should an interested resident or a developer choose one of these devices, the following requirements must be met:

Wind Energy Devices

- Up to 10 kilowatts in all zones:
 - one wind energy device permitted per lot with a minimum area of 0.4 hectares (1 acre);
 - maximum height 10.5 metres
 - minimum separation from any residential use on an adjacent lot is 125% of the total height of the device;
- Up to 20 kilowatts, in Commercial, Industrial and Institutional zones:
 - one wind energy device permitted per lot with a minimum area of 2,000.0 square metres (0.5 acre);
 - not permitted on a lot adjacent to a lot with a residential use;
 - maximum height 21.0 metres

Solar Energy Devices

- In Residential and Commercial zones, a solar energy device shall be attached to the principal or accessory building but not extending beyond roofline.
- In all other zones, a solar energy device shall be attached to or within a principal or accessory building but not extending beyond roofline or may be a stand-alone.

Biomass (organic matter)

- Permitted only in the M-5 zone.
- Not permitted on a lot adjacent to a residential use.
- Are subject to regional, provincial and municipal approvals and licences.

Geothermal Energy Devices and Heat Pumps

- The above ground parts, when not located within the principal building, shall comply with the requirements for an accessory building or structure.
- The underground portions shall be setback 3.0 metres from all lot lines.
- In Residential zones – maximum noise emission is 55.0 dba (eg. equivalent to a refrigerator or electric toothbrush).



BUILDING HEIGHT

The method for calculating the maximum height of a building or structure is changing.

The City has heard many concerns about how the height of buildings is currently determined, particularly residential buildings with the relationship between the site grading and the complex method using datum determination points and building height base lines.

As a result, a new building height calculation has been established for all buildings and structures:

The vertical distance (height) will be measured from the Average Grade (Natural or Finished) to either the mid-point of the roof or the highest point of the roof, depending on the type of roof.

In 2016, the maximum building height was increased to 11.0 metres to address the many requests for variances for encroachment of roof projections.

Currently, the height of a building is measured to the peak of the roof for all buildings.

The maximum building height for most single detached residential, two-unit residential and townhouse residential buildings will be 9.5 metres as measured to the midpoint of the roof.

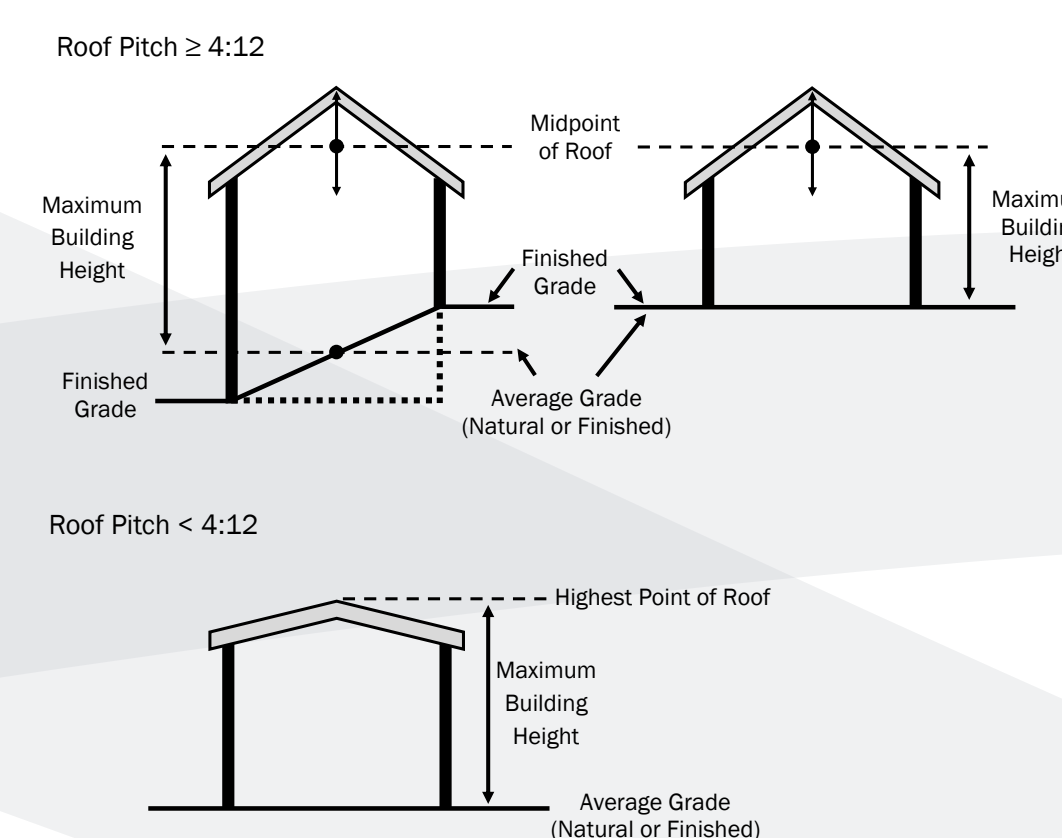
- Because the building height will no longer be measured to the peak of the roof, the maximum building height of 11.0 metres will be reduced by 1.5 metres to 9.5 metres (11.0 - 1.5 = 9.5)
- The overall height of the building to the roof peak will continue to be 11.0 metres.

For a roof pitch greater than or equal to 4 in 12 ($\geq 4:12$):

- measured to the mid-point between the ridge of a gable, hip, gambrel or other sloping roof and the eave immediately below; or

For a flat roof or a sloping roof with a roof pitch less than 4 in 12 ($< 4:12$):

- measured to the highest point of the roof.



NEW DEFINITIONS!

COMPREHENSIVE LOT GRADING PLAN

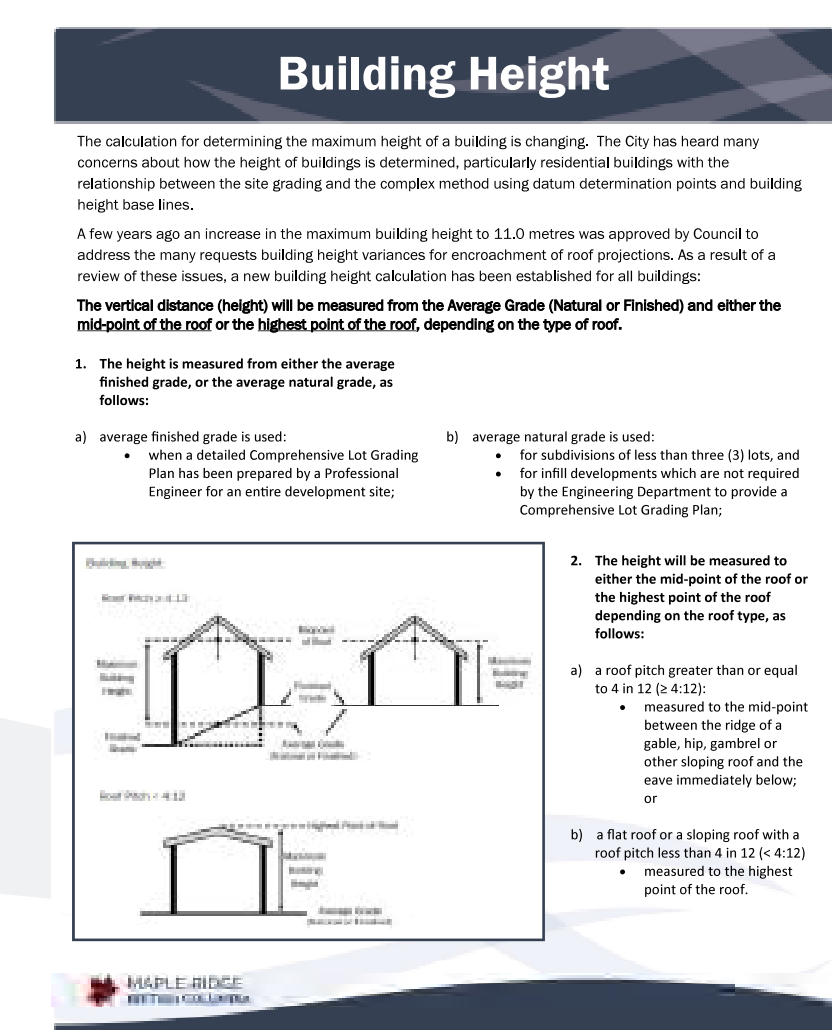
GRADE, AVERAGE FINISHED

GRADE, AVERAGE NATURAL

GRADE, FINISHED

GRADE, NATURAL

BUILDING HEIGHT HANDOUTS



LANDSCAPING, SCREENING & FENCING

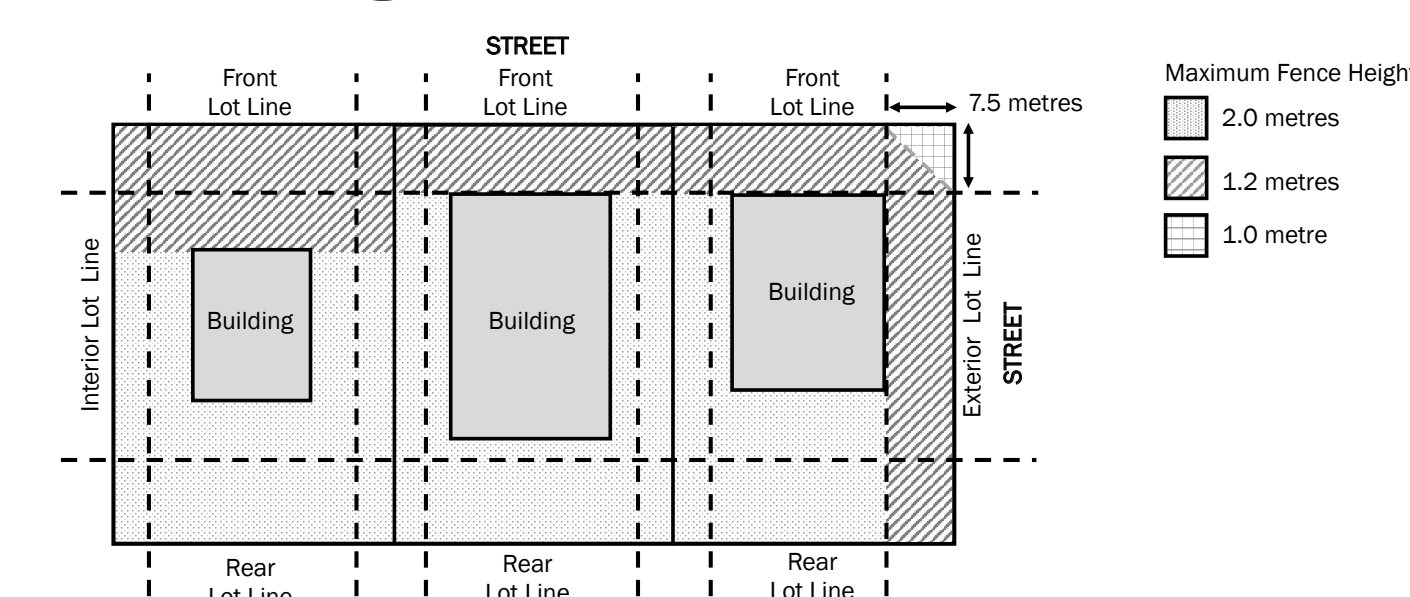
All Landscaping and Fencing requirements are now located in a new section 405 Landscaping, Screening and Fencing Regulations.

Summary of the New Regulations:

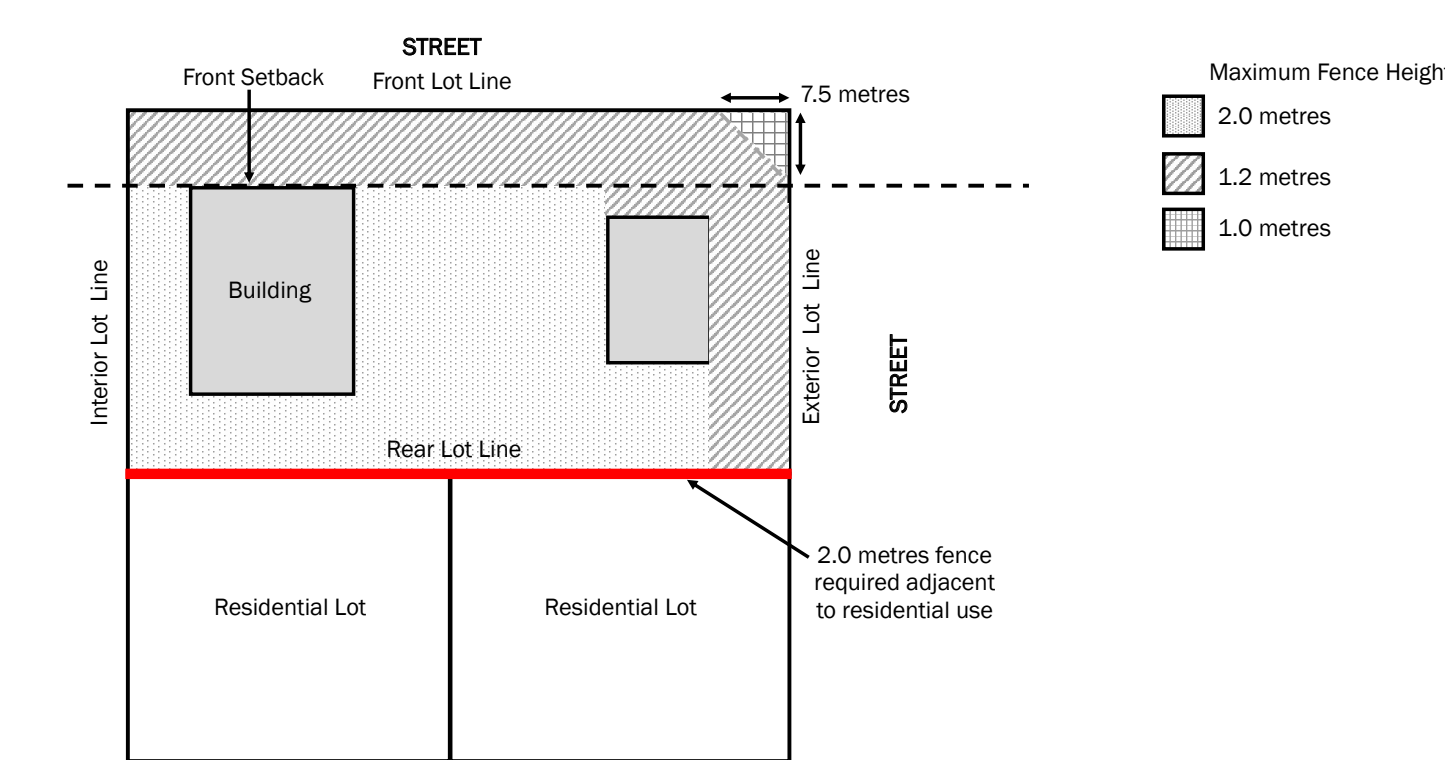
- Permeability and Permeable Surface Requirements
 - Minimum areas of permeable surfaces are identified for different zones and uses.
 - Permeable surfaces do not include buildings (except green roofs), asphalt, concrete, artificial turf or grouted pavers.
- Landscape Standards
 - Requirements for planting, irrigation, stormwater management, erosion and sediment control, steep slopes, and references to other Bylaws and outside agencies.
- Landscape Screen and Landscape Strip Requirements
 - Landscape Screens, Landscape Strips and Fences are required to separate specific uses (eg. commercial properties adjacent to residential) to reduce the visual or proximity impact on surrounding properties.

- Fence Requirements
 - Maximum fence heights are specified by zone and by specific uses.
 - Some fencing materials are limited to specific uses (eg. barbed wire, electric fences).
 - Fencing sketches now included in the new Zoning Bylaw.

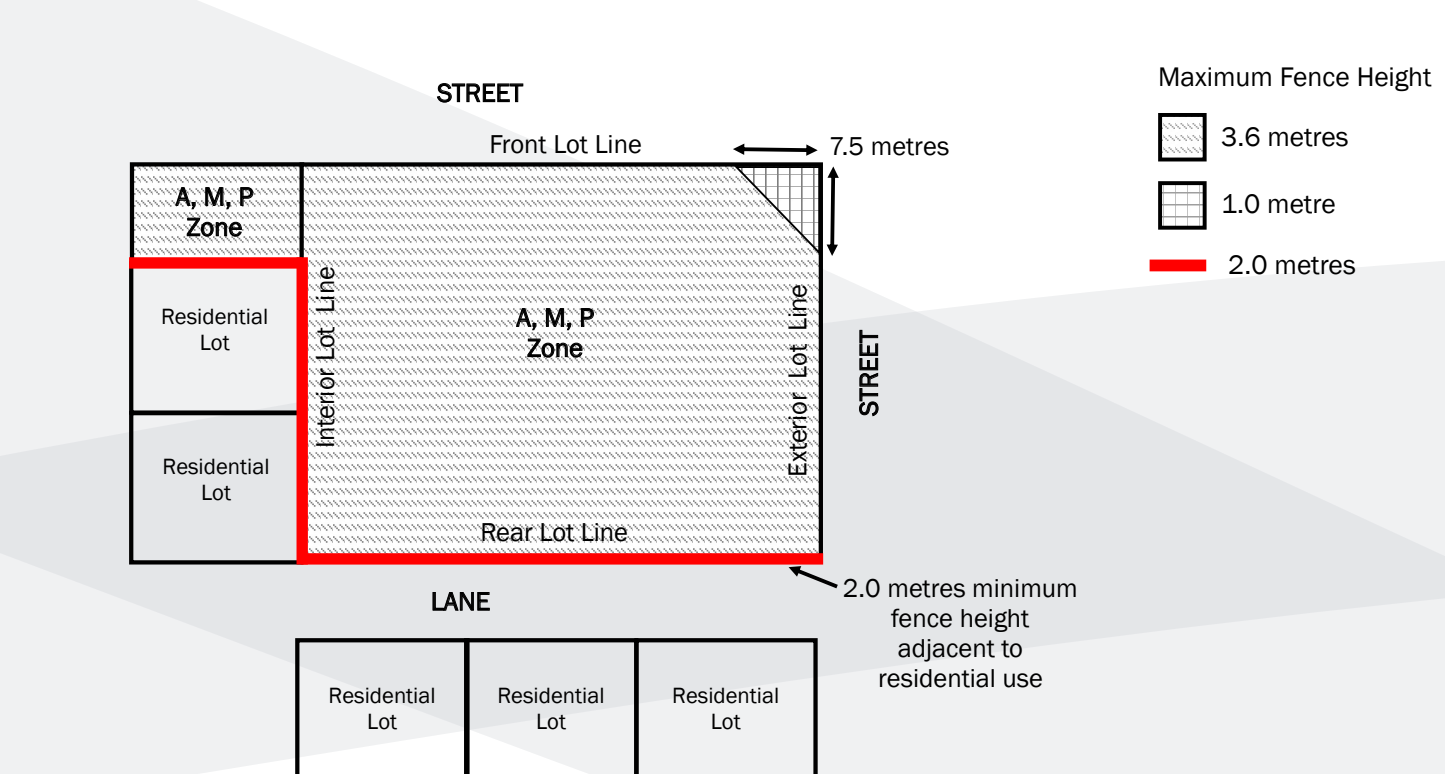
Fence Height - Residential Zones



Fence Height - Commercial Zones



Fence Height - Agricultural, Industrial and Institutional Zones



NEW DEFINITIONS!

LANDSCAPING means the placement or addition of lawns, herbaceous plants, shrubs and trees, permeable elements such as non-grouted bricks and pavers or crushed rock, and other ornamental features used in landscape architecture. Does not include non-permeable parking areas, uncleared natural vegetation, undergrowth or uncontrolled weeds.

LANDSCAPE SCREEN means a landscape area forming a continuous visual barrier composed of a dense planting of vegetation, including evergreen hedges, planted so that no person is able to see through it, and which is broken only by access drives, lanes and walkways.

LANDSCAPE STRIP means a landscape area used to separate uses and activities; which is broken only by access driveways, lanes and walkways; and contains the planting of trees, hedges, shrubs and ground covers.

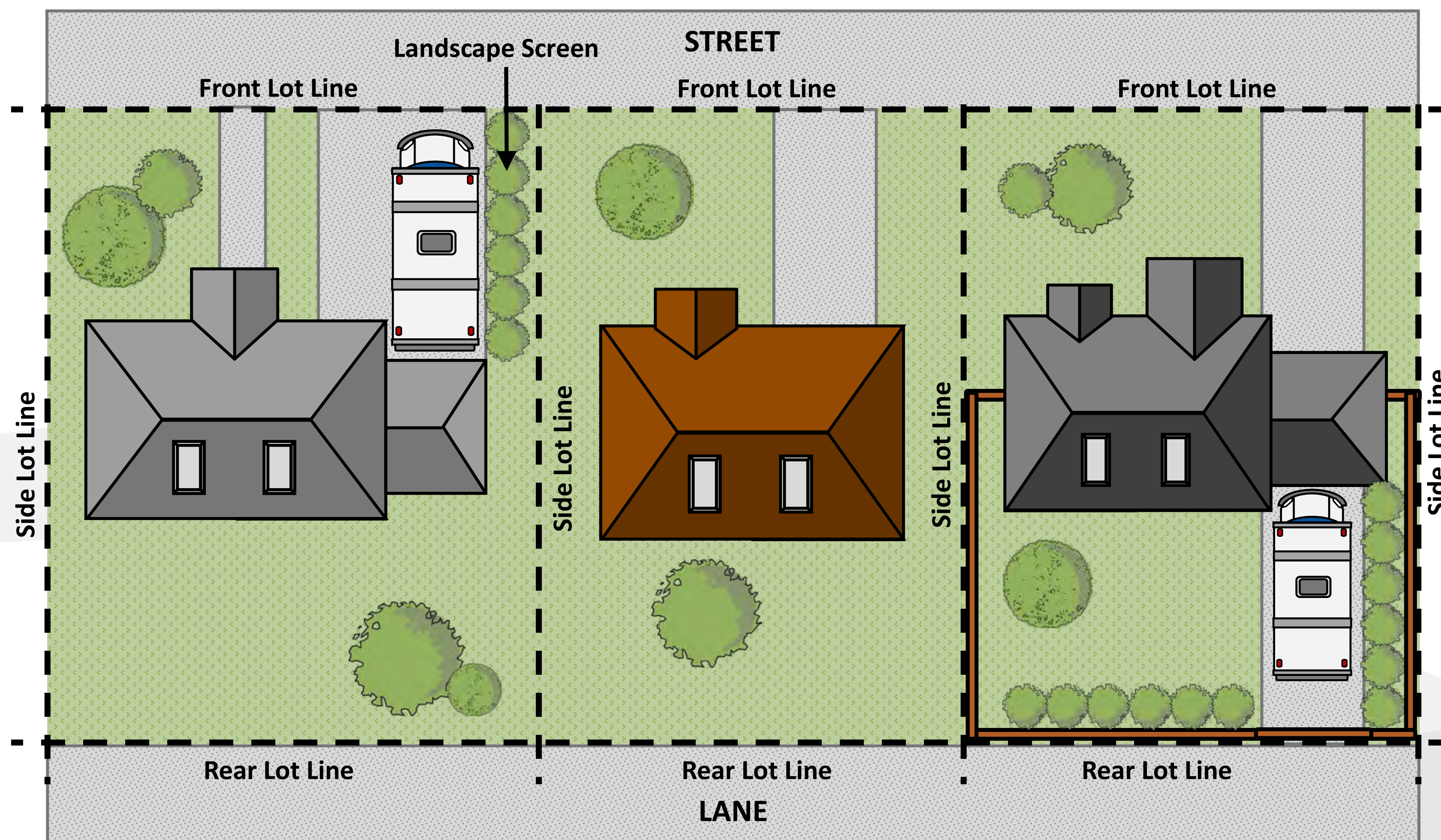


RV AND EQUIPMENT STORAGE

Summary of the New Regulations:

In residential zones, the updated Zoning Bylaw will require:

- Not more than one RV to be parked or stored in the front yard, and it must be on the driveway and completely within the lot lines of the property (not extending onto the boulevard);
- vehicles must be owned by the property owner or immediate family members residing on the lot;
- a landscape screen (e.g. hedge) of 2.0 metres, or the height of the vehicle, whichever is greater, between the vehicle and an adjacent side or rear lot line.



NEW TERM!

VEHICLE AND EQUIPMENT, RECREATIONAL means any boat, boat trailer, cargo trailer, horse trailer, motor home, camper, bus, snowmobile, and similar vehicles or equipment. Includes any vehicle or part of a vehicle or equipment designed for temporary living quarters for recreation, camping or travel, but excludes *manufactured homes*, motorcycles and bicycles.

Under the existing Zoning Bylaw, RV and equipment storage is only permitted if the vehicle is entirely enclosed or not more than 7.5m in length.

Changes were proposed based on resident concerns for safety due to potential sight line obstruction and aesthetics of a neighbourhood when large recreational vehicles, boat trailers and boats are parked or stored on residential properties.

Longterm storing recreation vehicles and equipment is permitted in zones which permit an Industrial use, such as the M-3 zone.



WASTE MANAGEMENT

Today, waste management requirements are located in a number of City bylaws and guidelines. Through the Zoning Bylaw Update process, these requirements, along with new regulations, have been consolidated and incorporated into the Zoning Bylaw.

Summary of the New Regulations:

- When not secured within a building, all garbage, organic containers, recycling and other waste materials shall be stored in wildlife resistant containers or wildlife resistant enclosures.
- Storage and collection of solid waste and recycling materials shall comply with the requirements of the:
 - Maple Ridge Solid Waste and Recycling Regulation Bylaw
 - Maple Ridge Wildlife and Vector Control Bylaw
 - Maple Ridge Building Bylaw, and
 - British Columbia Building Code.
- In Multi-Family Residential, Commercial, Industrial and Institutional zones all garbage, recycling or other waste containers shall be located within a structure designed to be compatible with the architecture of the building and screened from public view or shall be within a building.



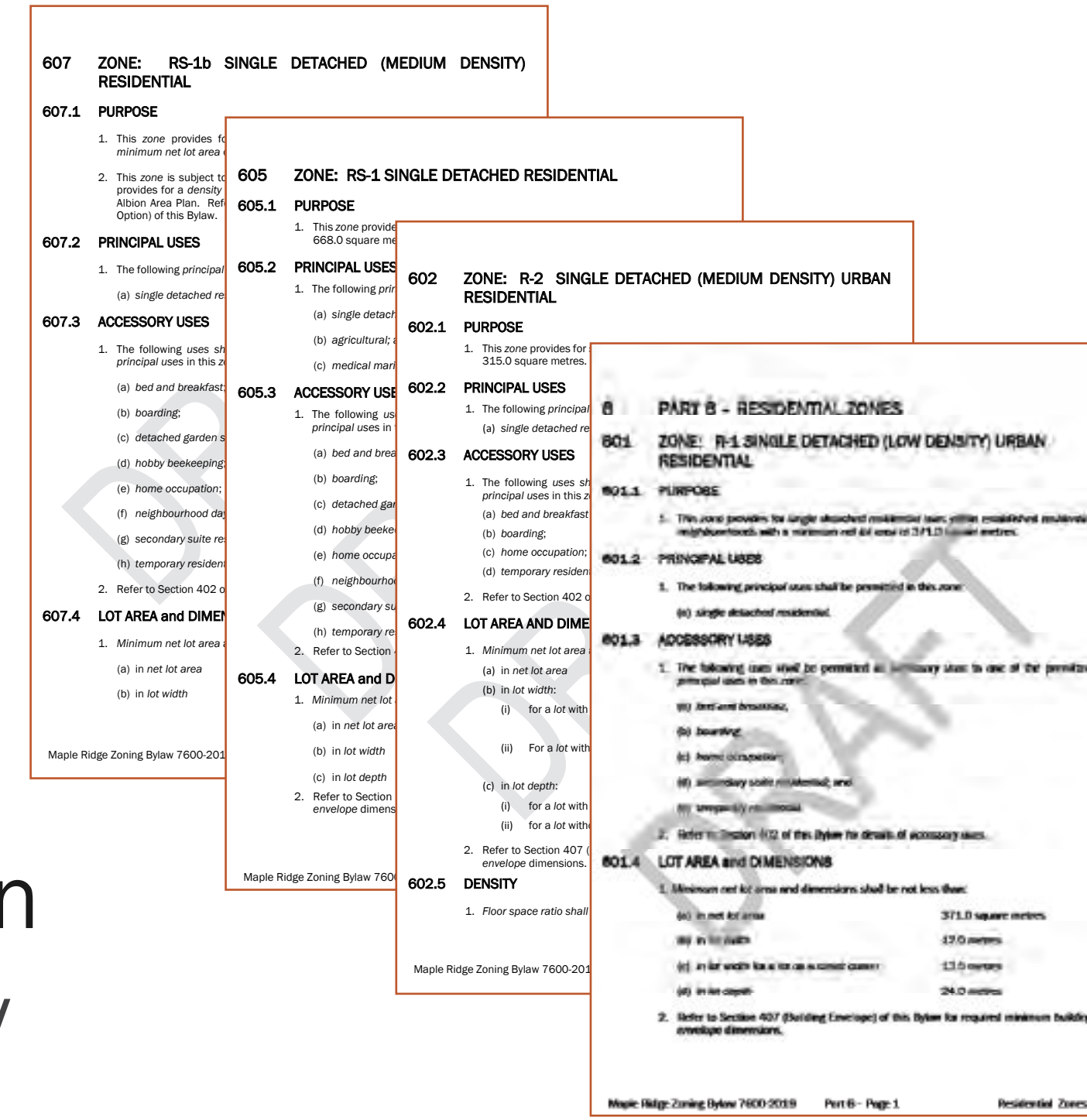
RESIDENTIAL

NEW FORMAT

Residential zones have been separated; each zone has its own section.

Many of the Residential Zones have been renamed to be more consistent with their use and density.

New Floor Space Ratio requirements have been incorporated in single detached and two-family residential zones in the updated Zoning Bylaw.



NEW TERMS

Some terms have changed, for example:

- *Single Family Residential* is now *Single Detached Residential*
- *Two Family Residential* is now *Two-Unit Residential*

Some terms have been added and changed for Multi-Family developments:

- *Private Outdoor Area* means a level outdoor area adjacent to and accessible from a dwelling unit and may include a deck, porch or patio.
 - Applies to ground-oriented residential and RM zones
- *Indoor Amenity Area* means an indoor space specifically designed for use by all its residents for cultural, social and recreation activities.
 - Applies to RM zones

Zone	Existing Zone Name	New Zone Name
R-1	Residential District	Single Detached (Low Density) Urban Residential
R-2	Urban Residential District	Single Detached (Medium Density) Urban Residential
R-3	Special Amenity Residential District	Single Detached (Intensive) Urban Residential
R-4		Single Detached (Infill) Urban Residential
RS-1	One Family Urban Residential	Single Detached Residential
RS-1a	One Family Amenity Residential	Single Detached (Amenity) Residential
RS-1b	One Family Urban (Medium Density) Residential	Single Detached (Medium Density) Residential
RS-1c	One Family Urban (Low Density) Residential	Single Detached (Low Density) Residential
RS-1d	One Family Urban (Half Acre) Residential	Single Detached (Half Acre) Residential
RS-2	One Family Suburban Residential	Single Detached Suburban Residential
RS-3	One Family Rural Residential	Single Detached Rural Residential
RST	Street Townhouse Residential	Street Townhouse Residential
RST-SV	Street Townhouse – Silver Valley	Street Townhouse Residential - Silver Valley
SRS	Special Urban Residential	Special Urban Residential
RT-1	Two Family Urban Residential	Two-Unit Urban Residential
RT-2	Ground-Oriented Residential Infill	Ground-Oriented Residential Infill
RM-1	Townhouse Residential	Low Density Townhouse Residential
RM-2	Medium Density Apartment Residential	Medium Density Apartment Residential
RM-3	High Density Apartment Residential	Medium/High Density Apartment Residential
RM-4	Multiple Family Residential District	Medium Density Townhouse Residential
RM-5	Low Density Apartment Residential	Low Density Apartment Residential
RM-6	Regional Town Centre High Density Apartment Residential	Town Centre High Density Apartment Residential
RE	Elderly Citizens Residential	Elderly Citizens Residential
RG	Group Housing Zone	Group Housing Residential
RG-2	Suburban Residential Strata Zone	Suburban Residential Strata
RG-3	Rural Residential Strata Zone	Deleted
RMH	Mobile Home Residential	Manufactured Home Park Residential
CD-1-93	Amenity Residential District	Moved to Part 10 (Comprehensive Development)

RESIDENTIAL USE MATRIX

The Residential Use Matrix provides a high level snap-shot of which uses are permitted in which residential zones.

Use	Permitted Residential Zone																	
	R-1	R-2	R-3	R-4	RS-1	RS-1a	RS-1b	RS-1c	RS-1d	RS-2	RS-3	RST	RST-SV	SRS	RT-1	RT-2	RE	CD-1-93
Accessory Buildings and Structures	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Accessory Off-Street Parking	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Agricultural					✓					✓	✓							
Agricultural Employee Residential											✓							
Bed and Breakfast	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓				✓
Boarding	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓
Campground											✓							
Courtyard Residential																✓		
Detached Garden Suite Residential					✓	✓	✓	✓	✓	✓	✓			✓				✓
Elderly Citizens Residential																	✓	
Fourplex Residential																✓		
Hobby Beekeeping					✓	✓	✓	✓	✓	✓	✓			✓	✓			✓
Home Occupation	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓
Medical Marihuana, Commercial Production										✓	✓							
Neighbourhood Daycare					✓	✓	✓	✓	✓	✓	✓				✓			✓
Produce Sales										✓	✓							
Rental Stable											✓							
Secondary Suite Residential	✓			✓	✓	✓	✓	✓	✓	✓	✓			✓				✓
Single Detached Residential	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	✓			✓
Street Townhouse												✓	✓					
Temporary Residential	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓			✓	✓			✓
Triplex Residential																✓		
Two-Unit Residential								✓	✓						✓			
Urban Agricultural	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

FLOOR SPACE RATIO

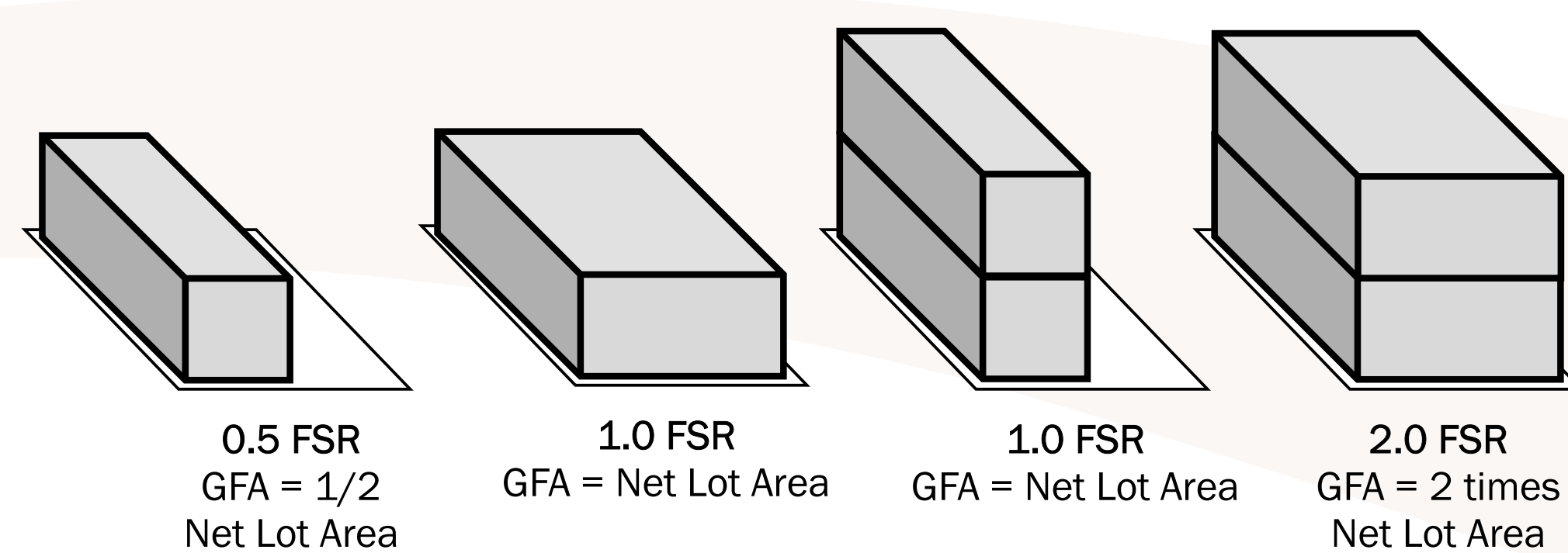
WHAT IS FLOOR SPACE RATIO?

Density is the ratio of a building's floor area to the size of the lot on which it is located and is expressed as Floor Space Ratio (FSR). A higher ratio is more likely to indicate a more dense or urban development.

The ratio is determined by dividing the total (or gross) floor area of the building by the net area of the lot.

- Gross Floor Area (GFA) means the total area of all the floors, measured to the extreme outer limits of the building.
- Net Lot Area means the total area of the lot, excluding any portions of the lot required for park, road, or conservation dedication.
- Section 403.9 of the new Zoning Bylaw details exemptions to the gross floor area requirement.

$$\frac{\text{Total Gross Floor Area (GFA)}}{\text{Net Lot Area}} = \text{Floor Space Ratio (FSR)}$$



FSR, together with property setbacks, building heights and other zoning requirements, is used to regulate the mass of a building on a property.

The table below summarizes the FSR requirements added to the single detached and two-family residential zones in the New Zoning Bylaw.

Zone	Maximum Net Lot Area	Floor Space Ratio (FSR)	Approximate Maximum Floor Area*
R-1	Single Detached (Low Density) Urban Residential 371.0 m ² (3,993.4 ft ²)	0.6	223 m ² (2400 ft ²)
R-2	Single Detached (Medium Density) Urban Residential 315.0 m ² (3,390.6 ft ²)	0.65	205 m ² (2200 ft ²)
R-3	Single Detached (Intensive) Urban Residential 255.0 m ² (2,744.8 ft ²)	0.7	179 m ² (1900 ft ²)
R-4	Single Detached (Infill) Urban Residential 450.0 m ² (4,843.8 ft ²)	0.6	270 m ² (2900 ft ²)
RS-1	Single Detached Residential 668.0 m ² (7,190.3 ft ²)	0.5	334 m ² (3600 ft ²)
RS-1a	Single Detached (Amenity) Residential 668.0 m ² (7,190.3 ft ²)	0.5	334 m ² (3600 ft ²)
RS-1b	Single Detached (Medium Density) Residential 557.0 m ² (5,955.5 ft ²)	0.6	334 m ² (3600 ft ²)
RS-1c	Single Detached (Low Density) Residential 1,200.0 m ² (12,196.7 ft ²)	0.4 single detached residential 0.5 two-unit residential	480 m ² (4880 ft ²) 600 m ² (6100 ft ²)
RS-1d	Single Detached (Half Acre) Residential 2000.0 m ² (21,527.8 ft ²)	0.25 single detached residential 0.3 two-unit residential	500 m ² (5400 ft ²) 600 m ² (6500 ft ²)
RS-2	Single Detached Suburban Residential 0.4 ha (0.99 ac)	0.2	800 m ² (8600 ft ²)
RS-3	Single Detached Rural Residential 0.8 (with water) (1.98 ac) 2.0 (without water) (4.94 ac)	0.1	800 m ² (8600 ft ²)
RST	Street Townhouse Residential 234.0 m ² end unit (2,518.8 ft ²) 273.0 m ² exterior end unit (2,938.5 ft ²) 195.0 m ² interior unit (2,099.0 ft ²)	223.0 m ²	223 m ² (2400 ft ²)
RST-SV	Street Townhouse Residential - Silver Valley 252.0 m ² end unit (2,712.5 ft ²) 315.0 m ² exterior end unit (3,390.6 ft ²) 225.0 m ² interior unit (2,421.9 ft ²)	223.0 m ²	223 m ² (2400 ft ²)
SRS	Special Urban Residential 837.0 m ² (9,009.4 ft ²)	0.5	418 m ² (4500 ft ²)
RT-1	Two-Unit Urban Residential 755.0 m ² (8,126.7 ft ²) 557.0 m ² (Town Centre) (595.5 ft ²)	0.5 single detached residential 0.7 two-unit residential	378 m ² (4000 ft ²) 390 m ² (4200 ft ²)
RT-2	Ground-Oriented Residential Infill 800.0 m ² triplex (8,611.1 ft ²) 700.0 m ² (triplex in Town Centre) (7,534.7 ft ²) 850.0 m ² fourplex (9,149.3 ft ²) 800.0 m ² fourplex in Town Centre (8,611.1 ft ²) 950.0 m ² courtyard (10,225.7 ft ²) 900.0 m ² courtyard in Town Centre (9,687.5 ft ²)	0.75 for all uses	600 m ² (6500 ft ²) 525 m ² (5600 ft ²) 638 m ² (6900 ft ²) 600 m ² (6500 ft ²) 713 m ² (7700 ft ²) 675 m ² (7300 ft ²)
CD-1-93	Moved to Part 10 (Comprehensive Development) 371.0 m ² (3,933.4 ft ²)	0.6	223 m ² (2400 ft ²)

* Does not take into consideration any other required regulations.

DENSITY BONUS REQUIREMENT

DENSITY BONUS FOR AFFORDABLE HOUSING

To further implement our Official Community Plan and the Housing Action Plan, a set of density bonus regulations were created to encourage the creation of future affordable, rental and special needs housing options.

Like all density bonus programs, the proposed regulations are optional in nature whereby a fixed base level of density is available outright to all development, but an optional maximum permissible density is also achievable should the applicant wish to provide the required amenity contribution.

Recently, Council has expressed an interest in having the density bonus requirement provide a cash contribution which will be placed in a city reserve fund for use in creating future affordable housing in our community.

The below table describes by zone the corresponding base density and optional bonus density levels along with the required amenity contribution.

Zone	Base Density	Density Bonus	Amenity Contribution
RM-1 RM-4 RM-5	Base levels of density are 0.6, 0.75 and 0.8 times the net lot area (FSR)	Density may be increased by 0.15 times the net lot area (FSR)	A cash contribution, at a rate of \$215.28 per square metre (\$20.00 per square foot)
RM-2 RM-3	Base levels of density are 1.8 and 1.2 times the net lot area (FSR)	Density may be increased by 0.4 times the net lot area (FSR)	A cash contribution, at a rate of \$96.88 per square metre (\$9.00 per square foot)
RM-6	Base level of density is 1.6 times the net lot area (FSR)	Density may be increased by 0.5 times the net lot area (FSR)	A cash contribution, at a rate of \$96.88 per square metre (\$9.00 per square foot)
C-2	Base density is measured in terms of building height with maximum height of 7.5 metres and one storey.	Additional building height may be obtained to a maximum of 10.0 metres and two storeys	A cash contribution, at a rate of \$96.88 per square metre (\$9.00 per square foot)
C-3	Base level of residential density is 1.0 times the net lot area (FSR)	Residential density may be increased by 0.5 times the net lot area (FSR)	A cash contribution, at a rate of \$96.88 per square metre (\$9.00 per square foot)

It is anticipated that the proposed density bonus zoning would be applied to the appropriately designated properties in the Town Centre and Major Corridor areas only.

Under the proposed density bonus framework the provision of a cash contribution would only be applicable if the developer chose to pursue the available bonused density.

Further discussion on the draft density bonus regulation and the amenity contribution values are anticipated to be reviewed further by Council, prior to the final adoption of the new Zoning Bylaw.



COMMERCIAL

NEW USES

Some new uses have been added to the following commercial zones:

CS-1 Service Commercial

- Big Box Retail (previously Retail limited to 2,000m²)
- Funeral Services

CS-3 Recreation Commercial

- Campground
- Indoor Commercial Recreation
- Manufactured Home Park (limited to specific properties only)

CS-5 Adult Entertainment and Pawnshop Service Commercial

- Big Box Retail

C-1 Neighbourhood Commercial

- Apartment Residential
- Business Services
- Civic
- Financial Services
- Indoor Commercial Recreation
- Liquor Primary Establishment
- Professional Services
- Retail, excluding Highway Commercial uses

C-2 Community Commercial

- Big Box Retail

C-3 Town Center Commercial

- Funeral Services
- Light Industrial, limited to Microbrewery, Microwinery and Microdistillery
- Media Production Studio
- Private Hospital
- Public Market
- Accessory Apartment Residential
- Accessory one and two dwelling unit

C-4 Neighbourhood Pub

- Liquor Primary Establishment (previously called Neighbourhood Pub)

REMOVED USES

Some uses have been removed from the following commercial zones:

CS-1 Service Commercial

- Warehousing

CS-2 Service Station Commercial

- One Family Residential
- Home Occupation

MINIMUM DIMENSIONS

The minimum lot area and dimensions have been increased for the C-3 Town Centre Commercial zone to encourage lot consolidation for new development in a larger format.

Minimum	Existing	Updated
Net Lot Area	186.0 m ²	1,672.0 m ²
Lot Width	6.0 m	36.0 m
Lot Depth	27.0 m	27.0 m

INDUSTRIAL

NEW USES

Some new uses have been added to the following industrial zones:

M-1 Service Industrial

- Media Production Studio

M-2 General Industrial

- Cement Plant
- Media Production Studio
- Recycling Plant
- Refueling and Washing of Commercial, Industrial and Fleet Vehicles
- Towing Yard
- Vehicle and Equipment Repair Services
- Wrecking and Salvaging of Goods

M-3 Business Park Industrial

- Commercial Laundry
- Commercial Upholstery
- Customer Service and Marketing Call Centre
- Distillery and Brewery

- Equipment Appraisal
- Media Production Studio
- Preparation of Food and Food Products for Off-Site Consumption, including Catering
- Printing, Publishing and Reproduction Services
- Repair and Servicing of Light Non-Industrial Machinery and Non-Industrial Equipment

M-5 High Impact Industrial

- Wrecking and Salvaging of Vehicles, Goods, Materials and Things
- Biomass Fueled Boilers and Process Heaters

REMOVED USES

Some uses have been removed:

M-2 General Industrial

- Light Industrial
- Sand and Gravel Plants

M-3 Business Park Industrial

- Child Care Centre
- Retail Warehouse Operations

OTHER CHANGES

The *One Family Residential* use has been replaced by *Caretaker Residential* but the intent of the use has not changed. Refer to Section 402.7 (Caretaker Residential) of this Bylaw for additional requirements for this use. It is defined as:

- a dwelling unit accessory to, and located within the same building as a principal use as a commercial, industrial, rural resource or institutional use specifically providing for the accommodation of an employee or employees working on the same lot.

Warehouse Storage use is only permitted in the M-1 and M-3 zones for mini-storage or self-storage warehouses. It is defined as:

- a commercial premises used for keeping or storing goods or personal property and includes individually accessible mini storage units.

Wrecking and Salvaging of Vehicles is now only permitted in the M-5 Zone.



AGRICULTURAL & INSTITUTIONAL

AGRICULTURAL

Each of the five Agricultural Zones are now separate stand-alone sections and numbered accordingly with the standard headings and format.

Accessory Employee Residential is now called *Agricultural Employee Residential*.

Tourist Accommodation use has been replaced by *Bed and Breakfast* and *Campground* uses.

Hobby Kennel use has been removed.

For lots that are with the Agricultural Land Reserve:

- The regulations of the Agricultural Land Commission shall prevail.
- The *Farm Home Plate* requirements shall also apply.

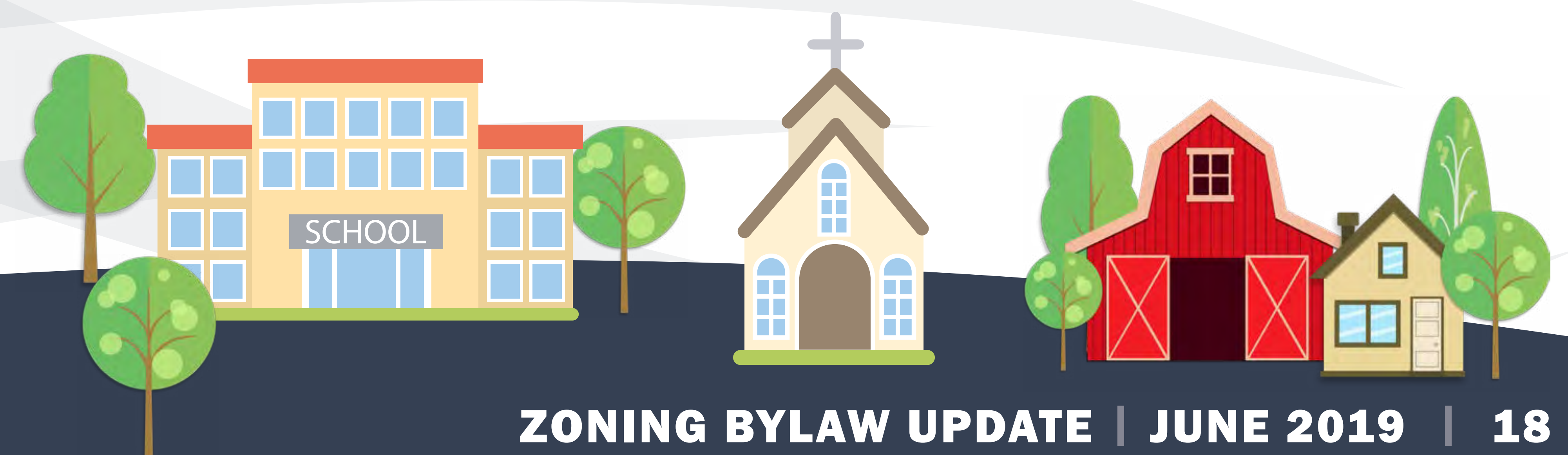
INSTITUTIONAL

Each of the seven Institutional Zones are now separate stand-alone sections and numbered accordingly with the standard headings and format.

An *Accessory Dwelling Unit* is now permitted in the Institutional zones, excluding P-5 zone, as either a *Caretaker Residential* use or a *Single Detached Residential* use.

- A *Single Detached Residential* use is often associated with a *Place of Worship* use with a maximum *gross floor area* of 300 m².
- A *Caretaker Residential* use is for the accommodation of an employee working on the same lot, including a minimum of 37 m² and a maximum of 90 m² *gross floor area*.
- Both the *Caretaker Residential* and *Single Detached Residential* must be accessory to a principal use on the same lot.

Indoor Commercial Recreation and *Outdoor Commercial Recreation* uses have been added to the P-1 and P-6 zones to permit the public to engage in recreation as participants rather than spectators.



THANK YOU

For taking the time to learn more about the Updated Maple Ridge Zoning Bylaw.

WE WANT TO HEAR FROM YOU!

Please take the opportunity to provide your thoughts and comments through our survey available today or online at:

WWW.MAPLERIDGE.CA/2283

Online survey closes July 26, 2019

QUESTIONS ABOUT PLANNING?

(604) 467-7341

planning@mapleridge.ca

QUESTIONS ABOUT BUILDING CODE?

(604) 467-7311

buildingenquiries@mapleridge.ca

QUESTIONS ABOUT BYLAWS?

(604) 467-7305

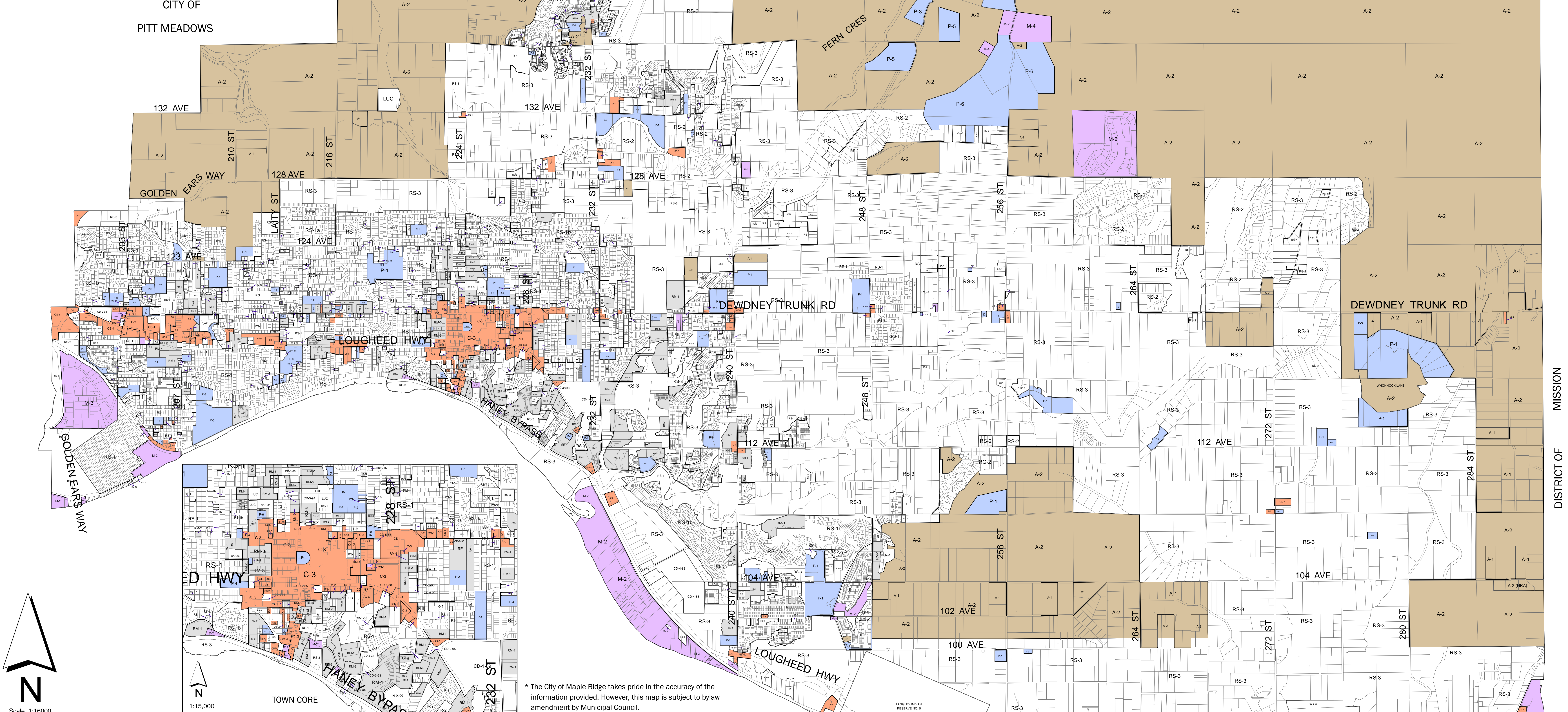
licencesandbylaws@mapleridge.ca



MAPLE RIDGE
BRITISH COLUMBIA

UPDATED ZONING BYLAW MAP

ZONE	DESCRIPTION	ZONE	DESCRIPTION
AGRICULTURAL			
A-1	Small Holding Agricultural	M-1	Service Industrial
A-2	Urban Agricultural	M-2	General Industrial
A-3	Extensive Agricultural	M-3	Business Park Industrial
A-4	Intensive Greenhouse	M-4	Extraction Industrial
A-5	Agricultural Dry	M-5	High Impact Industrial
ONE AND TWO FAMILY RESIDENTIAL			
R-1	Single Detached Low Density Urban Residential	C-1	Neighbourhood Commercial
R-2	Single Detached Medium Density Urban Residential	C-2	Community Commercial
R-3	Single Detached (Intensive) Urban Residential	C-3	Town Centre Commercial
R-4	Single Detached Intense Urban Residential	CRM	Commercial Residential
RS-1	Single Detached Residential	H-1	Heritage Commercial
RS-1A	Single Detached (Intensive) Residential	H-2	Hammond Village Commercial
RS-1b	Single Detached (Medium Density) Residential	C-4	Neighbourhood Pub
RS-1c	Single Detached (Low Density) Residential	C-5	Village Centre Commercial
RS-1d	Single Detached (Half Acre) Residential	C-6	Community Gaming Facility
RS-2	Single Detached Suburban Residential	C-7	Service Commercial
RS-3	Single Detached Rural Residential	CS-1	Service Station Commercial
RT-1	Two-Unit Urban Residential	CS-2	Service Station Commercial
RT-2	Ground Oriented Residential Int'l	CS-3	Recreation Commercial
SRS	Special Urban Residential	CS-4	Rural Commercial
RM-1	Manufactured Home Park Residential	CS-5	Adult Entertainment and Pastime Service Commercial
RG	Group Housing Residential	INSTITUTIONAL	
RS-2	Suburban Residential Strata	P-1	Park and School
RS-3	Rural Residential Strata	P-2	Special Institutional
MULTIFAMILY RESIDENTIAL			
RM-1	Low Density Townhouse Residential	P-3	Children's Institutional
RM-2	Low Density Apartment Residential	P-4	Place of Worship
RM-3	Medium Density Apartment Residential	P-5	Place of Worship and Educational
RM-4	Medium Density Townhouse Residential	P-6	Convalescence and Rehabilitation
RM-5	Low Density Apartment Residential	INT	Other
RE	Regional Town Centre High Density Apartment Residential		
RST	Street Townhouse Residential		
RSTSV	Street Townhouse Residential - Silver Valley		



* The City of Maple Ridge takes pride in the accuracy of the information provided. However, this map is subject to bylaw amendment by Municipal Council.

DATE ADOPTED: February 11, 2014 DATE OF LAST REVISION: Mar 8, 2019
 DRAWN BY: TM/RO REVISD BY:DT BYLAW REVISION: 7239-2016

Zoning Bylaw Map
 Schedule 'A'
 Bylaw No. 7600-2019

PLANNING DEPARTMENT
MAPLE RIDGE
 British Columbia
mapleridge.ca

QUICK REFERENCE TABLE

MINIMUM LOT AREA AND DIMENSIONS

ZONE	MINIMUM NET LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
A-1	2.0 ha	60 m	150 m
A-2	4.0 ha	75 m	150 m
A-3	8.0 ha	100 m	150 m
A-4	1.8 ha	48 m	150 m
A-5	8.0 ha	100 m	150 m
R-1	371 m ²	12 m	24 m
		13.5 m - corner lot	
R-2	315 m ²	9 m - lane access	30 m - lane access
		11 m - no lane access	27 m - no lane access
		13.5 m - corner lot	
R-3	255 m ²	8.5 m - lane access	30 m - lane access
		11 m - no lane access	27 m - no lane access
		13.5 m - corner lot	
R-4	450 m ²	12 m	24 m
		13.5 m - corner lot	
RS-1	668 m ²	18 m	27 m
RS-1a	668 m ²	18 m	27 m
RS-1b ¹	557 m ²	15 m	27 m
RS-1c	1,200 m ²	24 m	36 m
RS-1d ¹	2,000 m ²	30 m	40 m
RS-2	0.4 hectares	36 m	60 m
RS-3 ²	0.8 ha or 2.0 ha	60 m	75 m
	Refer to Lot Area and Dimension in this zone.		
RST ³	Refer to Lot Area and Dimension in this zone.		
RST-SV ³	Refer to Lot Area and Dimension in this zone.		
SRS	837 m ²	18 m	27 m
RT-1	750.0 m ² or	20 m	27 m
	557 m ² in Town Centre Area		
RT-2	Triplex - 800 m ²	20 m	27 m
	Fourplex - 850 m ²	22 m	30 m
	Courtyard - 950 m ²	25 m	35 m
	Town Centre Area -		
	Refer to Lot Area and Dimension in this zone.		
RM-1 ¹	1,000 m ²	27 m	30 m
RM-2	1,300 m ²	30 m	Not applicable
RM-3	1,300 m ²	30 m	Not applicable
RM-4	1,115 m ²	18 m	Not applicable
RM-5	1,115 m ²	30 m	Not applicable
RM-6	2,000 m ²	30 m	Not applicable
RE	2.0 ha	60 m	Not applicable
RG	0.8 ha	60 m	Not applicable
RG-2	4.0 ha	75 m	Not applicable
RMH	0.4 ha	75 m	Not applicable

ZONE	MINIMUM NET LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
C-1	668 m ²	18 m	27 m
C-2	2,500 m ²	30 m	70 m
C-3	1,672 m ²	36 m	27 m
C-4 ²	Refer to Lot Area and Dimension in this zone.		
C-5	688 m ²	18 m	27 m
C-6	0.4047 ha	30 m	70 m
CRM	668 m ²	18 m	27 m
CS-1 ²	Refer to Lot Area and Dimension in this zone.		
CS-2 ⁴	Refer to Lot Area and Dimension in this zone.	30 m	36 m
CS-3	0.4 ha	36 m	60 m
CS-4 ²	Refer to Lot Area and Dimension in this zone.		
CS-5 ²	Refer to Lot Area and Dimension in this zone.		
H-1 ⁴	Refer to Lot Area and Dimension in this zone.	6 m	27 m
H-2	191 m ²	6 m	27 m
M-1	2,000 m ²	30 m	50 m
M-2 ²	Refer to Lot Area and Dimension in this zone.	30 m	50 m
M-3	2,000 m ²	30 m	50 m
M-4	2.0 ha	60 m	150 m
M-5	2.0 ha	60 m	75 m
P-1 ⁴	Refer to Lot Area and Dimension in this zone.	Not applicable	Not applicable
P-2	668 m ²	18 m	27 m
P-3	0.4 ha	36 m	60 m
P-4	0.4 ha	36 m	60 m
P-4a	0.4 ha	36 m	60 m
P-5 ⁵	Refer to Lot Area and Dimension in this zone.	22.5 m	42 m
P-6	Not applicable	Not applicable	Not applicable

Notes:

1. Subject to Section 402 (Albion Density Bonus Amenity Contribution Option)
2. Subject to availability of services
3. Subject to unit configuration and access
4. Subject to principal use
5. Subject to number of people to be accommodated.